



Software Marketing Solutions Inc. DBA National Property Inspections



23417 Nancy Circle, Elkhorn, NE, 68022

Summary

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

WALKS / STEPS

SAFETY

Recommend caulking the crack in the walkway to the front porch.

PORCHES / STOOPS

SERVICE/MAINTENANCE

Recommend caulking minor crack in the concrete in the front porch.

DECKS / BALCONY

Deck re-stained by Streamline Construction LLC

Recommend staining deck to prolong life.

ROOFING

Artisan roofing came and checked out roof. Said its in great shape and made a few minor repairs to shingles. Have full report from them if buyers would like a copy

There are worn shingles and some granular loss. Recommend evaluation by a licensed roofing contractor.

EXTERIOR SURFACE

Siding/Trim

SERVICE/MAINTENANCE

General maintenance: There are some seams and trim that need caulking. Recommend caulking where necessary.

The paint has faded. Recommend painting every 7-8 years.

FOUNDATION

SERVICE/MAINTENANCE

Typical hairline vertical cracks in the poured wall foundation. Recommend caulking where necessary.

OVERHEAD GARAGE DOORS

SERVICE/MAINTENANCE

The metal support is bent for the middle garage door. Recommend repair.

GARAGE PEDESTRIAN DOOR INTO HOUSE

repaired/replaced by streamline construction LLC.

The handle is missing for the door to the garage. Recommend installing handle.

ELECTRICAL

Smoke & CO Detectors*

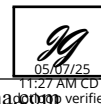
Installed.

Current standard calls for carbon monoxide detectors on each level of the home. Recommend installing carbon monoxide detectors for safety. It is recommended that all smoke detectors older than 10 years be replaced.

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04/10/2025

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LAUNDRY FACILITIES

Dryer Vents

The upstairs dryer vent through the roof appears to leak. There is staining on the ceiling.
Recommend evaluation by a qualified contractor.

Dryer vent was cleaned and cleared by Streamline Construction LLC. Ceiling painted /repaired. Also had roof contractor Artison roofing verify no issues with shingles around this area or any other issues. See copies of paid receipts.

HEATING UPSTAIR

Operation

Humidifier

Annual maintenance is recommended for all HVAC equipment. Recommend annual evaluation and maintenance be performed on the furnace and air conditioner prior to close.

Hans serviced HVACs on November 6, 2024 and coming for next service/inspection June 6, 2025.

COOLING UPSTAIRS

Unable to test due cold temperatures. No service record. Recommend servicing by a licensed HVAC contractor.

Hans serviced HVACs on November 6, 2024 and coming for next service/inspection June 6, 2025.

COOLING MAIN

Unable to test due cold temperatures. No service record. Recommend servicing by a licensed HVAC contractor.

Hans serviced HVACs on November 6, 2024 and coming for next service/inspection June 6, 2025.

KITCHEN

Electrical (Random sampling of outlets, switches, fixtures.)

Exhaust Fan

Dishwasher/Cross Flow Protection

The is an under cabinet light that appears to be burned out. Recommend changing bulb and verification of proper operation.

The sprayer is loose for the sink. Recommend repair.

The light for the vent hood was burned out. Recommend replacing bulb.

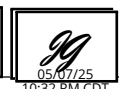
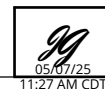
Dishwasher cross-flow protection not installed properly. Discharge tube should be mounted to the underside of the countertop to create a high point to prevent water from flowing backwards into the dishwasher unit from the sink or drainage pipes.

Completed by Streamline Construction Services LLC.

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FIREPLACE/STOVE

The light switch right next to it turns it on. Tested it with our agent and showed how to use. She can share with buyers.

Recommend verification of proper operation of the basement fireplace.

WEST JACK AND JILL BATHROOM

Toilet

SERVICE/MAINTENANCE

Tub/Shower

SERVICE/MAINTENANCE

The tank lid for the toilet is cracked. Recommend repair or replacement.
Recommend installing the tub drain stopper.

EAST JACK AND JILL BATHROOM

Tub/Shower

Repaired/completed by Streamline Construction LLC.

