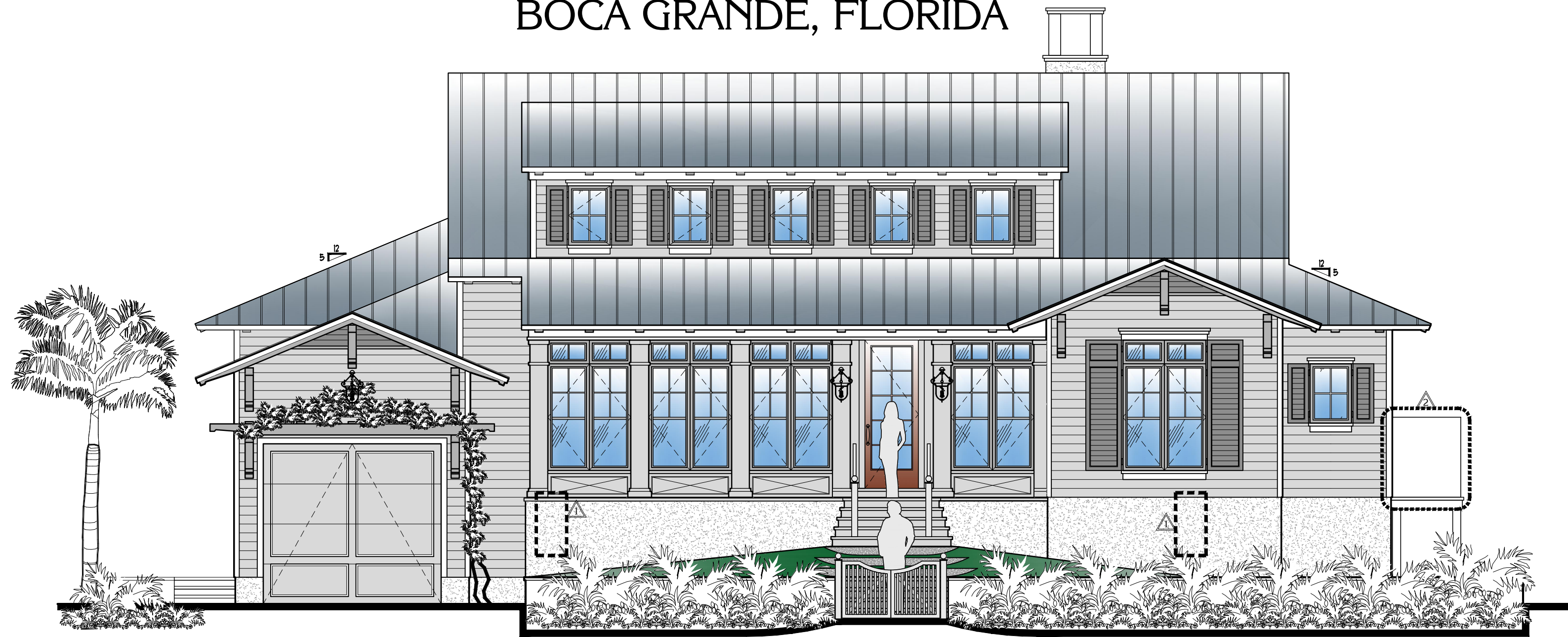


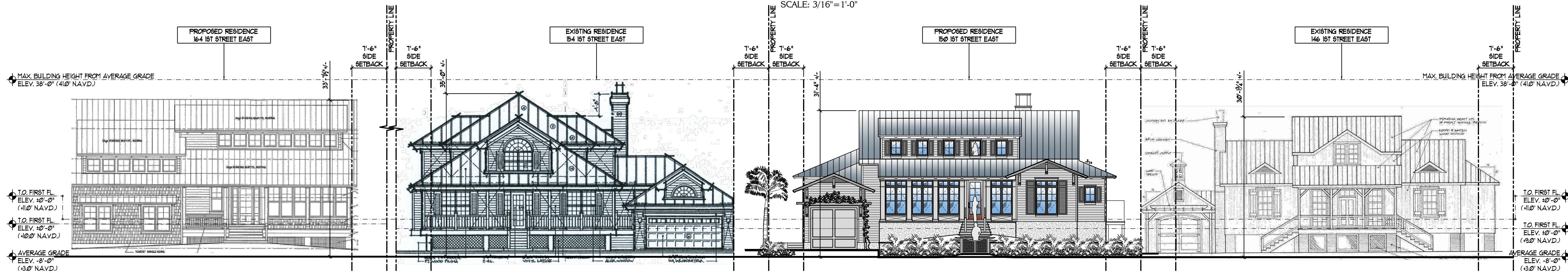
BRAXTON RESIDENCE

BOCA GRANDE, FLORIDA



FRONT ELEVATION

SCALE: 3/16" = 1'-0"



STREET STUDY ELEVATION

SCALE: 3/32" = 1'-0"

ARCHITECT SHEET INDEX	ABBREVIATIONS LIST	GENERAL NOTES	BUILDING DATA	SITE REQUIREMENTS	DESIGN PROFESSIONALS		
ARCHITECTURAL: A10 COVER SHEET A20 SITE PLAN A30 FIRST FLOOR PLAN NOTED A31 FIRST FLOOR PLAN DIMENSIONED A40 SECOND FLOOR PLAN NOTED A41 SECOND FLOOR PLAN DIMENSIONED A50 ROOF PLAN A61 EXTERIOR ELEVATIONS A62 EXTERIOR ELEVATIONS A10 BUILDING SECTIONS A20 WALL SECTIONS A30 DOOR WINDOW SCHEDULES/ PROFILES A10 DOOR WINDOW DETAILS/ PROFILES E1 FIRST FLOOR ELECTRICAL PLAN E2 SECOND FLOOR ELECTRICAL PLAN	ABV. ABOVE ALUM. ALUMINUM ARCH. ARCHITECTURAL OR ARCHITECT BLDG. BUILDING BM. BEAM C.C.C.L. COASTAL CONSTRUCTION CONTROL LINE CLG. CEILING CMU. CONCRETE MASONRY UNIT CONC. CONCRETE D.D. DECK DRAIN DECO. DECORATIVE D.E.P. DEPARTMENT OF ENVIRONMENTAL PROTECTION DISP. DISPOSAL DIST. DISTANCE D.S. DOWN SPOUT DWG.S. DRAWINGS ELEV. ELEVATION ELEV. ELEVATOR ELEC. ELECTRICAL ENG. ENGINEER EQUIP. EQUIPMENT FF. FINISHED FLOOR FIN. FINISHED FLR. FLOOR FRZ. FREEZER G.C. GENERAL CONTRACTOR GWB. GYPSUM WALL BOARD	GYP. BD. GYPSUM BOARD HABIT. HABITABLE H.B. HOSE BIB HDR. HEADER H.P. HIGH POINT HVAC. HEATING, VENTILATING ID. INTERIOR DESIGNER LAV. LAVATORY LIN. LINEN L.P. LIQUID PROPANE L.P. LOWER POINT (M) MEASURE MANUF. MANUFACTURER MAX. MAXIMUM MECH. MECHANICAL MIN. MINIMUM MIRR. MIRROR NAV.D. NORTH AMERICAN VERTICAL DATUM NGVD. NATIONAL GEODETIC VERTICAL DATUM O.C. ON CENTER (P) FLATTED R.D. ROOF DRAIN REF. REFER REF. REFRIGERATOR RES. RESIDENCE OR RESIDENTIAL SECT. SECTION SHUR. SHOWER	S.P. SPRING POINT SPECS. SPECIFICATIONS STO. STORAGE STRUCT. STRUCTURAL T. & G. TONGUE AND GROOVE T.O. TOP OF TYP. TYPICAL U.C. UNDER COUNTER VEST. VESTIBULE W.C. WATER CLOSET W.C. WALK IN CLOSET	<ol style="list-style-type: none"> DO NOT SCALE THESE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DIMENSIONS AND VERIFY THE BUILDING POSITION WITH IN THE SETBACK LINES PRIOR TO COMMENCING CONSTRUCTION. FOR ARCHITECTURAL REFERENCE, ELEVATIONS SHOWN HEREINAFTER ARE BASED ON E.L. 0'-0" EQUAL TO 40' NAVD. 2010 FEMA BASE FLOOD ELEVATION MAPS. ALL INFORMATION SHOWN HEREON IS TAKEN FROM A SURVEY: DPK ASSOCIATES ENGINEERS AND SURVEYORS, DATED APRIL 26, 2018. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. ALL EXISTING CONDITIONS ARE NOT NECESSARILY SHOWN HEREON. ALL TRADES SHALL BE RESPONSIBLE TO READ ALL DETAILS AND SPECIFICATIONS, AND PLANS - ARCHITECTURAL, STRUCTURAL, MECHANICAL, ETC. FOR PROPER COORDINATION. IF ANY CONFLICTS EXIST, THAT TRADE SHALL NOTIFY THE CONTRACTOR OF THE SAME PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL DIRECT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND THE ARCHITECT SHALL COORDINATE WITH STRUCTURAL ENGINEER BOTH ARCHITECT AND STRUCTURAL ENGINEER SHALL REVISE AND RESUBMIT ANY DRAWINGS NECESSARY TO RESOLVE THE DISCREPANCY. FOR ANY STRUCTURAL INSPECTION RELATED ITEMS STRUCTURAL DRAWINGS SHALL SUPERSEDE. CONTRACTOR SHALL BE RESPONSIBLE FOR WORK WHICH PROCEEDS WITHOUT DUE COURSE AND COORDINATION. SMOKE DETECTORS ARE INDICATED ON THE ELECTRICAL PLANS. ACCESSIBILITY REQUIREMENTS: ACCESSIBLE BATHROOM DOORS SHALL HAVE A 28" CLEAR OPENING - A 7'-8" DOOR PROVIDES A 28" CLEAR OPENING. ALL BATHROOMS ARE ACCESSIBLE IN THIS FLOOR PLAN. THE DESIGN PROFESSIONAL HAS REVIEWED AND INCORPORATED THE TRUSS LAYOUT PLANS, ANCHOR DETAILS, UPLIFT LOADS, AND REACTION LOADS INTO THE ARCHITECTURAL PLANS AS ENGINEERED BY ----- IN ACCORDANCE WITH LEE COUNTY ADMINISTRATIVE CODE. EXPRESS WINDOWS ARE INDICATED ON WINDOW SCHEDULES. ELEVATOR SHALL COMPLY WITH CHAPTER 3, SECTION R310 OF THE 2011 RESIDENTIAL 6TH EDITION. 	<ol style="list-style-type: none"> BUILDING SHALL BE LOW RISE BUILDING (SECTION 1606.2) ENCLOSED BREEZEWAY SHALL BE 10' (SUBURBAN SECTION 1609.4) (FBC 2011). RISK CATEGORY II. THE DESIGN WIND SPEED SHALL BE 160 MPH. INTERNAL PRESSURE COEFFICIENT 0.18. EDGE STRIP (6' x 8' FEET). BUILDING TYPE LOW RISE ENCLOSED. ALL WINDOW AND DOOR OPENINGS SHALL BE PROTECTED WITH LARGE MISSILE IMPACT GLAZING (LMI) WINDOWS AND DOORS SHALL BE ANDERSEN OR EQUAL. GARAGE DOORS SHALL BE IMPACT RESISTANT. BUILDING SHALL BE EQUAL TO, OR LESS THAN, 38 FEET ABOVE AVERAGE GRADE. ELEVATION OF FIRST HABITABLE FLOOR IS 0'-11" NAVD. APPLICABLE FLOOD ZONE: AE-10 LEE COUNTY: BOCA GRANDE HISTORIC DISTRICT ZONING: RS-1 SQUARE FOOTAGE CALCULATIONS: FIRST FLOOR AC: 1925 SQ. FT. ENCLOSED BREEZEWAY: 316 SQ. FT. OUTDOOR LIVING: 278 SQ. FT. SECOND FLOOR AC: 1937 SQ. FT. TOTAL: 4246 SQ. FT. 1-CAR GARAGE: 385 SQ. FT. COVERED BALCONY: 97 SQ. FT. TOTAL NON AC: 482 SQ. FT. BUILDING TOTAL: 4325 SQ. FT. LOT AREA: 10341 SQ. FT. LOT COVERAGE (26.5%): 7302 SQ. FT. 	<ol style="list-style-type: none"> REQUIRED SETBACKS: FRONT SETBACK: 25 FEET SIDE SETBACK: 15 FEET REAR BUILDING SETBACK: 25 FEET REFER TO ZONING RELIEF NOTES FOR ACTUAL SETBACKS. LEE COUNTY, GWA WATER AND SEWER <p>LEGAL DESCRIPTION</p> <p>THE EAST 80000 FEET OF THE WEST 160000 FEET OF THE FOLLOWING DESCRIBED PARCEL: A LOT OR PARCEL OF LAND LYING IN GOVERNMENT LOT ONE (1) OF SECTION 23, TOWNSHIP 43 SOUTH, RANGE 20 EAST, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT ON THE NORTH LINE OF SAID LOT 1, WHICH POINT IS 480 FEET EAST OF THE NORTHEAST CORNER OF SAID LOT 1, THENCE RUN WEST ALONG THE NORTH LINE OF SAID LOT 1 FOR A DISTANCE OF 400 FEET, THENCE RUN SOUTH PARALLEL TO THE WEST LINE OF SAID LOT 1 FOR A DISTANCE OF 3320 FEET TO A POINT IN THE CENTERLINE OF A CANAL, THENCE RUN EASTERLY ALONG A LINE MAKING AN ANGLE OF 92°18'00" NORTH TO EAST WITH THE WEST LINE OF SAID LOT 1 FOR A DISTANCE OF 40032 FEET ALONG THE CENTERLINE OF SAID CANAL, THENCE RUN NORTH PARALLEL TO SAID WEST LINE OF LOT 1 FOR A DISTANCE OF 14801 FEET TO THE POINT OF BEGINNING. PROPERTY ADDRESS: 150 FIRST STREET EAST, BOCA GRANDE, FLORIDA</p> <p>I HEREBY CERTIFY THAT THESE DESIGN PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE STANDARDS ESTABLISHED IN SECTION 168-33001, FLORIDA ADMINISTRATIVE CODE. ALL COMPONENTS AND CLADDING HAVE BEEN SELECTED AND THEIR USE INCORPORATED INTO THE DESIGN AND SPECIFICATIONS IN ACCORDANCE WITH SECTION 6, AMERICAN NATIONAL STANDARDS/ AMERICAN SOCIETY OF CIVIL ENGINEERING (ASCE 1-98) MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES TO WITHSTAND THE WIND LOADS ASSOCIATED WITH A MINIMUM BASIC WIND SPEED OF 110 MILES PER HOUR. THESE PLANS ARE IN COMPLIANCE WITH THE 2011 STANDARD BUILDING CODE INCLUDING SECTION 1609 FOR THE 110 MILES PER HOUR WIND LOAD.</p>	<p>ARCHITECT: STOFFT COONEY ARCHITECTS, LLC 6633 NINTH STREET N, SUITE 3000 NAPLES, FLORIDA 34109 CONTACT: DEREK CROONIN PHONE: (239) 262-1671 FAX: (239) 262-6983</p> <p>STRUCTURAL ENGINEER: CROWING ENGINEERING, INC. 6621 WILLOW PARK DRIVE, SUITE 1001 NAPLES, FLORIDA 34109 CONTACT: DEREK CROONIN PHONE: (239) 593-7871</p> <p>BUILDER: SAFETY HARBOR BUILDERS OF FL, LLC P.O. BOX 57 BOCA GRANDE, FL 33921 PHONE: (841) 964-7231</p>
		<p>RESIDENTIAL CODE INFORMATION</p> <p>ALL RESIDENTIAL CONSTRUCTION SHALL COMPLY WITH 2011 FLORIDA BUILDING CODE, 6TH EDITION. BUILDING, PLUMBING, MECHANICAL, FUEL GAS, THE CODE IS COMPILED WITH THE 2014 ADDITION OF THE NATIONAL ELECTRICAL CODE ADOPTED BY REFERENCE, THE NATIONAL ELECTRICAL CODE IS REFERENCED STANDARD NFPA-70A.</p> <p>RESIDENTIAL POOL SAFETY ACT - CHAPTER 41 OF THE FBC 2011 RESIDENTIAL • ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME SHALL MEET THE RESIDENTIAL POOL SAFETY ACT. • ALL SCREEN DOORS ARE TO BE SELF LATCHING AND SELF CLOSING. LATCH MECHANISM SHALL BE MOUNTED AT 54" AFF. • ALARMS SHALL BE INSTALLED ON SCREEN DOORS. • THE G.C. IS TO VERIFY THAT ALL ACCESS TO THE POOL AREA MEET THE SWIMMING POOL SAFETY ACT.</p>					

BRAXTON RESIDENCE
150 1ST STREET EAST
BOCA GRANDE, FLORIDA

STOFFT COONEY ARCHITECTS
distinctive inspirational architecture

PERMIT SET

633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262-7677 Delray Beach, Florida • (561) 243-0799

DATE: 02/19/2019
 PLAN REVIEW COMMENTS: [REDACTED]
 CLIENT REVISIONS: [REDACTED]

Job No. 1802-07N
 Date: 11/23/2018 15.

