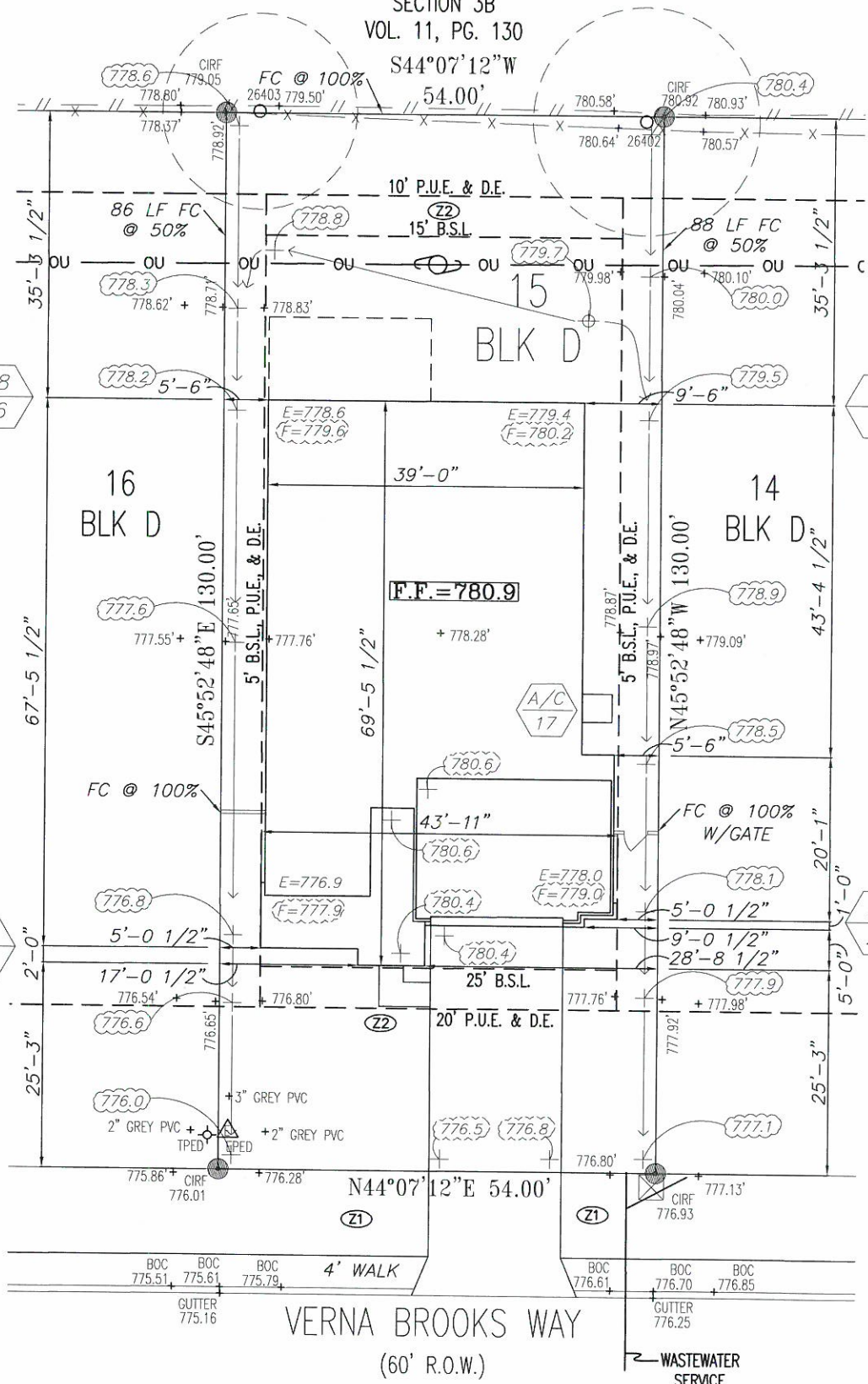


SILVERADO AT PLUM CREEK  
SECTION 3B  
VOL. 11, PG. 130

**LEGEND**

- WATER METER
- FIRE HYDRANT
- WATER VALVE
- IRON ROD FOUND
- GUY WIRE
- POWER POLE
- LIGHT POLE
- STREET SIGN
- MANHOLE
- TELEPHONE PEDESTAL
- CABLE PEDESTAL
- ELECTRIC PEDESTAL
- WOOD/CRETE FENCE
- WIRE FENCE
- OVERHEAD UTILITY LINE
- B.S.L. - BUILDING SETBACK LINE
- P.U.E. - PUBLIC UTILITY ESM'T.
- BOC - BACK OF CURB