Water Pressure/Flow/Drainage

The right sink is clogged. Recommend repair by a qualified plumber.
Recommend installing the tub drain stopper.

MASTER BATHROOM

Interior Doors/Hardware

Repaired/completed by streamline construction LLC. Replaced both sink faucets/hardware in this bathroom. All items resolved and in working order.

Jetted Tub

The handle for the jetted tub is not installed and came off when you turn the faucet handle.
Recommend repairs by a qualified plumber and testing of the jetted tub.

Low water pressure for the right sink. Recommend evaluation by a qualified plumber.

The door to the linen closet is off the track. Recommend repair.

BASEMENT BATHROOM

Electrical (Random sampling of outlets, switches, fixtures.)

Replaced and verified fan and lighting work by Streamline Constuction LLC.

The light over the shower is burned out. Recommend changing bulb and verification of proper operation.

JACK AND JILL WEST BEDROOMS

Electrical (Random sampling of outlets, switches, fixtures.)

Repaired.

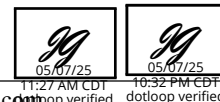
The light fan in the rear SW corner bedroom is loose where it attaches to the ceiling. Recommend repair.

The door to the rear SW corner bedroom is loose at the top hinge. Recommend repair.

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JACK AND JILL EAST BREDROOMS

Interior Doors/Hardware

Recommend installing the closet doors between the East jack and jill bedrooms.

Used as book Nook area.
Removed door hardware all
together- Streamline
Construction LLC

LIVING ROOM

Electrical (Random sampling of outlets, switches, fixtures.)

The switch for the hall lights is faulty in the living room. Recommend repair by a qualified electrician.
There are a couple of handles for the window locks that are missing. Recommend installing.

Replaced all canned lights in hall
ways and high ceilings in living
room- Streamlined Construction
LLC.

BASEMENT BEDROOMS

Interior Doors/Hardware

Electrical (Random sampling of outlets, switches, fixtures.)

There are can lights burned out in the workout room. Recommend replacing bulbs and verification of
proper operation.
The closet door handle is missing for the closet in the workout room. Recommend installing handle.

Replaced all canned light bulbs in
basement theatre room, living, and
workout room. Also replaced closet
doorhandle- Streamline Constuction
LLC.

BASEMENT ROOMS

Electrical (Random sampling of outlets, switches, fixtures.)

The bulb is burned out for one of the wall sconces. Recommend replacing light bulb.

replaced/repai- Streamline
Construction LLC.

JACK AND JILL WEST BEDROOMS

Interior Doors/Hardware

The light fan in the rear SW corner bedroom is loose where it attaches to the ceiling. Recommend
repair.
The door to the rear SW corner bedroom is loose at the top hinge. Recommend repair.

repaired- Streamline construction
LLC

SAF (SAFETY)

The item/system was a safety concern and may be a hazard. This may also be a notification of current
building standards versus standards in use at the time the home was built.

SER (SERVICE/ MAINTENANCE)

The item requires servicing to verify and guarantee proper operation with repairs as deemed necessary or
the item may require maintenance repairs due to age and or deterioration.

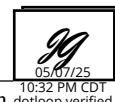
DEF (DEFICIENT)

The item/system failed to operate and perform its intended function, was structurally deficient, or the item
may have been operable but requires some repair or monitoring due to age and deterioration. This may
include replacement in the near future.

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Limited Warranty

The Limited Warranty, for mechanical systems and appliances, is free of charge in conjunction with a home inspection performed by Andy Smith with the following conditions:

1. The fee for the home inspection must be received by National Property Inspections within 10 days from the date of the inspection.
2. This warranty begins when the fee for the home inspection is received and expires 90 days from the date of the inspection.
3. If there are any other insurance policies or warranties applicable, this warranty becomes excess.
4. This warranty applies only to those mechanical systems and/or appliances identified in the NPI Inspection Report which details the inspector's findings at the property.