RELIEF REQUESTED:

- RELIEF #1
15'-1 1/2" PROPOSED FRONT STAIR SETBACK 25' REQUIRED PER SEC. 34-695/ TABLE 34-695 OF LEE COUNTY LDC.
- RELIEF #2
18'-0" PROPOSED FRONT BUILDING SETBACK 25' REQUIRED PER SEC. 34-695/ TABLE 34-695 OF LEE COUNTY LDC.
- RELIEF #3
18'-4 1/4" PROPOSED REAR BUILDING SETBACK 25' REQUIRED PER SEC. 34-695/ TABLE 34-695 OF LEE COUNTY LDC.
- RELIEF #4
15'-5 1/4" PROPOSED REAR PLANTER SETBACK 25' REQUIRED PER SEC. 34-695/ TABLE 34-695 OF LEE COUNTY LDC.
- RELIEF #5
4'-0" CANTILEVERED MECHANICAL EQUIPMENT PAD. SEC. 34-2191 LEE COUNTY LDC.

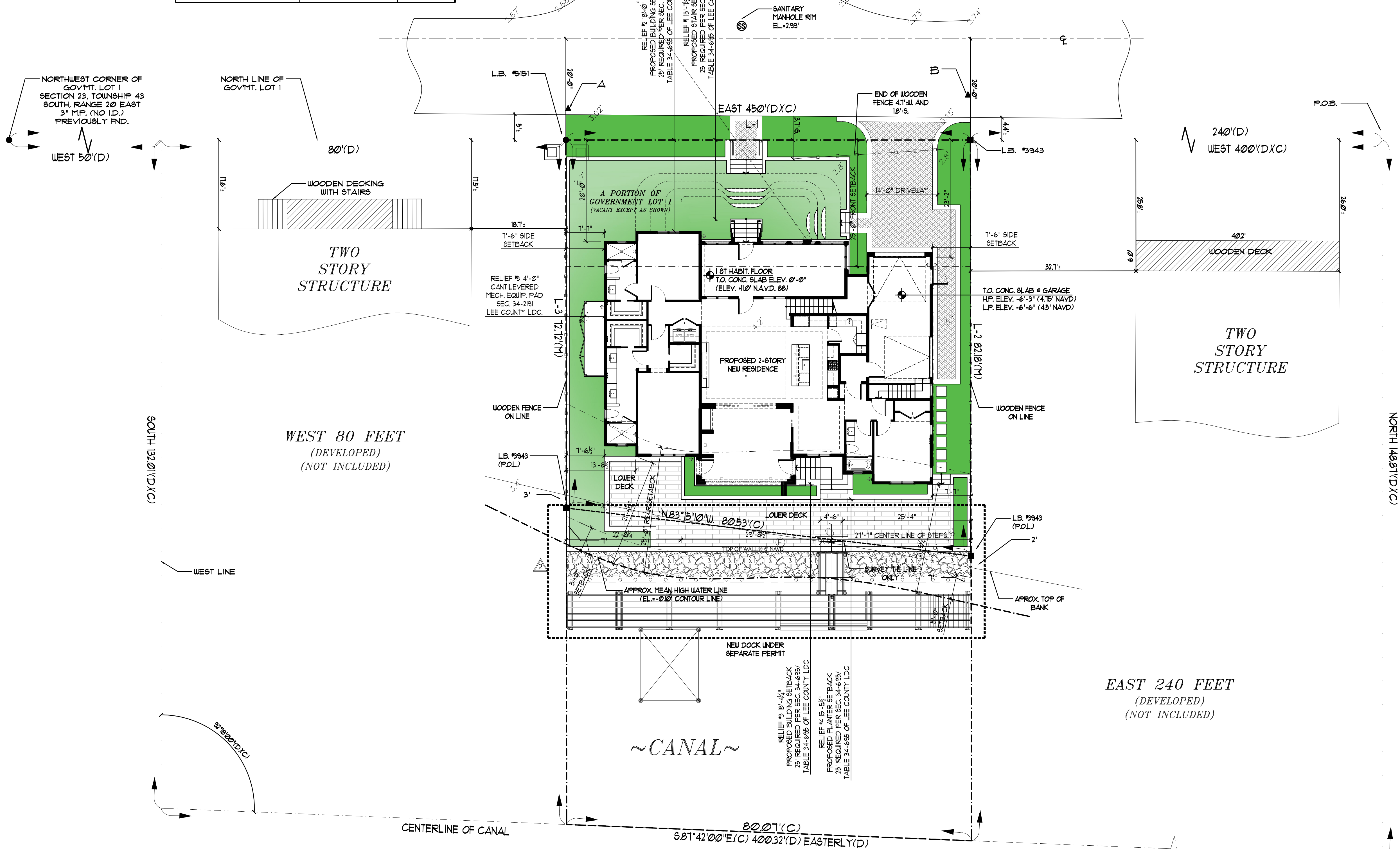
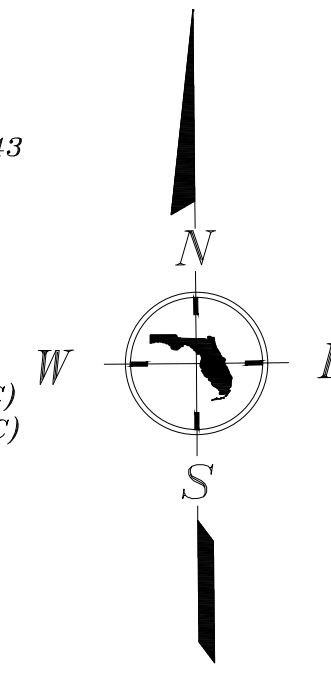
BUILDING AREA CALCULATIONS:

LOT SIZES INCREMENTS OR PORTION (INCREMENT IN SQUARE FEET)	MAXIMUM BUILDING AREA (PERCENTAGE OF LOT AREA)	LOT SIZE IN SQUARE FEET+10,941
LOT AREA 10,941	40	4,376.4
TOTAL ALLOWABLE LOT COVERAGE+		4,376.4
TOTAL ACTUAL LOT COVERAGE+	265	2,900

**FIRST STREET
(40' R/W)
(REVISED PLAT OF BOCA GRANDE PLAT
BOOK 7, PAGE 1)**

BENCHMARK TABLE:
A=B.M.: EL.=3.10'(N.A.V.D. 1988)
SET MAG NAIL & B.M. DISC, L.B. #3943
B=B.M.: EL.=3.21'(N.A.V.D. 1988)
SET MAG NAIL & B.M. DISC,
L.B. #3943

LINE TABLE:
L-1=EAST 80'(D)79.91'(M)
L-2=SOUTH(D)S.00°06'06"E. 138.44'(C)
L-3=NORTH(D)N.00°03'50"W. 135.23'(C)



DESCRIPTION:
THE EAST 80.00 FEET OF THE WEST 160.00 FEET OF THE FOLLOWING DESCRIBED PARCEL:
A LOT OR PARCEL OF LAND LYING IN GOVERNMENT LOT ONE (1) OF SECTION 23, TOWNSHIP 43 SOUTH, RANGE 20 EAST, WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE NORTH LINE OF SAID LOT 1, WHICH POINT IS 450 FEET EAST OF THE NORTHWEST CORNER OF SAID LOT 1; THENCE RUN WEST ALONG THE NORTH LINE OF SAID LOT 1 FOR A DISTANCE OF 400 FEET; THENCE RUN SOUTH PARALLEL TO THE WEST LINE OF SAID LOT 1, FOR A DISTANCE OF 132.01 FEET TO A POINT IN THE CENTERLINE OF A CANAL; THENCE RUN EASTERLY ALONG A LINE MAKING ANGLE OF 92°18'00" NORTH TO EAST WITH THE WEST LINE OF SAID LOT 1 FOR A DISTANCE OF 400.32 FEET ALONG THE CENTERLINE OF SAID CANAL; THENCE RUN NORTH PARALLEL TO SAID WEST LINE OF LOT 1 FOR A DISTANCE OF 148.87 FEET TO THE POINT OF BEGINNING.

- SURVEYOR'S NOTATIONS:**
- FLOOD ZONE: "AE" (EL.=10) PER FLOOD INSURANCE RATE MAP, COMMUNITY No. 125124, MAP No. 12071C, PANEL No. 0182F, DATED 08/28/08.
 - ELEVATIONS ARE BASED ON N.A.V.D. 1988.
 - BASE BENCHMARK; LEE COUNTY COASTAL CONSTRUCTION CONTROL MONUMENT 12-01-A15, PUBLISHED ELEVATION = 6.49'
 - BEARINGS ARE BASED ON RECORD DEED DATA, REFERENCED TO THE SOUTH R/W LINE OF 1ST STREET, BEING EAST.
 - ALL DISTANCES AND ELEVATIONS ARE EXPRESSED IN U.S. STANDARD FEET AND DECIMALS THEREOF.
 - THE APPROXIMATE MEAN HIGH WATER LINE SHOWN HEREON WAS NOT BASED ON A TIDAL STUDY BY THIS FIRM AND DOES NOT REPRESENT A BOUNDARY LINE AS DEFINED IN CHAPTER 177 PART II, OF THE FLORIDA STATUTES, AND IS APPROXIMATE IN ITS LOCATION FOR THE PURPOSE OF THIS SURVEY.

- LEGEND:**
- = Found 4"x4" Concrete Monument (number noted if any)
 - = Found 5/8" Rebar (I.D. noted if any)
 - ▲ = Found P.K. Nail and Disc (I.D. noted if any)
 - = Spot Elevation
 - = Set 4"x4" Concrete Monument with Cap L.B. #3943
 - = Set 5/8" Rebar with Cap L.B. #3943
 - = Set Mag. Nail and Disc L.B. #3943
 - ⊠ = Utility Box
 - ⊕ = Electric Service
 - ⊙ = Utility Pole
 - ⊕ = Water Meter
 - ⊕ = Water Valve
 - ⊕ = Fire Hydrant
 - ⊕ = Phone Riser
 - ⊕ = Backflow Preventer
 - //— = Overhead Utility Line
 - /—/— = Guy Wire Anchor
- Legend symbols are not to scale and are for graphic I.D. only.

Date	Revisions
05/23/2019	CLIENT REVISIONS

**BRAXTON RESIDENCE
150 1ST STREET EAST
BOCA GRANDE, FLORIDA**

STOFFT COONEY ARCHITECTS
distinctive inspirational architecture

Job No. 1801-07N
Date: 11/23/2018 15.

A2.0

SITE PLAN
SCALE: 3/32"=1'-0"

PERMIT SET

LICENSE# AA26000793

633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262-7677 Delray Beach, Florida • (561) 243-0799

LEGEND

- CMU WALL, TYP. REFER TO STRUC. PLANS
- CONCRETE COLUMN/MALL, REFER TO STRUC. PLANS
- INTERIOR STUD BEARING WALL
- FRAMED WALLS
- TUBULAR STEEL COLUMN, REF. STRUCT. FOR SIZE & LOCATION
- GANG STUD COLUMN, REF. STRUCT. FOR SIZE & LOCATION
- TYP. DOWNSPOUT, SEE ROOF PLAN
- FLOOD VENT, SEE PLAN FOR NUMBER & LOCATIONS

GENERAL NOTES

- THE G.C. IS TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING SIZES WITH INSTALLATION REQUIREMENTS PRIOR TO INSTALL.
- ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME SHALL MEET THE RESIDENTIAL POOL SAFETY ACT. (CHAPTER 42, FBC 2011 RESIDENTIAL EDITION)
- ALL WINDOWS AND FRENCH DOORS SHALL BE IMPACT RESISTANT. GARAGE DOORS SHALL BE IMPACT RESISTANT. MAHOGANY ENTRY DOORS SHALL ALSO BE IMPACT RESISTANT.
- ALL SCREEN DOORS ARE TO BE SELF LATCHING, SELF CLOSING AND HAVE ALARMS. G.C. IS TO VERIFY THAT ALL EXITS TO THE POOL AREA MEET THE POOL SAFETY ACT.
- G.C. PROVIDE SOUND INSULATION FOR ALL INTERIOR WALLS AND CEILING, AND INSULATE ALL EXTERIOR WALLS.
- LANDSCAPING BY OTHERS.
- A 42" HIGH (BALCONY) AND 36" HIGH (STAIR) ALUMINUM OR COMPOSITE RAILING SHALL BE CONSTRUCTED SUCH THAT A 4" SPHERE SHALL NOT PASS THROUGH AT ANY POINT (TYP.) (SECTION R302 OF THE FBC 2011). G.C. TO VERIFY HANDRAIL IS INSTALLED TO MEET A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1-1/4" x 1" OR PROVIDE A NONRECTANGULAR CROSS SECTION WITH EQUIVALENT GRASP ABILITY PERFORMANCE TO MEET THE FBC 2011 R311.13.3.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE BY NOT LESS THAN 1/2" TYPE "X" GYPSUM BOARD, AND 5/8" TYPE "X" GYPSUM BOARD FROM HABITABLE ROOMS ABOVE THE GARAGE AS PER RESIDENTIAL FBC 2011 TABLE R302.6.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8", OR 20 MIN. FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE, PER SEC. R302.3.
- DUCT WORK WHICH PENETRATES THE WALLS BETWEEN THE GARAGE AND THE RESIDENCE SHALL BE CONSTRUCTED OF A MIN. OF NO. 26 GAGE SHEET METAL OR OTHER APPROVED MATERIAL AS PER R302.52 OF THE RESIDENTIAL 2011 F.B.C.
- ALL GROUND FLOOR ELEVATIONS REFERENCED FROM FINISHED CONCRETE SLAB ELEV. 0'-0" (110.0 NAVD).
- G.C. TO VERIFY POSITIVE SLOPE OF FINISHED FLOOR TO ENSURE PROPER DRAINAGE AT LANAIS, COVERED ENTRY, OUTDOOR LIVING, BALCONIES, AND GARAGES.
- G.C. TO PROVIDE ICYNENE INSULATION AT THE UNDERSIDE OF ALL ROOF TRUSSES INCLUDING GARAGES, LANAIS, AND BALCONIES IF APPLICABLE. G.C. TO ALSO PROVIDE MAKE UP AIR EQUAL TO ULTRA AIR ADEQUATE FOR THIS SYSTEM. G.C. TO PROVIDE (2) VENTS INSTALLED INSIDE THE GARAGE OPEN TO THE ATTIC SPACE.
- ALL MATERIALS USED FOR MECHANICAL CLOSETS IN GARAGES UNDER BFE SHALL BE WATERPROOF (METAL STUDS W/IFIBER CEMENT BOARD).
- PROVIDE MAKEUP AIR AT A RATE APPROX. EQUAL TO THE EXHAUST AIR RATE. MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM AS REQUIRED PER ME004.
- G.C. TO COORDINATE W/ ELECTRICAL DRAWINGS FOR SIZE & LOCATION OF A/C PADS, POOL EQUIPMENT, ELECTRICAL METER, ELECTRICAL PANELS & HUB.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT TO BE ABOVE ELEVATION 110.0 NAVD.
- REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION OF STRUCTURAL WALLS, COLUMNS, AND BEAMS.
- REFER TO INTERIOR DRAWINGS FOR FINAL CEILING DESIGNS, HEIGHTS AND INFORMATION.

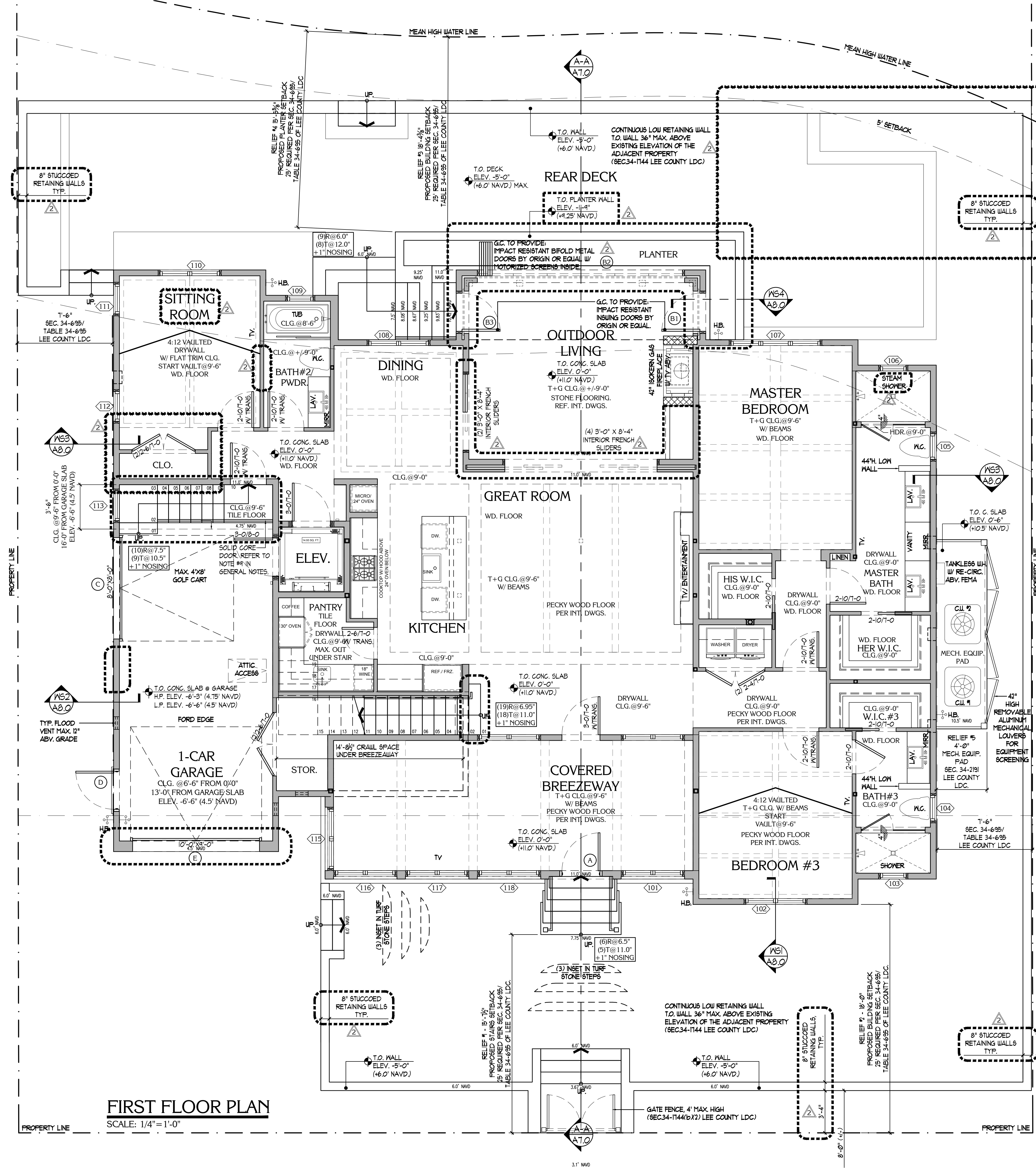
FLOOD VENT CALCS.