SCALE: 1"=20'

**TREE LIST**

TAG#	DESCRIPTION
2640214"	LIVE OAK
2640312"	LIVE OAK

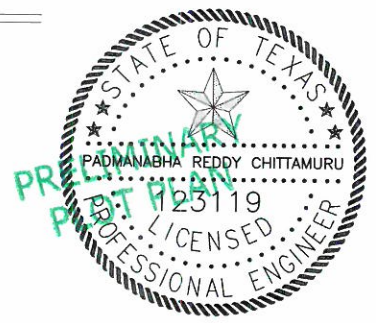
**SOD LEGEND/SQUARE FOOTAGE**

(Z1) PARKWAY SOD:	396
(Z2) LOT SOD:	3,813
<b>TOTAL SOD:</b>	<b>4,209</b>
<b>TOTAL PALLET:</b>	<b>9.35</b>
( /450 SQ. FT.)	
<b>DRIVEWAY SQ. FT.:</b>	<b>494</b>
<b>TOTAL FLATWORK:</b>	<b>936</b>
<b>LOT SQUARE FT.:</b>	<b>7,020</b>

**BUYER'S SIGN:**  
**DATE:**

01-26-17 ADDED DRAINAGE PLAN-RSM  
NOTE: PATIO SHOWN IS FOR DRAINAGE CONSIDERATION ONLY, NOT FOR CONSTRUCTION.

*Ch. Padmanabha Reddy*  
1/27/17



**PLOT PLAN** SCALE: 1"=20'

REG. NO.: F-4335

- GENERAL NOTES:**
- ALL CONCRETE DRIVEWAYS TO BE 16' WIDE UNLESS OTHERWISE NOTED.
  - ALL CONCRETE APPROACHES TO HAVE A 2' FLARE ON EACH SIDE OF DRIVEWAY.
  - WALK FROM HOUSE TO DRIVEWAY TO BE 3' UNLESS OTHERWISE NOTED.
  - SIDEWALKS ALONG STREET ARE 4' UNLESS OTHERWISE NOTED.
  - EXACT FLATWORK LOCATION, NO. OF STEPS, & EXPOSURES INDICATED ON THE PLAN ARE ESTIMATED AND MAY BE CHANGED W/O NOTICE
  - DRAINAGE DIRECTION ARROWS SHOWN ARE SUBJECT TO MODIFICATION AT CONSTRUCTION
- FENCE NOTES:**
- 6' VERTICAL FENCE AT FRONT, SIDES, AND REAR UNLESS OTHERWISE NOTED
  - 3' WALK GATE SAME SIDE OF GARAGE UNLESS OTHERWISE NOTED.
  - SIDE FENCES TO TERMINATE 10' FROM FRONT/REAR CORNERS OF EACH DWELLING AS SHOWN
  - COMMON FENCES ARE SHARED 50% BASIS WITH ADJACENT PROPERTY UNLESS OTHERWISE NOTED.
  - EXISTING FENCES TO REMAIN AS IS

ADDR: 1060 VERNA BROOKS WAY

PLAN: A-1965-RD

LOT: 15 BLOCK: D

SUBDIV.: KYLE 47 SUBDIVISION, BROOKS CROSSING, PHASE 2

CITY: KYLE STATE: TEXAS

BUYER: GREEN

P. P. CHECK: REVIEW DATE: 01/18/2017

P. I.: 15

AVG. EXP.: 32"

HOUSE ORIENT: S-N

DRIVE % SLOPE: 13.0%

DRAIN TYPE: "A"

LOT DIMENSIONS: 130.00' X 54.00' X 130.00' X 54.00'

LOT AREA: 7,200 SQ. FT.

DRAWN BY: EB/RSM

CHECKED BY: RP

**KB HOME**

10800 PECAN BLVD, SUITE 200, AUSTIN, TX 78750 (512) 651-8100

**SOUTH TEXAS ENGINEERING, INC.**  
CONSULTING ENGINEERS • LAND SURVEYORS  
4241 E. PIEDRAS DRIVE, SUITE 116 • FAX (210) 736-2359  
SAN ANTONIO, TEXAS 78228-1422 • TEL. (210) 736-2646