Address of Property Inspected: 23417 Nancy Circle

Date inspected: 4/10/2025

The following items are excluded from protection under this Limited Warranty due to the fact that they need servicing, were dysfunctional or inoperative at the time of the inspection or near the end of their normal life expectancy.

Any items at or beyond the average life expectancy.

Any items with the recommendation for further evaluation and or repair.

Any mechanical systems or appliances that are not inspected, marginal or defective as noted in the property inspection report. Additional exclusions are listed in this Limited Warranty Form.

Exterior gas, water, drain, vent and waste lines not visible on the interior of the home.

Investment property - Not covered.

Plumbing leaks and general wear, at faucets toilets and diverters, may develop at any time and were not identified within this report as an issue at time of inspection.

Exclusions are:

TERMS, LIMITATIONS AND DEDUCTIBLE -- READ CAREFULLY.

National Property Inspections (hereinafter NPI) will, during the term of this Limited Warranty, repair or replace at its option, the protected items and components should they become inoperative due to mechanical failure, subject to the terms, limitations, and deductible specified below. This Limited Warranty covers only those mechanical systems and appliances listed below.

I. Warranty Limit:

- A. NPI's maximum liability under this warranty for all mechanical defects arising during, and not pre-existing to, the 90 days warranty term is limited to \$2,500. All mechanical claims carry a \$250 deductible.

II. To present a claim:

- A. Call the NPI inspector first, not a service contractor. NPI will not pay for any service that is not

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authorized in advance. The client is expected to make any necessary temporary repairs to prevent any further damage to the item(s) in question.

- B. Payment of the \$250 deductible is the responsibility of the client for each service call for each protected item. The deductible must be paid directly to the contractor affecting authorized repairs or replacement.
- C. NPI has the sole option to repair or replace.
- D. The client must promptly notify NPI when any covered item(s) has a mechanical failure. NPI shall have no responsibility for claims which are not reported within 5 days of its mechanical failure.

III. Protection Limit:

- A. NPI will not pay for repair or replacement as a result of fire, wind, rain, hail, freezing, smoke, lightning, flood, earthquake, storm, theft, accidents, vandalism, riot, power failure, pest or insect damage, lack of capacity, inadequacy, improper installation, negligence, alterations, modifications, consequential damages of any kind, or acts of God.
- B. NPI will make no reimbursement for materials or labor it did not authorize.
- C. NPI will not be liable for the expense to open or close walls, floors, or ceilings, nor for the removal and replacement of tiles, carpet, wallpaper or vinyl to perform a covered service.
- D. If the client performs or authorizes any repairs, alterations, or installations, or modifies any protected item or component or causes any consequential damage, NPI will have no responsibility with regard to that item
- E. If the covered property is a condominium or similar ownership, NPI will not pay for repairs or service beyond the interior of the client's unit.
- F. NPI will not be liable for damage that results from contractor's delay of service such as riots or unavailability of parts or labor. NPI will not be responsible for color match.
- G. NPI will not pay to improve or upgrade an item or items due to lack of capacity, design or failure to meet building code or zoning requirements. Any expense incurred to meet code or zoning requirements, above that needed to remedy the mechanical failure, is the client's sole responsibility.

IV. The NPI warranty is non-transferable. Should the client sell, vacate or rent the covered property, the warranty becomes null and void.

V. If NPI waives a right under the warranty, it does not waive any additional or future rights.

PROTECTED ITEMS :

INTERIOR ELECTRICAL SYSTEMS: (\$1,000 maximum)

Covered: General wiring and components within the perimeter of the main foundation; the electrical panel and subpanel. The following items are limited to a \$100.00 payment: fire alarm system; door bells; smoke detection systems; garage door openers; receptacles.

Not Covered: Power failure or shortages; overload or inadequate wiring capacity; intercom systems; garage door opener sending units; burglar alarm systems; exhaust, wall, attic, or ceiling fans; light fixtures; any pre-existing condition.

INTERIOR PLUMBING SYSTEMS: (\$1,000 maximum)

Covered: Gas, water, drain, vent and waste lines within the perimeter of the main foundation; electric or gas water heaters, tankless water heaters, plumbing fixtures; faucets; toilet tank, bowl and

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and internal components.