(1) 8X12 SMART VENT (MODEL 1540-510)	= 200 SQ. FT.
1-CAR GARAGE ENCLOSED AREA BELOW MIN. FEMA ELEVATION	= 365 SQ. FT.
NUMBER OF VENTS REQUIRED (2)	
TOTAL NUMBER OF VENTS PROVIDED (3)	

SQUARE FOOTAGE CALCULATIONS:

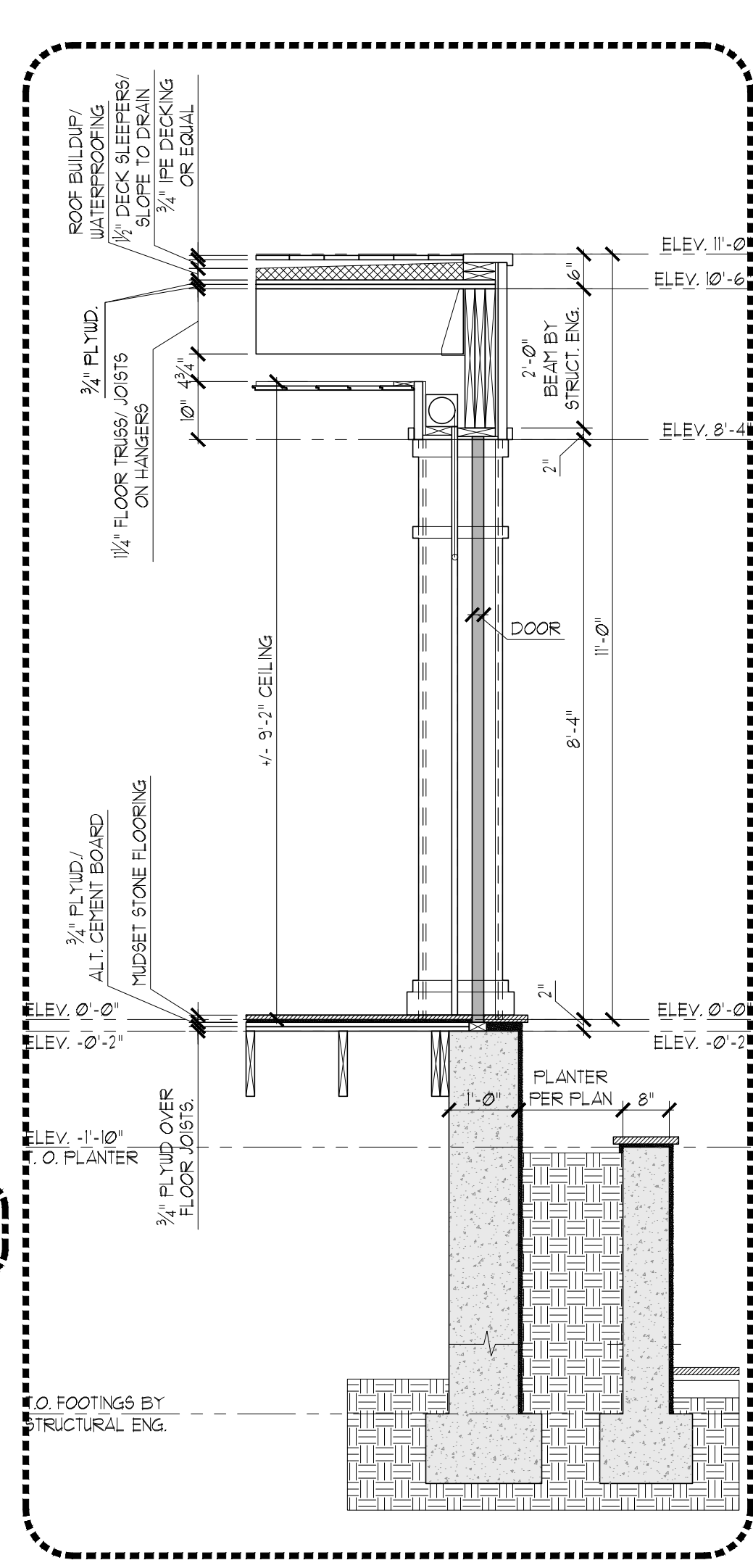
FIRST FLOOR AC:	1,925 SQ. FT.
ENCLOSED BREEZEWAY	316 SQ. FT.
OUTDOOR LIVING:	275 SQ. FT.
SECOND FLOOR AC:	1,332 SQ. FT.
TOTAL AC:	3,848 SQ. FT.
1-CAR GARAGE:	385 SQ. FT.
COVERED BALCONY	92 SQ. FT.
TOTAL NON AC:	477 SQ. FT.
BUILDING TOTAL:	4,325 SQ. FT.

LOT AREA:	10,941 SQ. FT.
LOT COVERAGE (26.5%):	2,900 SQ. FT.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

TYP. SECTION @ OUT. LIVING
SCALE: 1/2" = 1'-0"



Revisions

Date	05/23/2019
Revisions	CLIENT REVISIONS

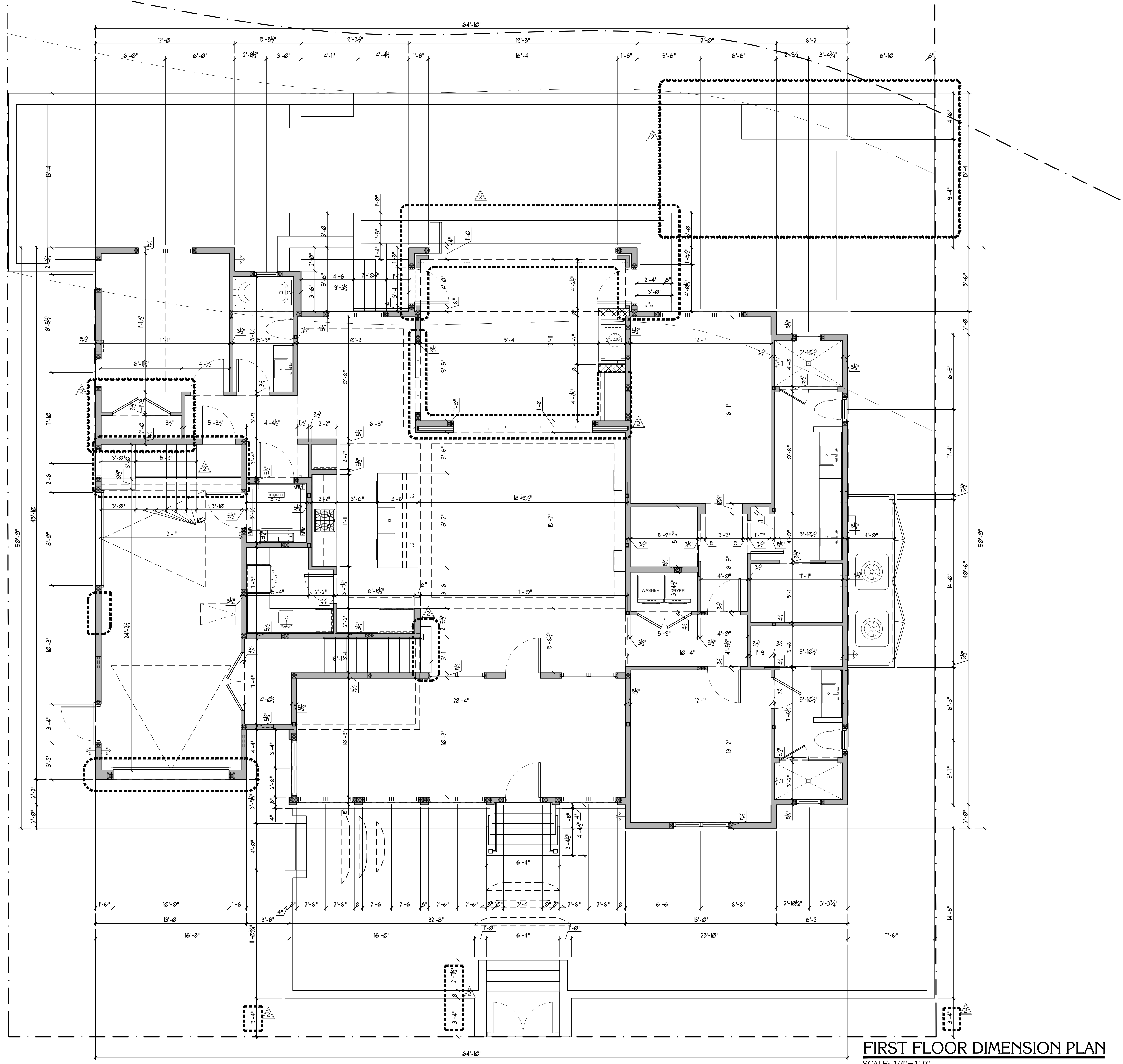
BRAXTON RESIDENCE
150 1ST STREET EAST
BOCA GRANDE, FLORIDA

STOFFT COONEY ARCHITECTS
distinctive inspirational architecture

Job No. 1801-07N
Date: 11/23/2018 15.

A3.0

PERMIT SET



FIRST FLOOR DIMENSION PLAN
SCALE: 1/4" = 1'-0"

PERMIT SET

ALL IDEAS, DESIGN, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, & THE PROPERTY OF THIS OFFICE, & WERE CREATED, EVOLVED, & DEVELOPED FOR USE ONLY IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGN, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF STOFF COONEY ARCHITECTS, L.L.C. WRITTEN PERMISSION IS REQUIRED. CONTRACTORS SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB, & THIS OFFICE SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. CONTRACTORS SHALL MAINTAIN REFERENCE TO THESE DRAWINGS AT ALL TIMES. BEFORE PROCEEDING WITH FABRICATION OR ITEMS SO NOTED.

Job No.	1802-07N
Date:	1/23/2018 15



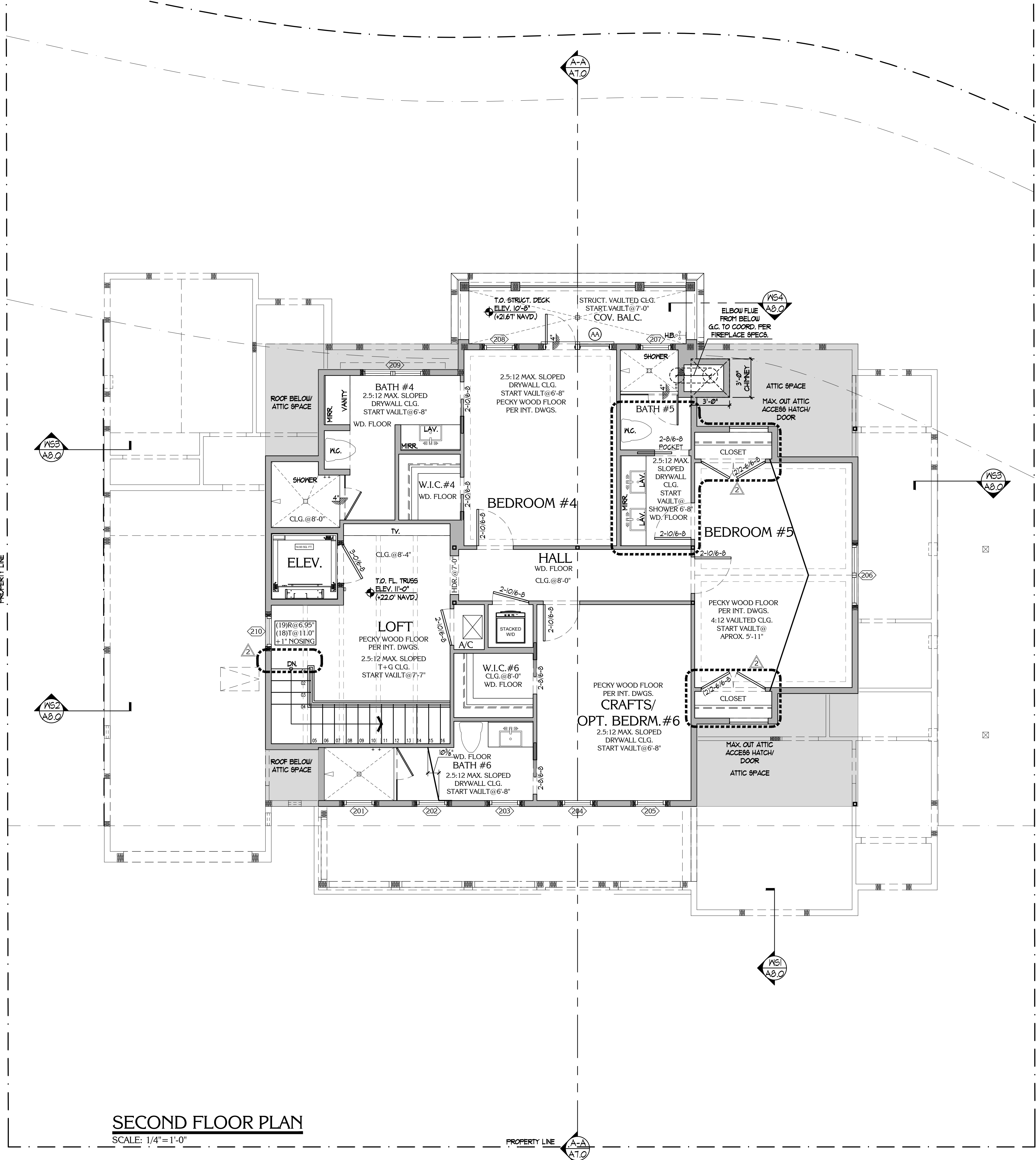
STOFF COONEY
ARCHITECTS
distinctive inspirational architecture

BRAXTON RESIDENCE
150 1ST STREET EAST
BOCA GRANDE, FLORIDA

Revisions	Date
△ CLIENT REVISIONS	05/23/2019

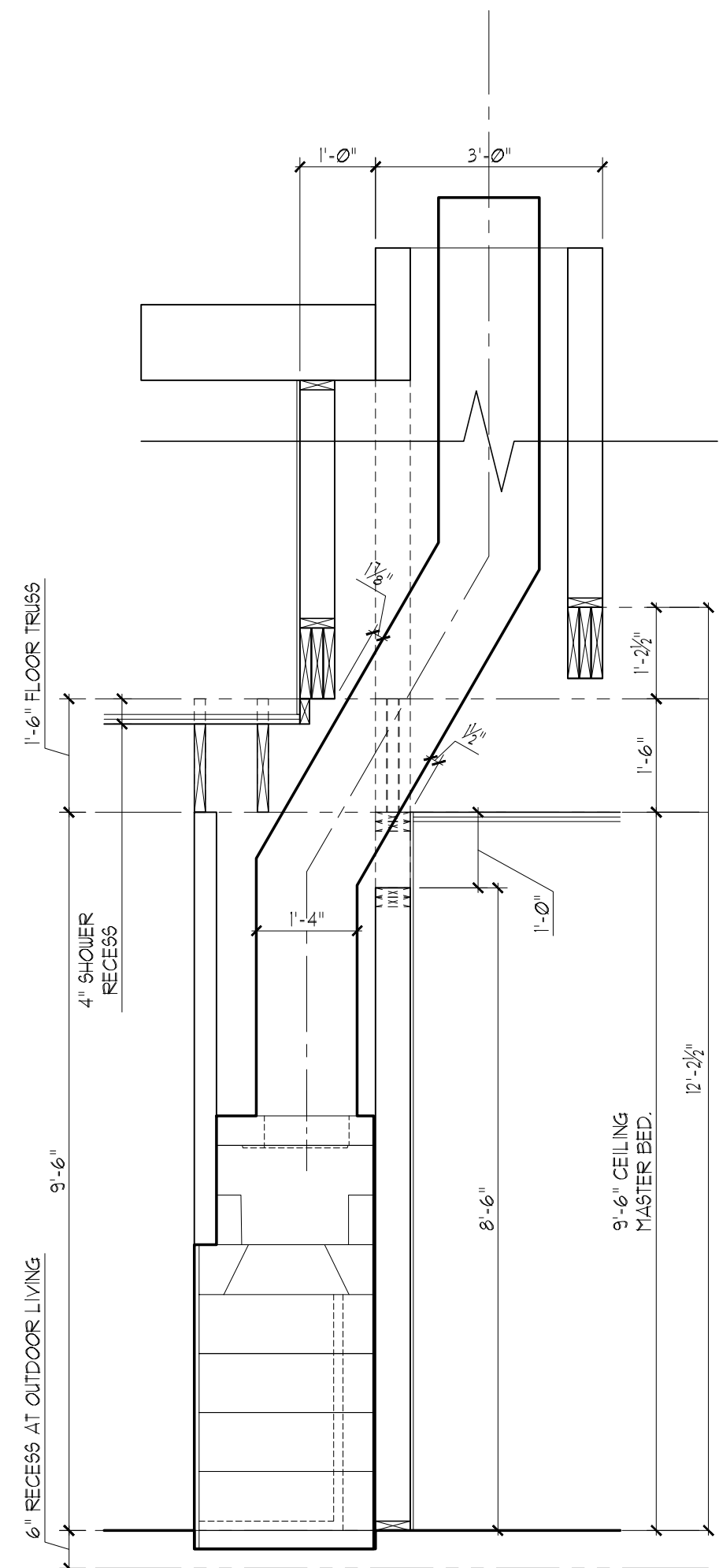
LEGEND	
	CMU WALL, TYP. REFER TO STRUC. PLANS
	CONCRETE COLUMN WALL, REFER TO STRUC. PLANS
	INTERIOR STUD BEARING WALL
	FRAMED WALLS
	TUBULAR STEEL COLUMN, REF. STRUCT. FOR SIZE & LOCATION
	GANG STUD COLUMN, REF. STRUCT. FOR SIZE & LOCATION
	TYP. DOWNSPOUT, SEE ROOF PLAN
	FLOOD VENT, SEE PLAN FOR NUMBER & LOCATIONS

- GENERAL NOTES**
- THE G.C. IS TO VERIFY ALL WINDOW AND DOOR ROUGH OPENING SIZES WITH INSTALLATION REQUIREMENTS PRIOR TO INSTALL.
 - ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESSSES FROM THE HOME SHALL MEET THE RESIDENTIAL POOL SAFETY ACT. (CHAPTER 42, FBC 2011 RESIDENTIAL EDITION)
 - ALL WINDOWS AND FRENCH DOORS SHALL BE IMPACT RESISTANT. GARAGE DOORS SHALL BE IMPACT RESISTANT. MAHOGANY ENTRY DOORS SHALL ALSO BE IMPACT RESISTANT.
 - SCREEN DOORS ARE TO BE SELF LATCHING, SELF CLOSING AND HAVE ALARMS. G.C. IS TO VERIFY THAT ALL EXITS TO THE POOL AREA MEET THE POOL SAFETY ACT.
 - G.C. PROVIDE SOUND INSULATION FOR ALL INTERIOR WALLS AND CEILING, AND INSULATE ALL EXTERIOR WALLS.
 - LANDSCAPING BY OTHERS.
 - A 4" HIGH (BALCONY) AND 36" HIGH (STAIR) ALUMINUM OR COMPOSITE RAILING SHALL BE CONSTRUCTED SUCH THAT A 4" SPHERE SHALL NOT PASS THROUGH AT ANY POINT (TYP.) (SECTION R302 OF THE FBC 2011). G.C. TO VERIFY HANDRAIL IS INSTALLED TO MEET A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1 1/4" - 2" OR PROVIDE A NONCIRCULAR CROSS SECTION WITH EQUIVALENT GRASP ABILITY PERFORMANCE TO MEET THE FBC 2011 R311.8.3.
 - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE BY NOT LESS THAN 1/2" TYPE "X" GYPSUM BOARD, AND 5/8" TYPE "X" GYPSUM BOARD FROM HABITABLE ROOMS ABOVE THE GARAGE AS PER RESIDENTIAL FBC 2011 TABLE R302.6.
 - OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8", OR 20 MIN. FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE, PER SEC. R302.3.
 - DUCT WORK WHICH PENETRATE THE WALLS BETWEEN THE GARAGE AND THE RESIDENCE SHALL BE CONSTRUCTED OF A MIN. OF NO. 26 GAGE SHEET METAL OR OTHER APPROVED MATERIAL AS PER R302.5.2 OF THE RESIDENTIAL 2011 F.B.C.
 - ALL SECOND FLOOR ELEVATIONS REFERENCED TOP OF FLOOR TRUSS ELEV. 11'-0" (2280' NAVD).
 - G.C. TO VERIFY POSITIVE SLOPE OF FINISHED FLOOR TO ENSURE PROPER DRAINAGE AT LANAIS, COVERED ENTRY, OUTDOOR LIVING, BALCONIES, AND GARAGES.
 - G.C. TO PROVIDE ICYNENE INSULATION AT THE UNDERSIDE OF ALL ROOF TRUSSES INCLUDING GARAGES, LANAIS, AND BALCONIES IF APPLICABLE. G.C. TO ALSO PROVIDE MAKE UP AIR EQUAL TO ULTRA AIR ADEQUATE FOR THIS SYSTEM. G.C. TO PROVIDE (2) VENTS INSTALLED INSIDE THE GARAGE OPEN TO THE ATTIC SPACE.
 - ALL MATERIALS USED FOR MECHANICAL CLOSETS IN GARAGES UNDER B.F.E. SHALL BE WATERPROOF (METAL STUDS W/FIBER CEMENT BOARD).
 - PROVIDE MAKEUP AIR AT A RATE APPROX. EQUAL TO THE EXHAUST AIR RATE. MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM AS REQUIRED PER M503.4.
 - G.C. TO COORDINATE W/ ELECTRICAL DRAWINGS FOR SIZE & LOCATION OF A/C PADS, POOL EQUIPMENT, ELECTRICAL METER, ELECTRICAL PANELS & HUB.
 - ALL ELECTRICAL AND MECHANICAL EQUIPMENT TO BE ABOVE ELEVATION 4100' NAVD.
 - REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION OF STRUCTURAL WALLS, COLUMNS, AND BEAMS.
 - REFER TO INTERIOR DRAWINGS FOR FINAL CEILING DESIGNS, HEIGHTS AND INFORMATION.



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

SECTION @ FIREPLACE
SCALE: 1/2"=1'-0"



STOFFT COONEY ARCHITECTS
distinctive inspirational architecture

633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262.7677 Delray Beach, Florida • (561) 243.0799

BRAXTON RESIDENCE
150 1ST STREET EAST
BOCA GRANDE, FLORIDA

Revisions	Date
1	09/23/2019

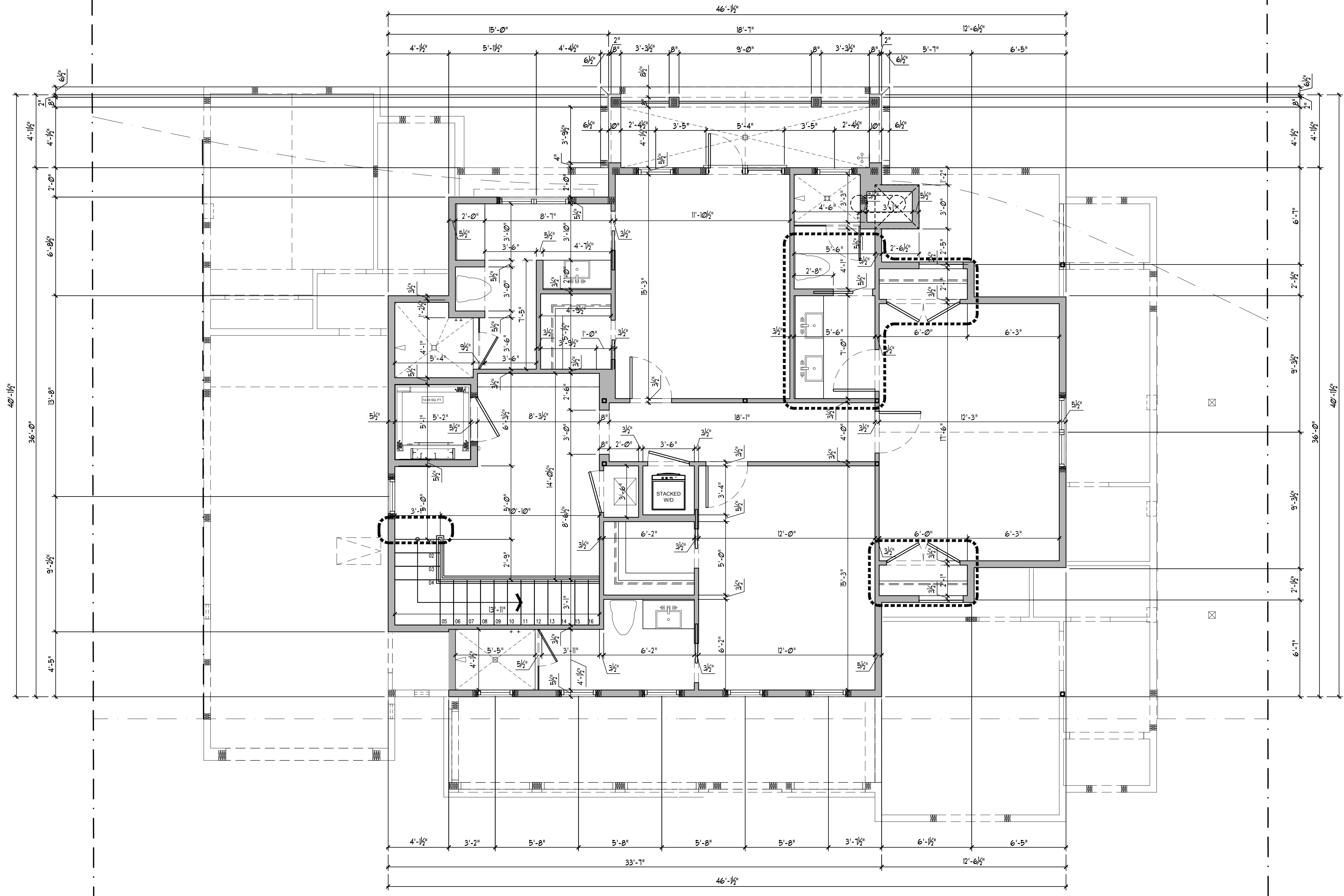
PERMIT SET

Job No. 1802-07N

Date: 11/23/2018 15.

A4.0

LICENSE# AA26000799



SECOND FLOOR DIMENSION PLAN
SCALE: 1/4"=1'-0"

PERMIT SET

Job No. 1802-07N
Date: 1/23/2018 15.

A4.1

STOFFT COONEY ARCHITECTS
distinctive inspirational architecture

LICENSE# AA26000793

633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262.7677

BRAXTON RESIDENCE
150 1ST STREET EAST
BOCA GRANDE, FLORIDA

Revisions	Date
CLIENT REVISIONS	09/23/2019

PROJECT OR REPRESENTED BY THE OWNER OF THIS OFFICE. A MORE DETAILED, COORDINATED, & REFINED FOR USE ON A CONSTRUCTION WITH THE PROJECT. THESE DIMENSIONS ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION. ANY DIMENSIONS SHOWN ON THESE DRAWINGS SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STOFFT COONEY ARCHITECTS, LLC. WRITTEN PERMISSION IS REQUIRED FOR ANY REPRODUCTION OR TRANSMISSION OF ANY PART OF THESE DRAWINGS. BEFORE REPRODUCING OR TRANSMITTING THESE DRAWINGS, PLEASE CONTACT STOFFT COONEY ARCHITECTS, LLC AT (239) 262-7677.

NOTES

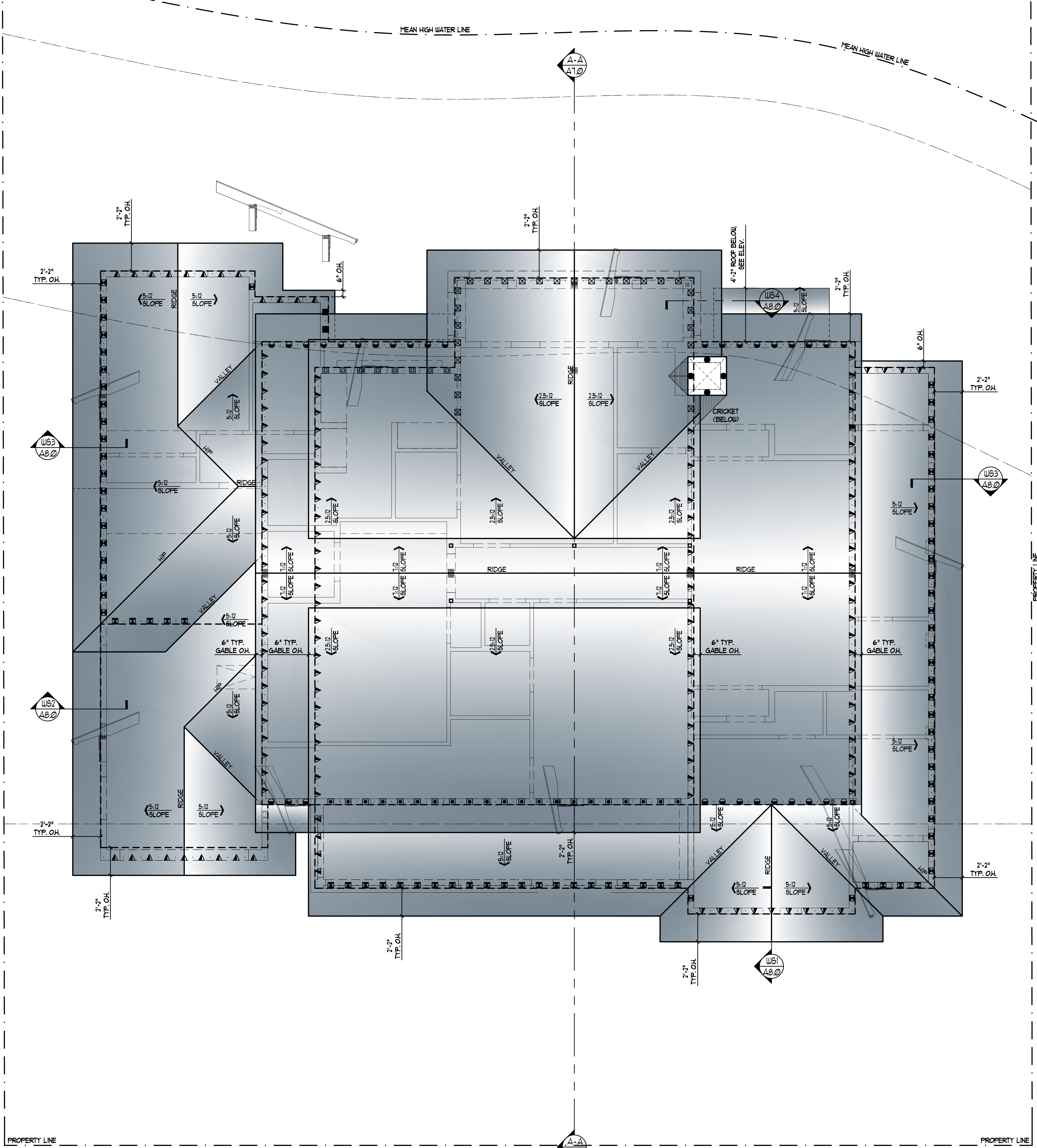
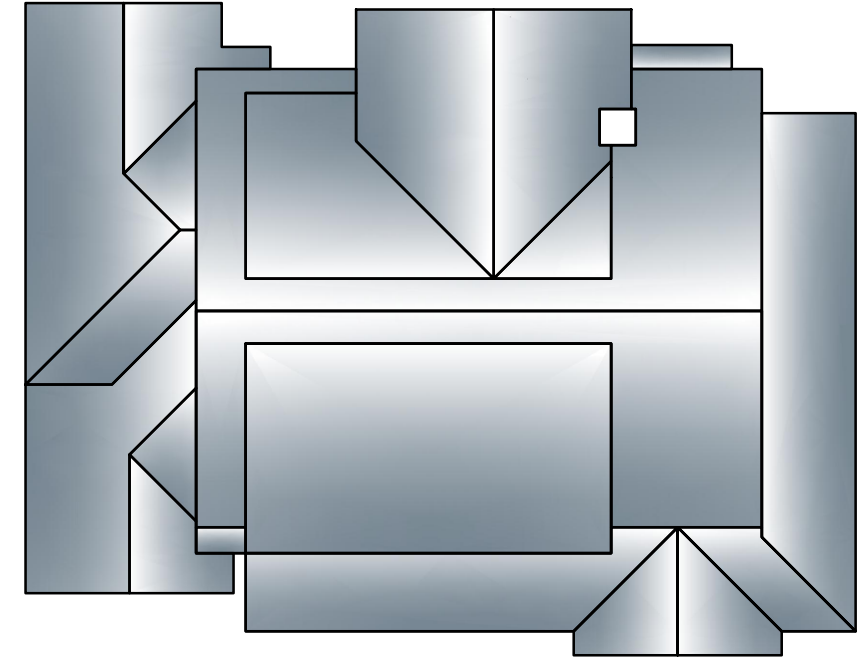
- TRUSSES SHALL BE DESIGNED BY A FLORIDA STATE CERTIFIED ENGINEER. SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO PRODUCTION.
- TRUSS MANUFACTURER SHALL PROVIDE UPLIFT VALUES FOR INDIVIDUAL TRUSSES. THE FOLLOWING CONNECTORS ARE RECOMMENDED: HETA210 FOR CONCRETE OR HTS210 FOR WOOD UNLESS NOTED OTHERWISE.
- ALL SLOPED ROOFS ARE TO BE 5V-CRMP NEVADA SILVER MIN. 24 GAUGE METAL ROOF OVER GENTART FLINTASTIC (OR EQUAL) GRANULATED MODIFIED BITUMEN FEEL AND STICK MEMBRANE UNDERLAYMENT APPLIED TO 3/4" CDX PLYWOOD SHEATHING ON ROOF TRUSSES @ 24" O.C. (TYP.) INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATION OF COLUMNS AND ADDITIONAL INFORMATION.
- G.C. TO COORDINATE ARCHITECTURAL DRAWINGS WITH INTERIOR DESIGNER DRAWINGS FOR ACCURATE DIMENSIONS AND CEILING DESIGN.
- PROVIDE 1" HALF ROUND GUTTERS, GUTTER # DOWNSPOUT NUMBER & LOCATION TO BE VERIFIED BY OWNER WHEN USED G.C. TO MEET SIZE AND SPACING CODE REQUIREMENTS.