Not Covered: Any plumbing outside the perimeter of the main foundation or contained in or under the main foundation or concrete slab, or wrapped in asbestos; conditions of excessive or insufficient water pressure; water quality; holding tanks; solar hot water systems; septic tank systems; sewage ejector pumps; sewer and water laterals; wells; any condition caused by rust, corrosion or chemical deposits; galvanized pipes; solar systems; jet and sump pumps; pressure tanks; holding tanks; shower stalls, enclosures, doors and base pans; caulking or grouting; hot tubs; whirlpools and spas and their mechanical components including electrical components; repairs of walls, floors, or ceilings when plumbing repairs are made; sprinkler systems; any pre-existing condition.

AIR CONDITIONING: *(primary system only) (\$1,000 maximum)*

Covered: Central air conditioning system using ductwork for the distribution of air; condensers; compressors; thermostats; condenser fan motors; blower fan motors; interior refrigerant lines; accessible ductwork.

Not Covered: Window, wall, gas, or portable air condition units; electronic air cleaners; dehumidifiers, deionizers; ductwork that is concrete encased or otherwise inaccessible; registers; filters; grill guards or condenser housings; exterior refrigerant lines; any condition caused by rust or corrosion; any pre-existing condition.

CENTRAL HEATING: *(primary system only) (\$1,000 maximum)*

Covered: Central forced air, gravity, heat pump systems; hot water boiler systems; electric baseboard heat, if it is the only source of heat; built-in humidifiers; accessible ductwork and piping.

Not Covered: Steam boiler systems; heat exchanger; ductwork or steam or radiant heating coils or lines that are wrapped in asbestos, encased in concrete or otherwise inaccessible; ceiling, wall or floor radiant heating systems; dehumidifiers, wood burning stoves; individual space heaters; outside fuel storage tanks and lines; electronic air filters; registers; filters; solar heating systems; fireplaces; fireplace inserts and components of any kind; any condition caused by rust or corrosion; any pre-existing condition.

APPLIANCES: *(\$500 maximum)*

Covered: Primary refrigerator; oven; range; garbage disposal; dishwasher; built-in micro-wave; range exhaust fan.

Not Covered: Individual freezer; washer; dryer; compactor; timers or clocks; rotisseries; meat probes; removable racks or baskets; lock or key assemblies; ice makers; filters; gaskets; scratches, marring or dents; self-cleaning components of oven; any condition caused by rust or corrosion; any pre-existing condition.

VI. Cancellation:

NPI may cancel this warranty for any fraud or misrepresentation on the part of the client.

VII. Additional exclusions and conditions:

- A. **Excluded From Protection Under This Limited Warranty** is any item in the report which is said to be deficient, faulty, inoperable, in need of repair or in any way impaired, of suspect utility, at or beyond its normal life expectancy, or specifically excluded, as well as any item identified as not inspected or not tested, as indicated by any words or phrases which, by reasonable interpretation, would communicate any of the foregoing.

Also Excluded From Protection is any item, device, component, element, part or class of items at,

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in, on, or pertinent to the subject property premises which are inaccessible, concealed or a latent defect and which is not included in or specifically mentioned in the report.

- B. Since each item or system in a house has a normal life expectancy, this warranty will pay for repair, or replacement on a prorated basis.

DEFINITIONS:

1. **Mechanical Failure:** Condition which causes a covered item or system to stop performing its designed function.
2. **Inaccessible:** That which cannot be readily accessed for inspection due to design and/or obstacles, such as permanent partitions, chimney, etc.
3. **Service:** Repair or replacement of non-functioning covered item.
4. **Pre-Existing Condition:** Condition which caused a covered item to fail, which after prudent investigation, is determined to have existed prior to this warranty's effective date.
5. **Consequential Damage** Condition which results from any cause other than the direct mechanical failure of that item or system.
6. **Building Code or Zoning Violations:** Condition which does not meet building code specifications or zoning board requirements.
7. **Concealed or Latent Defect:** A deficient condition which is not visible or not readily accessible.

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