LEGEND

- CRICKETS, BY G.C.
- FLAT ROOF
- CONCRETE BEAMS
- CONC. FL. SYSTEM BY STRUCT. ENG.
- 1" DIA. HALF ROUND COPPER GUTTERS T.B.D.
- TYP. DOWNSPOUT

BEAM SCHEDULE

- TOP OF PLATE/ BEAM @ EL. '6'-6"
- TOP OF PLATE/ BEAM @ EL. '7'-1 1/2"
- TOP OF PLATE/ BEAM @ EL. '9'-6"
- TOP OF PLATE/ BEAM @ EL. '12'-2 1/2"
- TOP OF PLATE/ BEAM @ EL. '18'-0"
- TOP OF PLATE/ BEAM @ EL. '18'-5"
- TOP OF PLATE/ BEAM @ EL. '19'-3"
- TOP OF PLATE/ BEAM @ EL. '26'-0"
- TOP OF PLATE/ BEAM @ EL. VARIES



ROOF PLAN
SCALE: 1/4"=1'-0"

Revisions	Date

BRAXTON RESIDENCE
150 1ST STREET EAST
BOCA GRANDE, FLORIDA

STOFFT COONEY ARCHITECTS
distinctive inspirational architecture

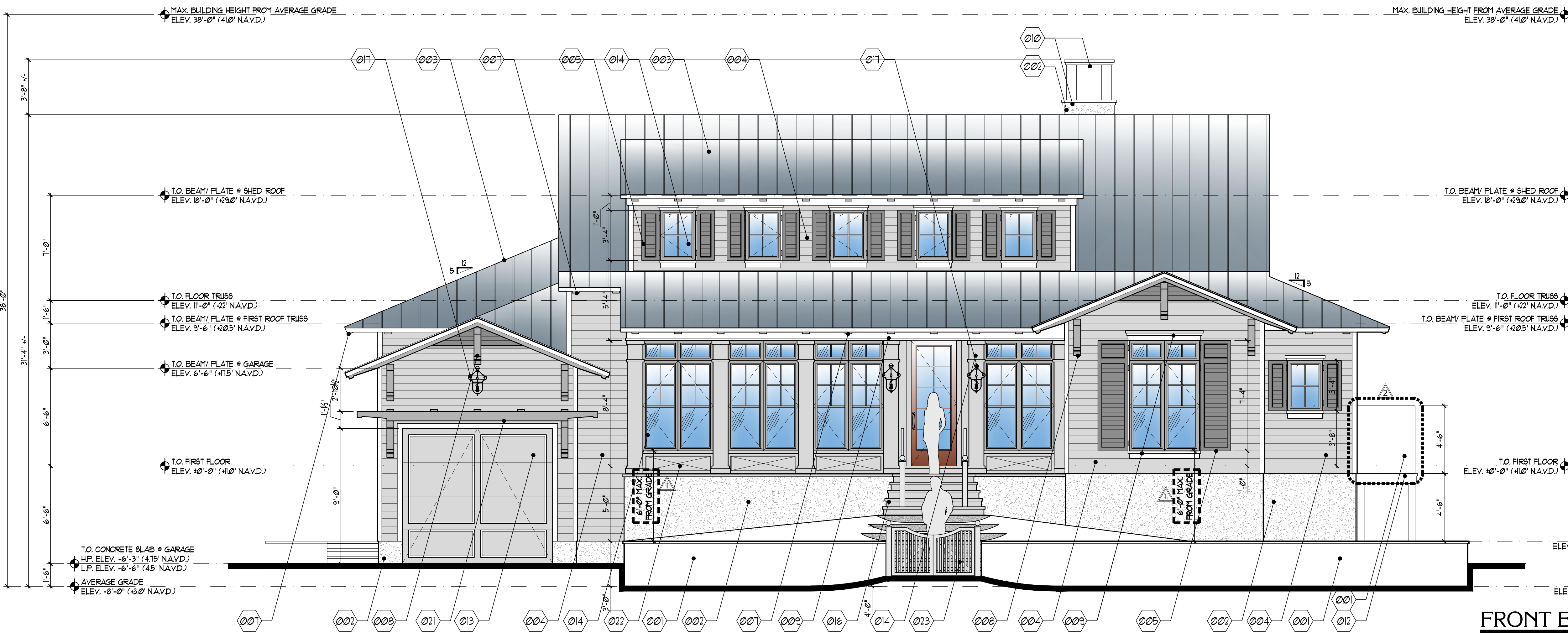
Job No. 1802-07N
Date: 11/23/2018 15.

A5.0

PERMIT SET

633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262.7677 Delray Beach, Florida • (561) 243.0799

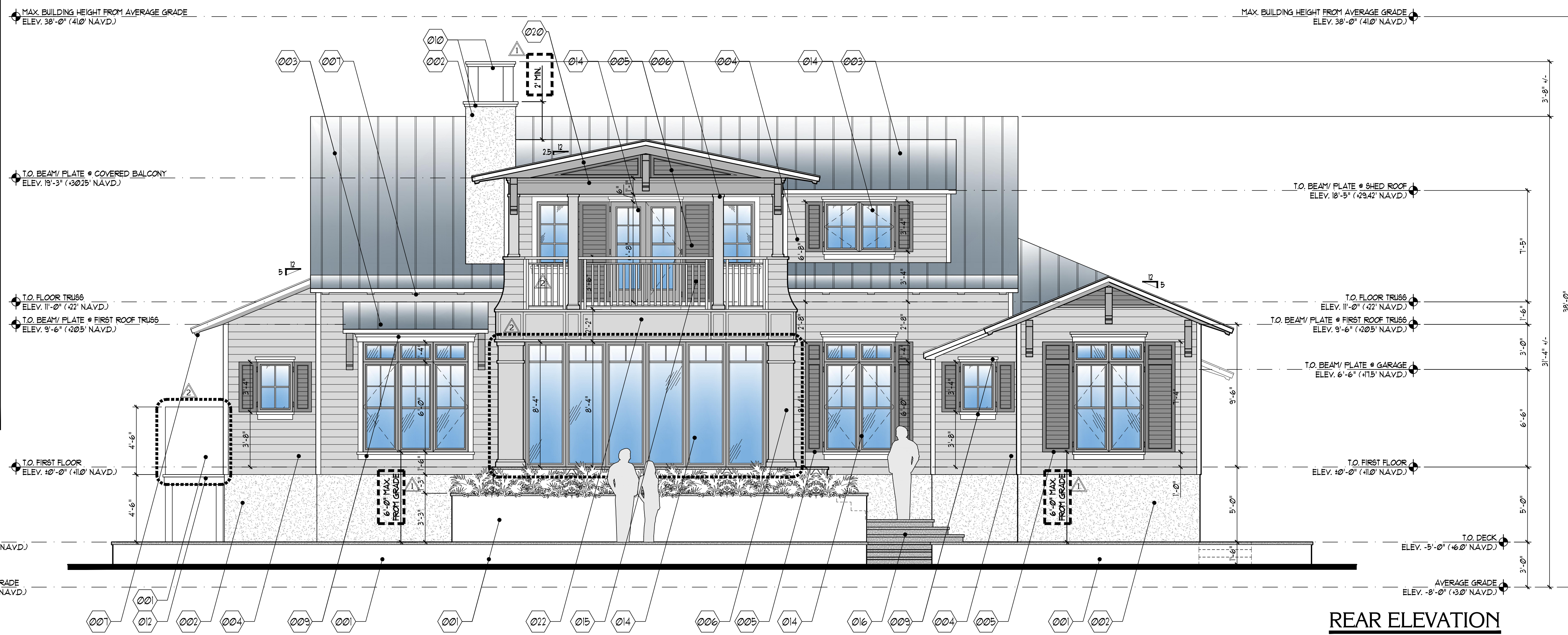
LICENSE# AA26000793



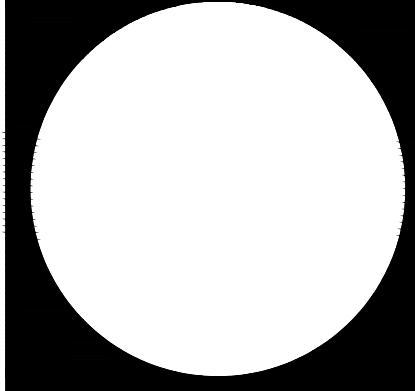
MATERIAL LEGEND	
MARK	DESCRIPTION
000	SMOOTH FINISH STUCCO.
001	TABBY STUCCO, FINISH T.B.D.
002	5V CRIMP KYNAR FINISH METAL ROOF, NEVADA SILVER PREMIUM COLOR FINISH.
003	BORAL DUTCH LAP SIDING ILO ARTISAN, OR EQUAL.
004	POUNDER COATED DECORATIVE ALUMINUM SHUTTERS.
005	TYP. PAINTED AZEK WRAPPED STRUCTURAL COLUMN W/ DECORATIVE TRIM AT CAP & BASE.
006	TYP. PAINTED AZEK CORBEL, SEE PROFILES.
007	TYP. PAINTED AZEK BRACKET, SEE PROFILES.
008	TYP. PAINTED AZEK TRIM, SEE PROFILES.
009	TYP. PAINTED AZEK TRIM, SEE PROFILES.
010	TYP. STONE TRIM, SEE PROFILES.
011	POUNDER COATED ALUMINUM MECHANICAL SCREENING.
012	P.T. MECH. PLATFORM PER STRUCTURAL PLANS.
013	IMPACT RATED OVERHEAD GARAGE DOOR.
014	IMPACT RATED WINDOWS AND DOORS.
015	AL RAILING BUILT SUCH THAT A 4" SPHERE CANNOT PASS THROUGH AT ANY PART OF RAILINGS.
016	EXTERIOR RISERS AND TREADS.
017	DECORATIVE LIGHT FIXTURE.
018	SMART/ FLOOD VENT. SEE PLAN FOR LOCATIONS.
019	DECORATIVE PVC LATTICE.
020	PAINTED BEAMS AND RAFTERS/ TIMBER FRAME CONSTRUCTION.
021	DECORATIVE TRELLIS, SEE PROFILES.
022	DECORATIVE PAINTED AZEK PANELS.
023	POUNDER COATED DECORATIVE ALUMINUM GATE.

FRONT ELEVATION
SCALE: 1/4"=1'-0"

MATERIAL LEGEND	
MARK	DESCRIPTION
000	SMOOTH FINISH STUCCO.
001	TABBY STUCCO, FINISH T.B.D.
002	5V CRIMP KYNAR FINISH METAL ROOF, NEVADA SILVER PREMIUM COLOR FINISH.
003	BORAL DUTCH LAP SIDING ILO ARTISAN, OR EQUAL.
004	POUNDER COATED DECORATIVE ALUMINUM SHUTTERS.
005	TYP. PAINTED AZEK WRAPPED STRUCTURAL COLUMN W/ DECORATIVE TRIM AT CAP & BASE.
006	TYP. PAINTED AZEK CORBEL, SEE PROFILES.
007	TYP. PAINTED AZEK BRACKET, SEE PROFILES.
008	TYP. PAINTED AZEK TRIM, SEE PROFILES.
009	TYP. PAINTED AZEK TRIM, SEE PROFILES.
010	TYP. STONE TRIM, SEE PROFILES.
011	POUNDER COATED ALUMINUM MECHANICAL SCREENING.
012	P.T. MECH. PLATFORM PER STRUCTURAL PLANS.
013	IMPACT RATED OVERHEAD GARAGE DOOR.
014	IMPACT RATED WINDOWS AND DOORS.
015	AL RAILING BUILT SUCH THAT A 4" SPHERE CANNOT PASS THROUGH AT ANY PART OF RAILINGS.
016	EXTERIOR RISERS AND TREADS.
017	DECORATIVE LIGHT FIXTURE.
018	SMART/ FLOOD VENT. SEE PLAN FOR LOCATIONS.
019	DECORATIVE PVC LATTICE.
020	PAINTED BEAMS AND RAFTERS/ TIMBER FRAME CONSTRUCTION.
021	DECORATIVE TRELLIS, SEE PROFILES.
022	DECORATIVE PAINTED AZEK PANELS.
023	POUNDER COATED DECORATIVE ALUMINUM GATE.



REAR ELEVATION
SCALE: 1/4"=1'-0"



Date	Revisions
02/19/2019	Plan Review Comments
09/23/2019	CLIENT REVISIONS

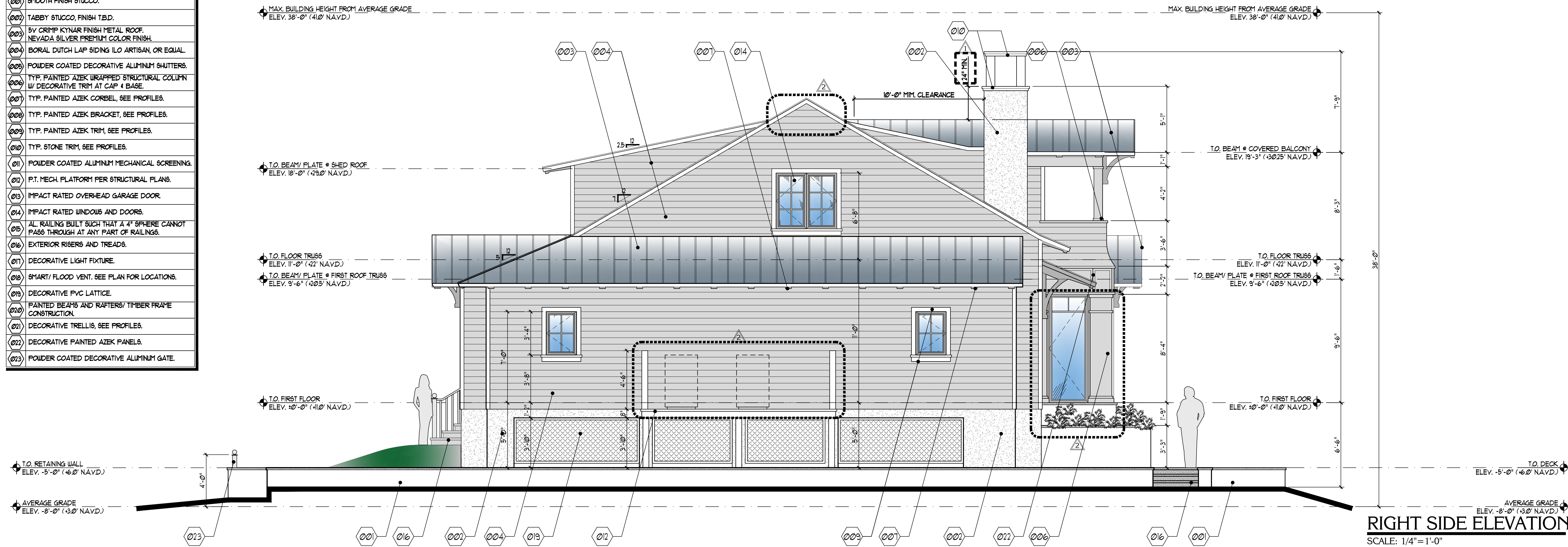
BRAXTON RESIDENCE
150 1ST STREET EAST
BOCA GRANDE, FLORIDA

STOFFT COONEY ARCHITECTS
distinctive inspirational architecture

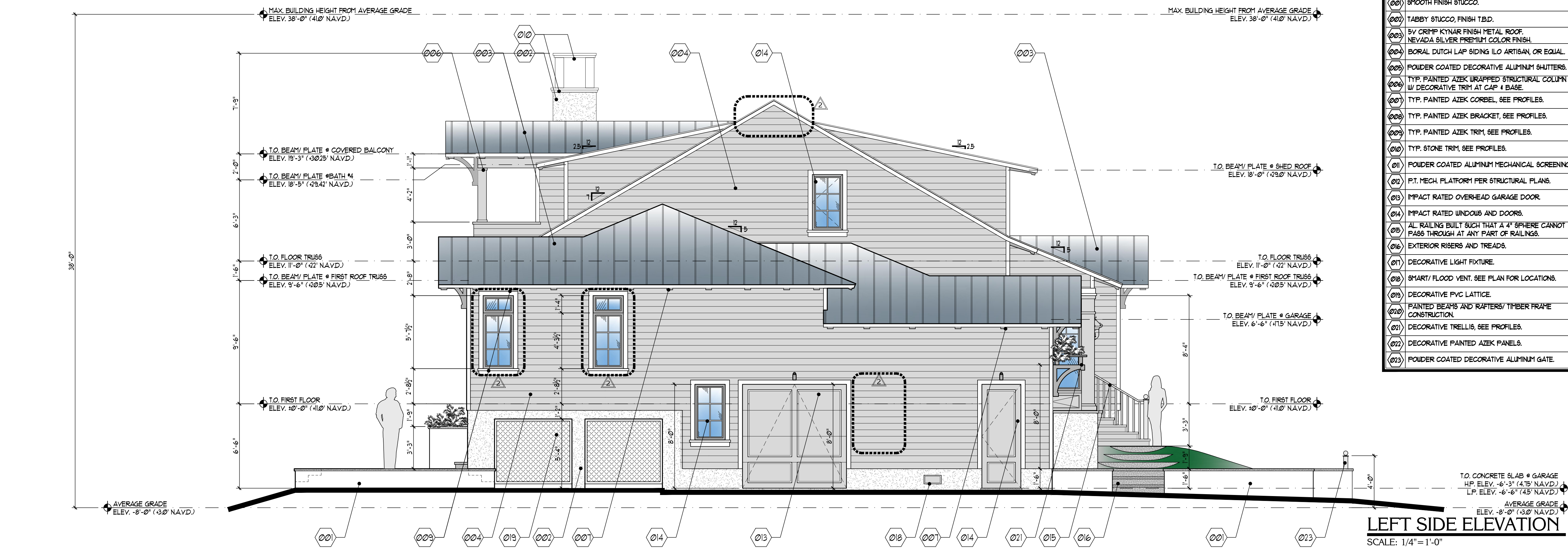
Job No. 1802-07N
Date: 11/23/2018 15.

PERMIT SET
A6.1

MARK	DESCRIPTION
000	SMOOTH FINISH STUCCO.
001	TABBY STUCCO, FINISH T.B.D.
002	5/8 CRIMP KYNAR FINISH METAL ROOF. NEVADA SILVER PREMIUM COLOR FINISH.
003	BORAL DUTCH LAP SIDING ILO ARTISAN, OR EQUAL.
004	POWDER COATED DECORATIVE ALUMINUM SHUTTERS.
005	TYP. PAINTED AZEK WRAPPED STRUCTURAL COLUMN W/ DECORATIVE TRIM AT CAP & BASE.
006	TYP. PAINTED AZEK CORBEL, SEE PROFILES.
007	TYP. PAINTED AZEK BRACKET, SEE PROFILES.
008	TYP. PAINTED AZEK TRIM, SEE PROFILES.
009	TYP. PAINTED AZEK CORBEL, SEE PROFILES.
010	TYP. STONE TRIM, SEE PROFILES.
011	POWDER COATED ALUMINUM MECHANICAL SCREENING.
012	P.T. MECH. PLATFORM PER STRUCTURAL PLANS.
013	IMPACT RATED OVERHEAD GARAGE DOOR.
014	IMPACT RATED WINDOWS AND DOORS.
015	AL RAILING BUILT SUCH THAT A 4" SPHERE CANNOT PASS THROUGH AT ANY PART OF RAILINGS.
016	EXTERIOR RISERS AND TREADS.
017	DECORATIVE LIGHT FIXTURE.
018	SMART/ FLOOD VENT. SEE PLAN FOR LOCATIONS.
019	DECORATIVE PVC LATTICE.
020	PAINTED BEAMS AND RAFTERS/ TIMBER FRAME CONSTRUCTION.
021	DECORATIVE TRELLIS, SEE PROFILES.
022	DECORATIVE PAINTED AZEK PANELS.
023	POWDER COATED DECORATIVE ALUMINUM GATE.



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

MARK	DESCRIPTION
000	SMOOTH FINISH STUCCO.
001	TABBY STUCCO, FINISH T.B.D.
002	5/8 CRIMP KYNAR FINISH METAL ROOF. NEVADA SILVER PREMIUM COLOR FINISH.
003	BORAL DUTCH LAP SIDING ILO ARTISAN, OR EQUAL.
004	POWDER COATED DECORATIVE ALUMINUM SHUTTERS.
005	TYP. PAINTED AZEK WRAPPED STRUCTURAL COLUMN W/ DECORATIVE TRIM AT CAP & BASE.
006	TYP. PAINTED AZEK CORBEL, SEE PROFILES.
007	TYP. PAINTED AZEK BRACKET, SEE PROFILES.
008	TYP. PAINTED AZEK TRIM, SEE PROFILES.
009	TYP. PAINTED AZEK CORBEL, SEE PROFILES.
010	TYP. STONE TRIM, SEE PROFILES.
011	POWDER COATED ALUMINUM MECHANICAL SCREENING.
012	P.T. MECH. PLATFORM PER STRUCTURAL PLANS.
013	IMPACT RATED OVERHEAD GARAGE DOOR.
014	IMPACT RATED WINDOWS AND DOORS.
015	AL RAILING BUILT SUCH THAT A 4" SPHERE CANNOT PASS THROUGH AT ANY PART OF RAILINGS.
016	EXTERIOR RISERS AND TREADS.
017	DECORATIVE LIGHT FIXTURE.
018	SMART/ FLOOD VENT. SEE PLAN FOR LOCATIONS.
019	DECORATIVE PVC LATTICE.
020	PAINTED BEAMS AND RAFTERS/ TIMBER FRAME CONSTRUCTION.
021	DECORATIVE TRELLIS, SEE PROFILES.
022	DECORATIVE PAINTED AZEK PANELS.
023	POWDER COATED DECORATIVE ALUMINUM GATE.

PERMIT SET
 633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262.7677
 1/23/2018 15.

BRAXTON RESIDENCE

150 1ST STREET EAST

BOCA GRANDE, FLORIDA

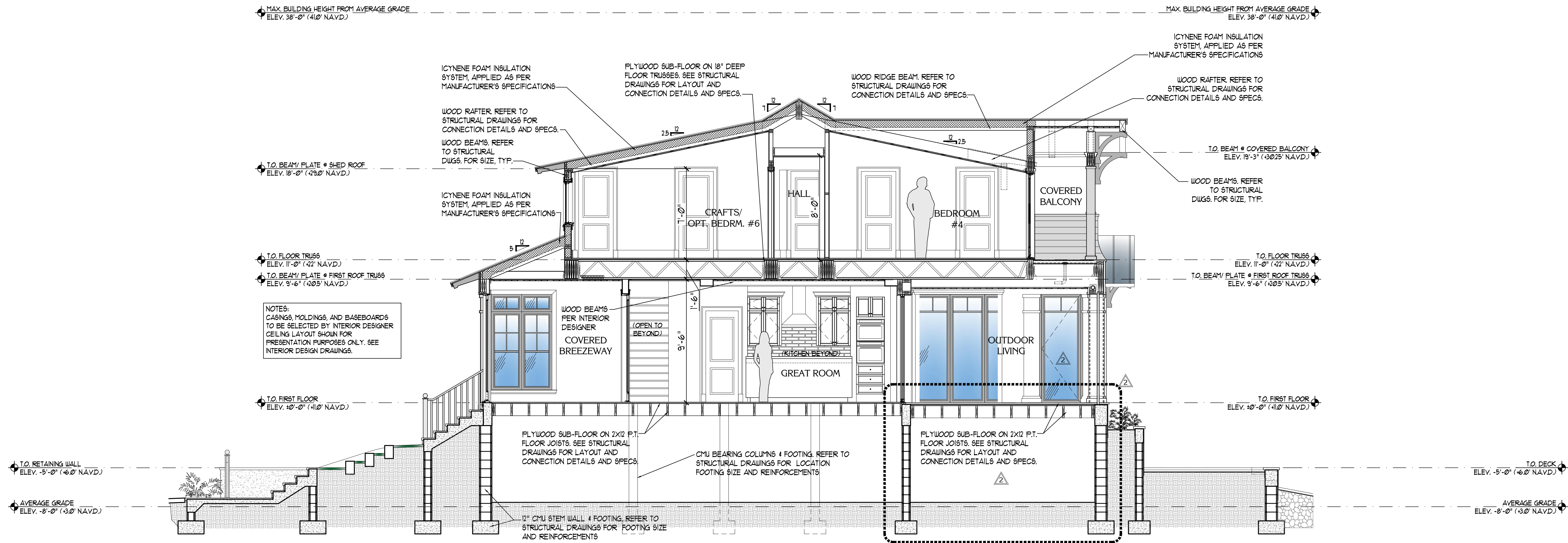
STOFFT COONEY ARCHITECTS
 distinctive inspirational architecture
 Job No. 1802-07N
 Date: 1/23/2018 15.

A6.2

PERMIT SET
 633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262.7677
 1/23/2018 15.

STOFFT COONEY ARCHITECTS
 distinctive inspirational architecture

BRAXTON RESIDENCE
 150 1ST STREET EAST
 BOCA GRANDE, FLORIDA



NOTES:
CASINGS, MOLDINGS, AND BASEBOARDS
TO BE SELECTED BY INTERIOR DESIGNER
CEILING LAYOUT SHOWN FOR
PRESENTATION PURPOSES ONLY. SEE
INTERIOR DESIGN DRAWINGS.

BUILDING SECTION
SCALE: 1/4"=1'-0"

Revisions	Date
CLIENT REVISIONS	09/23/2019

BRAXTON RESIDENCE
150 1ST STREET EAST
BOCA GRANDE, FLORIDA

STOFFT COONEY ARCHITECTS
distinctive inspirational architecture

Job No.	1802-07N
Date:	11/23/2018 15.

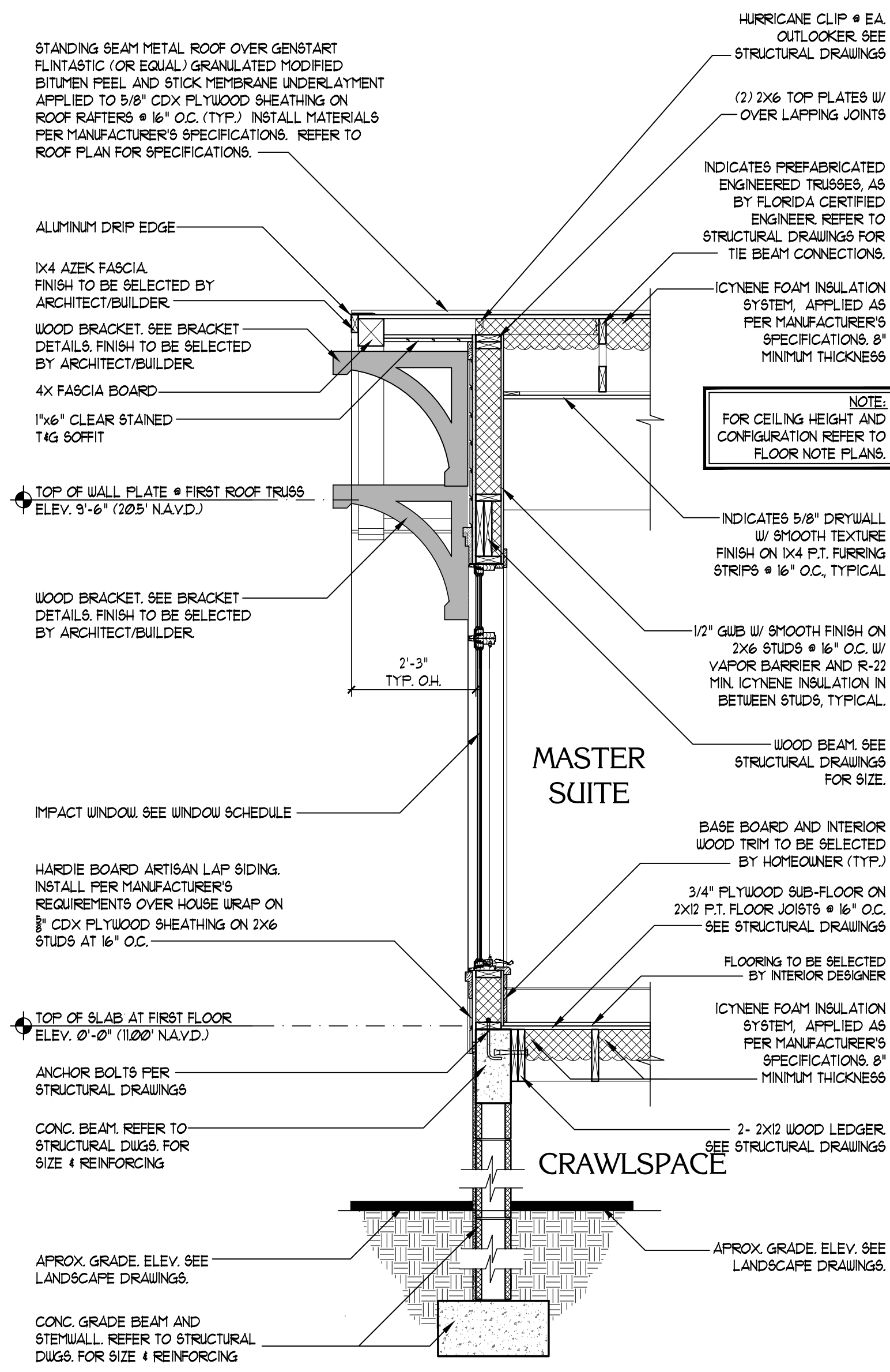
PERMIT SET

A7.0

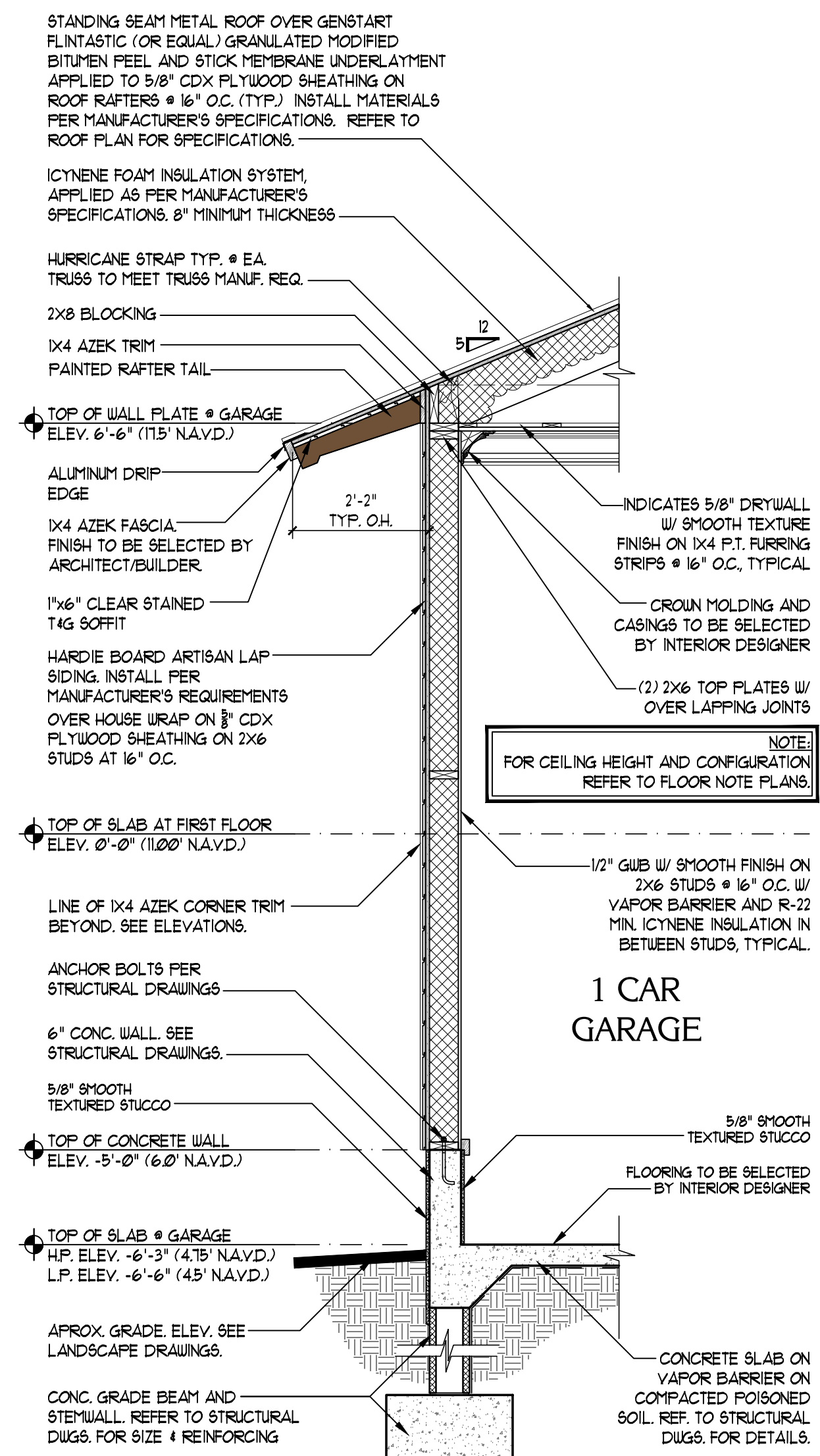
LICENSE# AA26000793

STOFFT COONEY ARCHITECTS, INC. IS A REGISTERED ARCHITECTURAL FIRM IN THE STATE OF FLORIDA. THE ARCHITECTS' LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECTS. THE ARCHITECTS' LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECTS. THE ARCHITECTS' LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECTS.

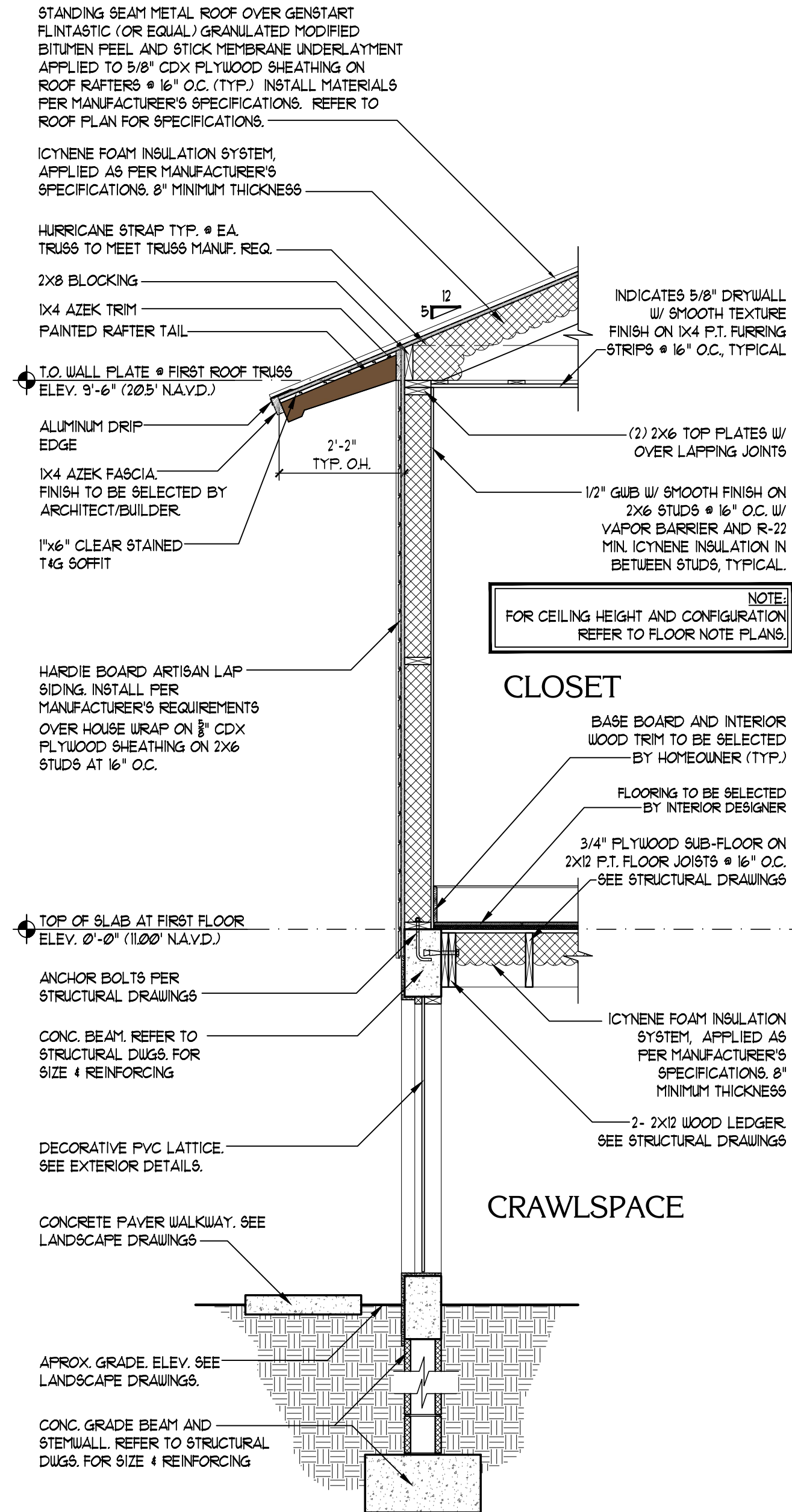
633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262.7677 Delray Beach, Florida • (561) 243.0799



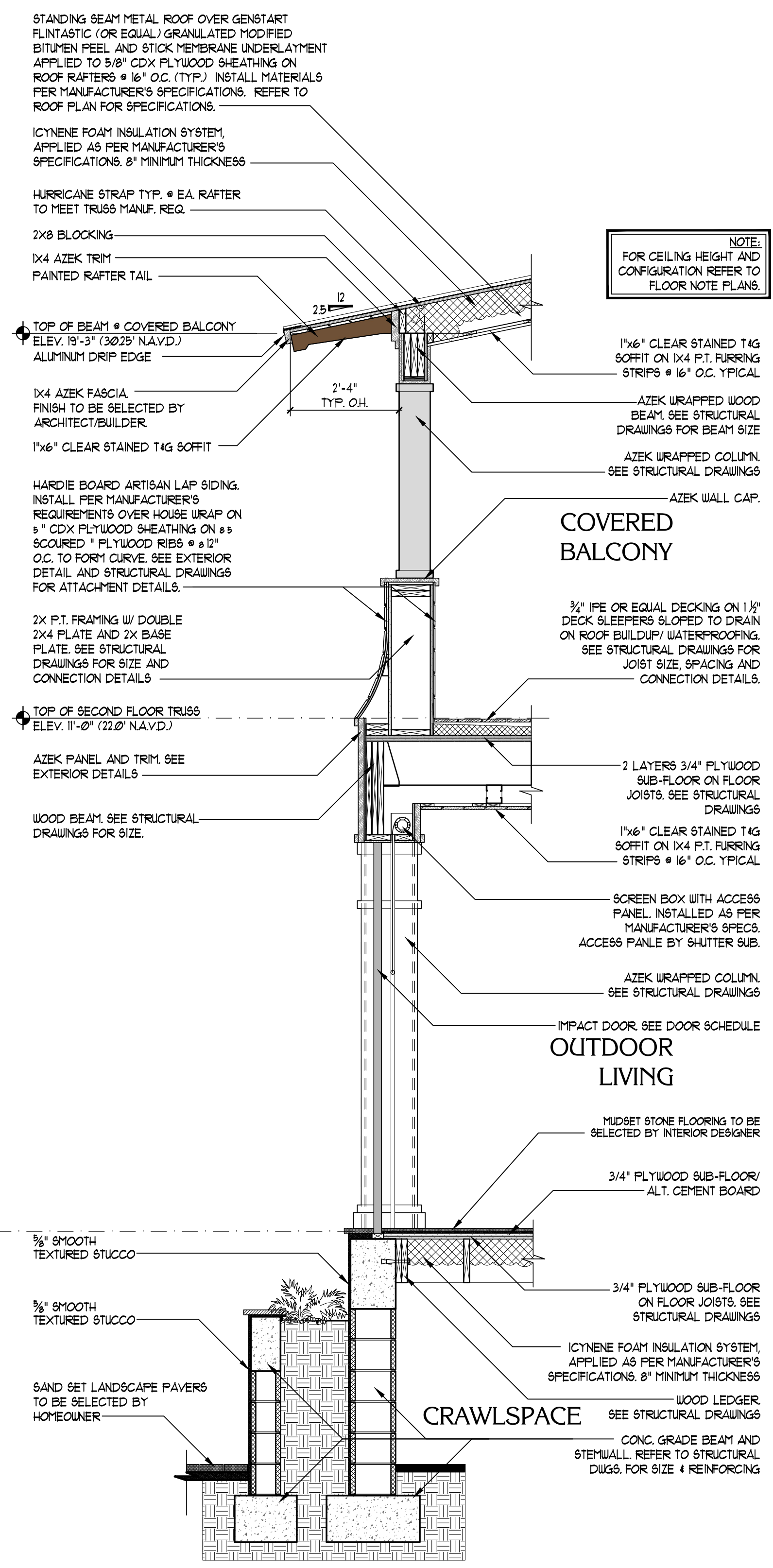
WS-1 WALL SECTION 1
SCALE: 1/2" = 1'-0"



WS-2 WALL SECTION 2
SCALE: 1/2" = 1'-0"



WS-3 WALL SECTION 3
SCALE: 1/2" = 1'-0"



WS-4 WALL SECTION 4
SCALE: 1/2" = 1'-0"

Revisions	Date
1	09/23/2019

BRAXTON RESIDENCE
150 1ST STREET EAST
BOCA GRANDE, FLORIDA

STOFFT COONEY ARCHITECTS
distinctive inspirational architecture

Job No. 1802-07N
Date: 11/23/2018 15

A8.0

PERMIT SET

633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262-7677 Delray Beach, Florida • (561) 243-0799

DATE: 09/23/2019

DATE: 11/23/2018

DATE: 11/23/2018

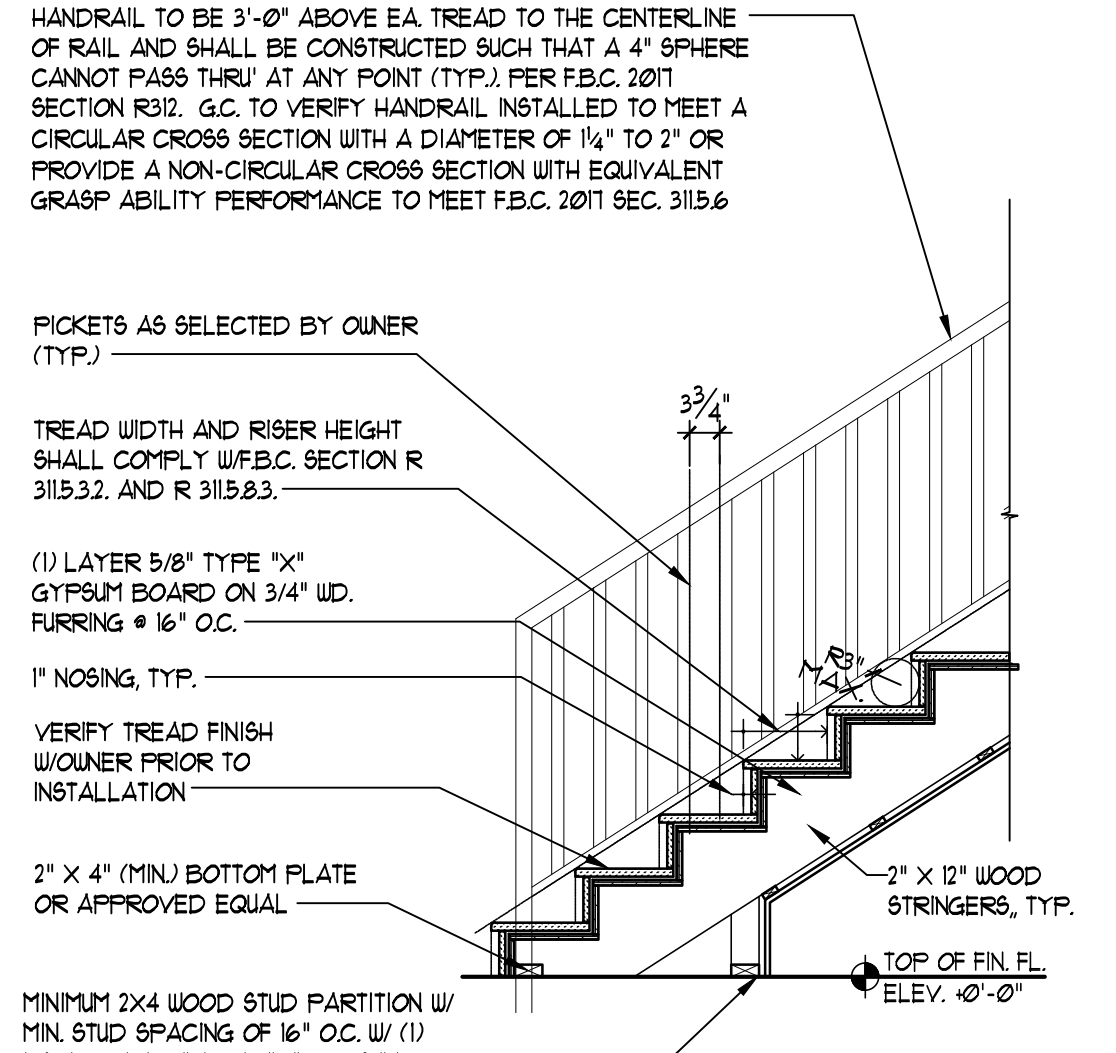
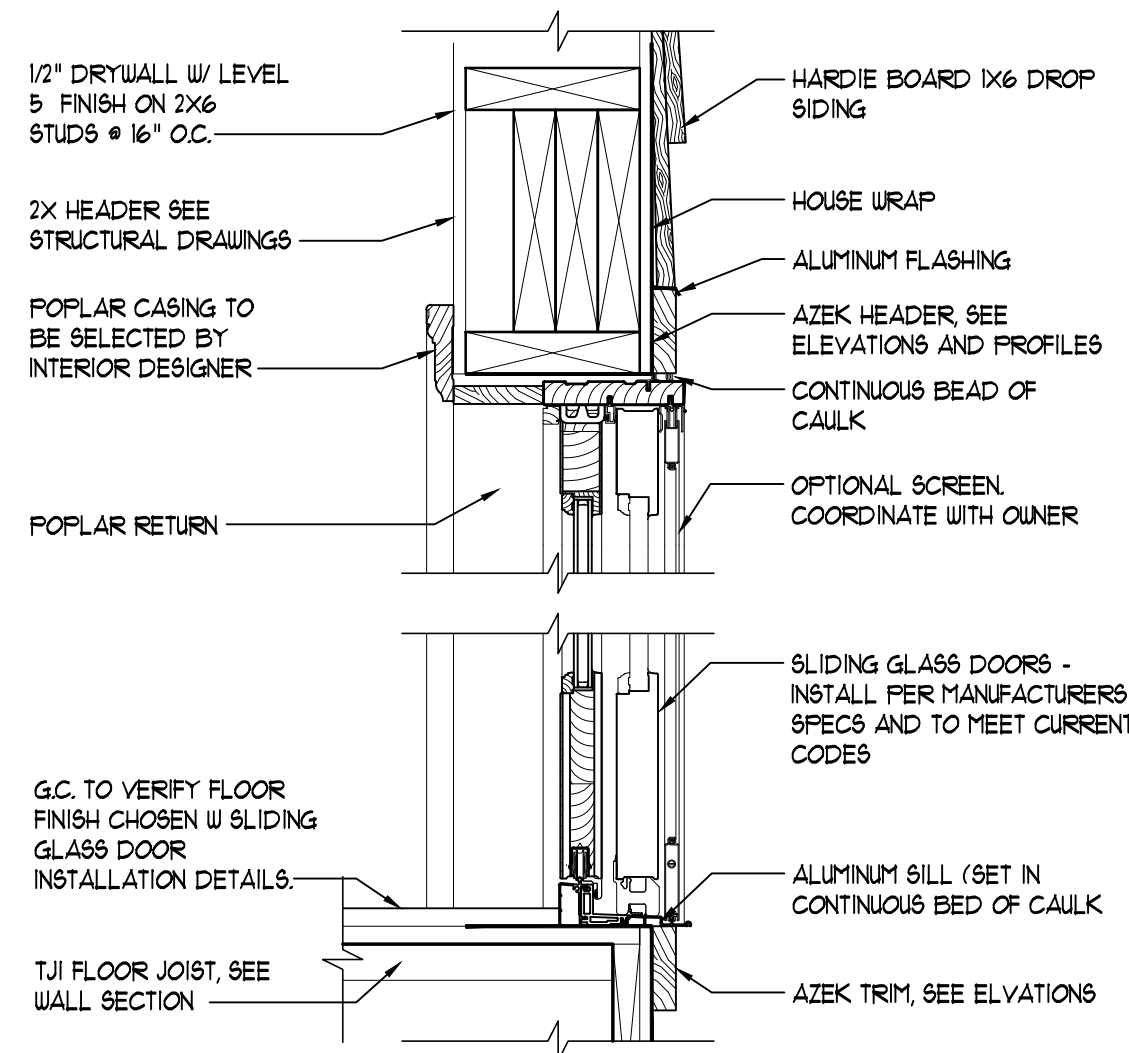
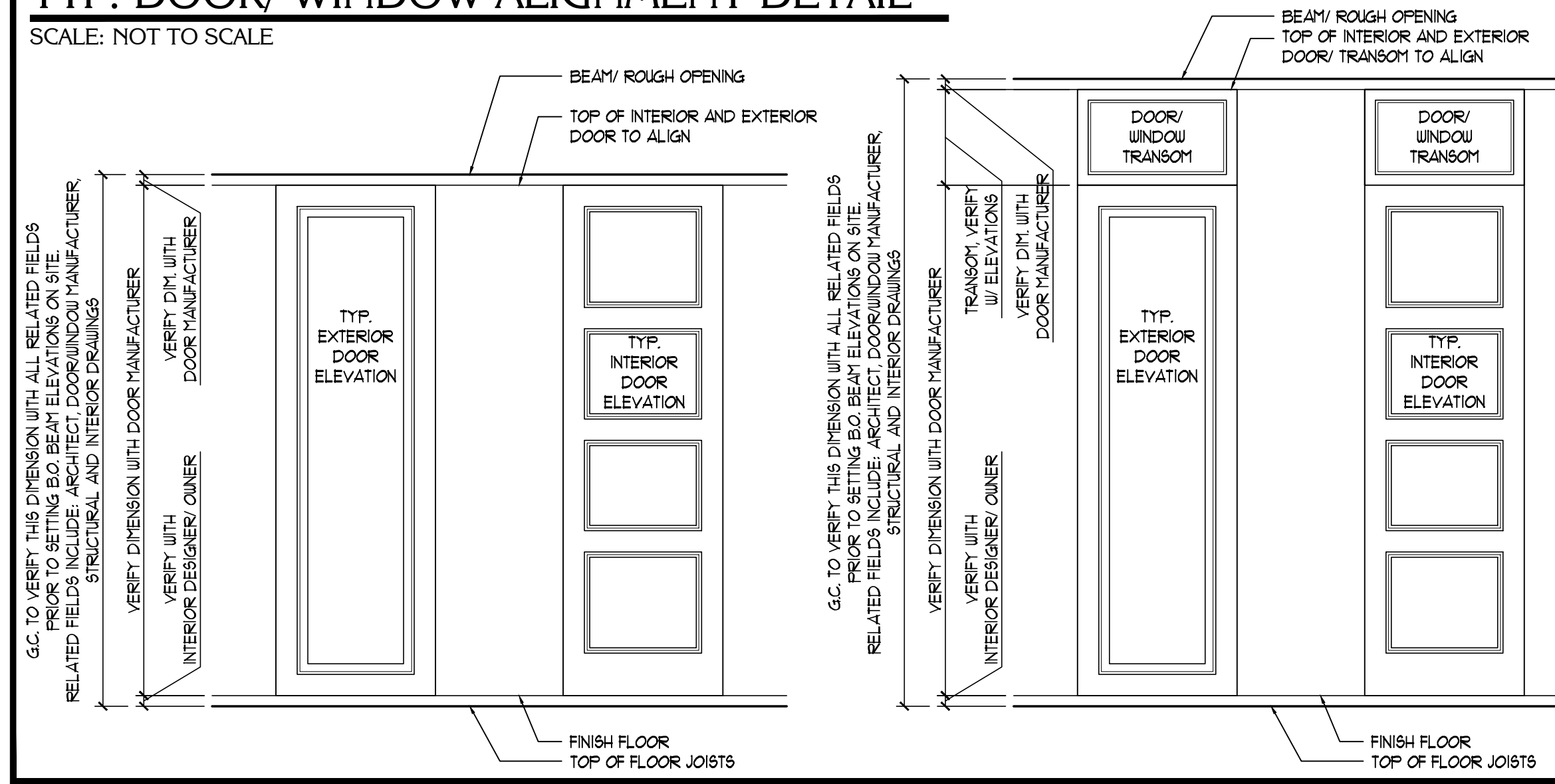
DATE: 11/23/2018

DATE: 11/23/2018

DATE: 11/23/2018

TYP. DOOR/ WINDOW ALIGNMENT DETAIL

SCALE: NOT TO SCALE

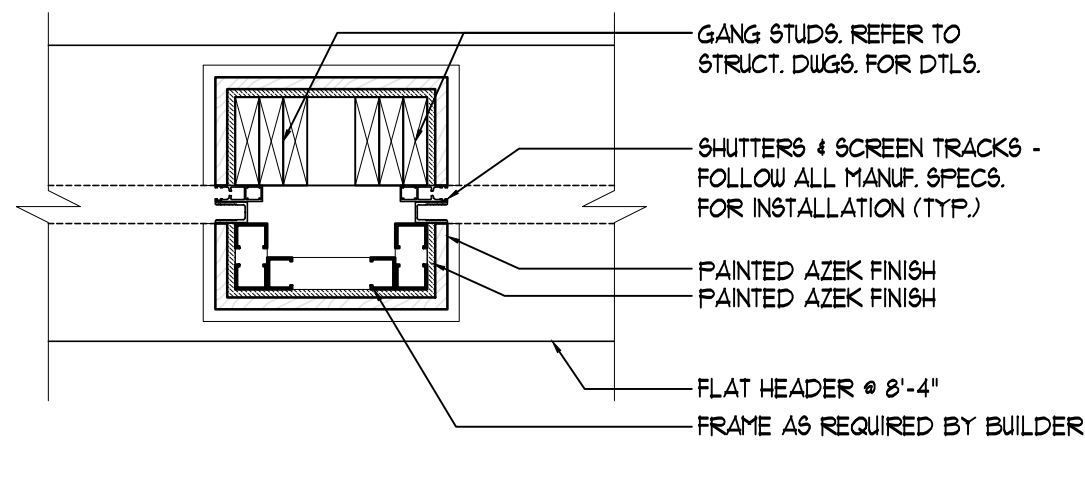
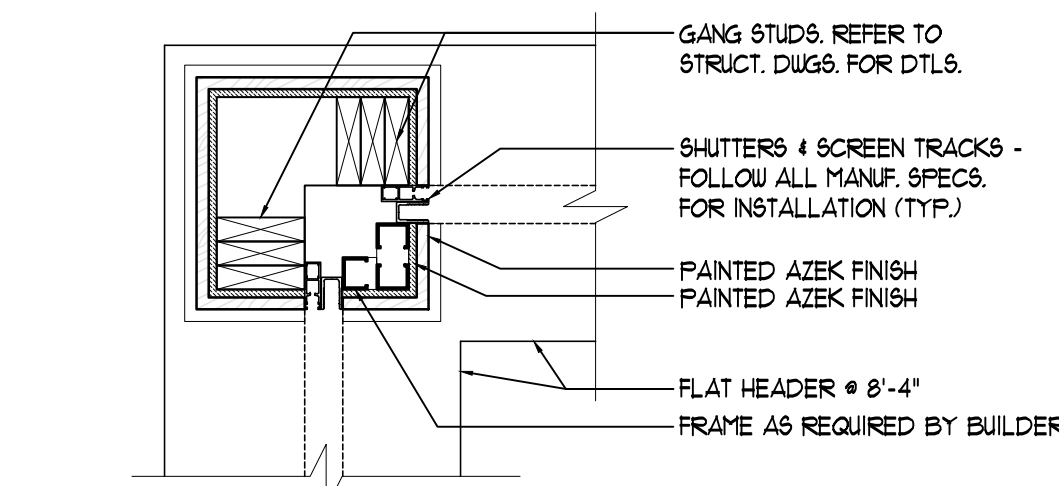


SLIDING GLASS DOOR DETAIL

SCALE: 1 1/2" = 1'-0"

PARTIAL STAIR SECTION

SCALE: 1/2" = 1'-0"

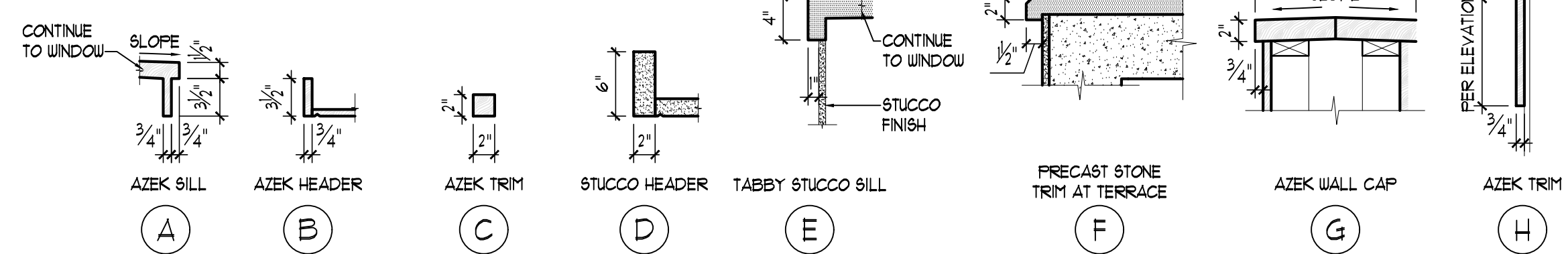


SHUTTER/SCREEN DETAILS

SCALE: 1" = 1'-0"

NOTES:

- THESE DETAILS REPRESENT OVERALL DIMENSIONAL PREREQUISITES FOR THESE PROFILES.
- G.C. TO PROVIDE BLOCKING, FLASHING, AND WATERPROOFING AS NECESSARY PER MANUFACTURER'S INSTALLATION SPECIFICATIONS. IF ANY CONFLICTS EXIST WITH THE ABOVE PREREQUISITES G.C. TO NOTIFY THE ARCHITECT.

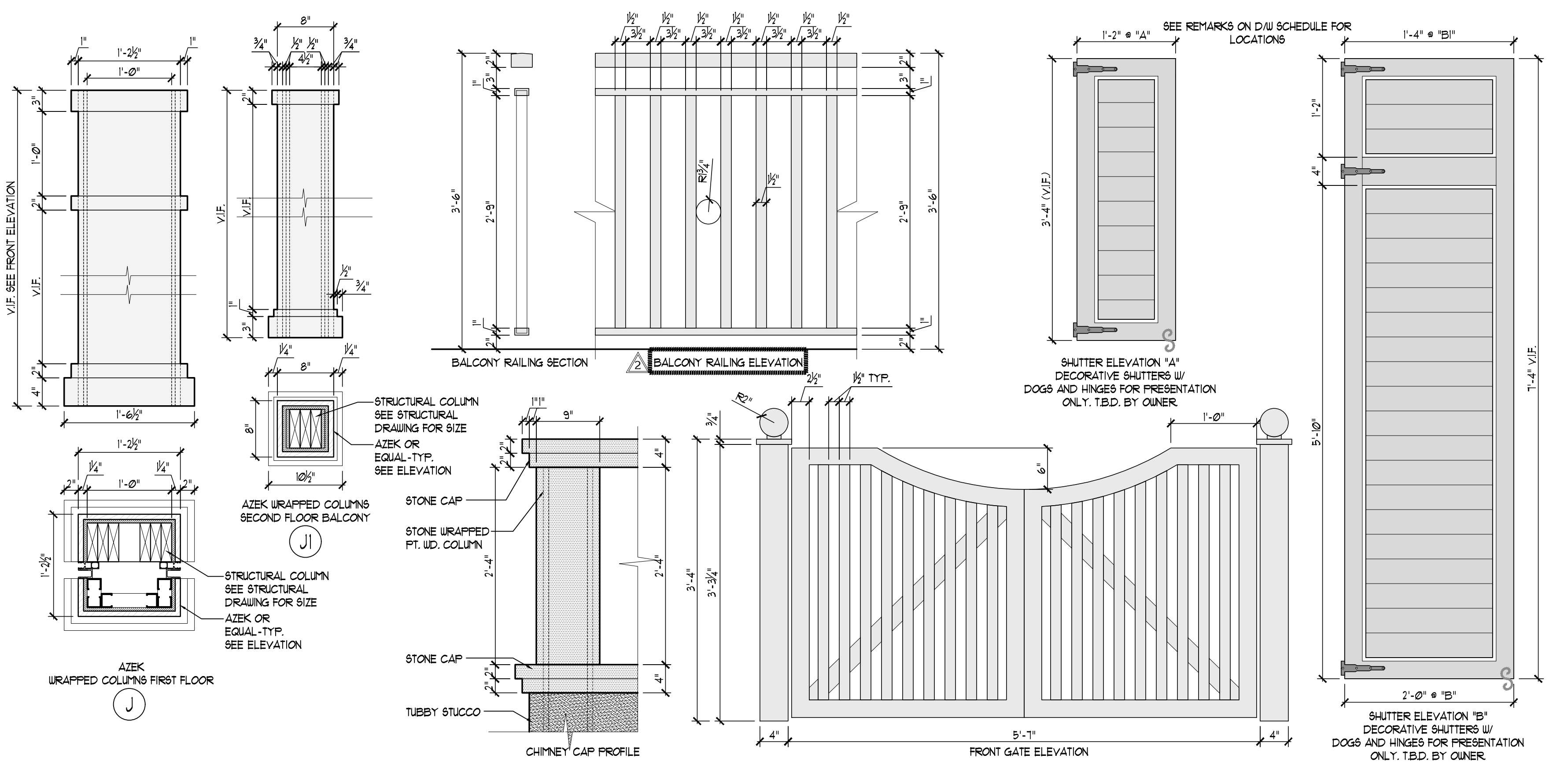


WIN. NO.	WINDOW SIZE	TRANSOM	TYPE	HEAD HEIGHT	MANUFACTURER	LOCATION	PROTECTION	REMARKS:
FIRST FLOOR								
101	(2) 2'-4" X 6'-0"	(2) 2'-4" X 1'-4"	CASEMENT	8'-4" AFF.	ANDERSEN OR EQUAL	COVERED BREEZEWAY	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
102	(2) 2'-4" X 6'-0"	(2) 2'-4" X 1'-4"	CASEMENT	8'-4" AFF.	ANDERSEN OR EQUAL	BEDROOM 13	IMPACT	EGRESS/ EXTERIOR SHUTTERS "B"
103	2'-4" X 3'-4"	NONE	FIXED CASEMENT	7'-0" AFF.	ANDERSEN OR EQUAL	BATH 13	IMPACT	IN SHOWER, APPLY MARINE PAINT GRADE/ EXT. SHUTTERS "A"
104	2'-4" X 3'-4"	NONE	CASEMENT	7'-0" AFF.	ANDERSEN OR EQUAL	BATH 13	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
105	2'-4" X 3'-4"	NONE	CASEMENT	7'-0" AFF.	ANDERSEN OR EQUAL	MASTER BATH	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
106	2'-4" X 3'-4"	NONE	FIXED CASEMENT	7'-0" AFF.	ANDERSEN OR EQUAL	MASTER BATH	IMPACT	IN SHOWER, APPLY MARINE PAINT GRADE/ EXT. SHUTTERS "A"
107	(3) 2'-4" X 6'-0"	(3) 2'-4" X 1'-4"	CASHFIX, CASHM.	8'-4" AFF.	ANDERSEN OR EQUAL	MASTER BEDROOM	IMPACT	EGRESS
108	(2) 2'-4" X 6'-0"	(2) 2'-4" X 1'-4"	CASEMENT	8'-4" AFF.	ANDERSEN OR EQUAL	DINING	IMPACT	SEE EXTERIOR ELEV. FOR MULLION PATTERN/ EXT. SHUTTERS "B"
109	2'-4" X 3'-4"	NONE	FIXED CASEMENT	7'-0" AFF.	ANDERSEN OR EQUAL	BATH 12/ PUDR.	IMPACT	IN SHOWER, APPLY MARINE PAINT GRADE/ EXT. SHUTTERS "A"
110	(2) 2'-4" X 6'-0"	(2) 2'-4" X 1'-4"	CASEMENT	8'-4" AFF.	ANDERSEN OR EQUAL	BEDROOM 12	IMPACT	EGRESS/ EXT. SHUTTERS "B"
111	2'-4" X 4'-5"	2'-4" X 1'-4"	FIXED CASEMENT	8'-4" AFF.	ANDERSEN OR EQUAL	BEDROOM 12	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
112	2'-4" X 4'-5"	2'-4" X 1'-4"	FIXED CASEMENT	8'-4" AFF.	ANDERSEN OR EQUAL	BEDROOM 12	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
113	2'-4" X 4'-0"	NONE	FIXED CASEMENT	8'-0" AFF. GARAGE	ANDERSEN OR EQUAL	GARAGE	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
114	2'-4" X 4'-5"	2'-4" X 1'-4"	FIXED CASEMENT	8'-4" AFF.	ANDERSEN OR EQUAL	BEDROOM 12	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
115	(2) 2'-4" X 6'-0"	(2) 2'-4" X 1'-4"	FIXED CASEMENT	8'-4" AFF.	ANDERSEN OR EQUAL	COVERED BREEZEWAY	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
116	(2) 2'-4" X 6'-0"	(2) 2'-4" X 1'-4"	CASEMENT	8'-4" AFF.	ANDERSEN OR EQUAL	COVERED BREEZEWAY	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
117	(2) 2'-4" X 6'-0"	(2) 2'-4" X 1'-4"	CASEMENT	8'-4" AFF.	ANDERSEN OR EQUAL	COVERED BREEZEWAY	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
118	(2) 2'-4" X 6'-0"	(2) 2'-4" X 1'-4"	CASEMENT	8'-4" AFF.	ANDERSEN OR EQUAL	COVERED BREEZEWAY	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
SECOND FLOOR								
201	2'-4" X 3'-4"	NONE	FIXED CASEMENT	6'-8" AFF. SEC. FL.	LOEUVEN, OR EQUAL	LOFT	IMPACT	IN SHOWER, APPLY MARINE PAINT GRADE/ EXT. SHUTTERS "A"
202	2'-4" X 3'-4"	NONE	CASEMENT	6'-8" AFF. SEC. FL.	LOEUVEN, OR EQUAL	LOFT	IMPACT	SEE EXTERIOR ELEV. FOR MULLION PATTERN/ EXT. SHUTTERS "A"
203	2'-4" X 3'-4"	NONE	CASEMENT	6'-8" AFF. SEC. FL.	LOEUVEN, OR EQUAL	CRAFTS	IMPACT	SEE EXTERIOR ELEV. FOR MULLION PATTERN/ EXT. SHUTTERS "A"
204	2'-4" X 3'-4"	NONE	CASEMENT	6'-8" AFF. SEC. FL.	LOEUVEN, OR EQUAL	CRAFTS	IMPACT	EGRESS/ EXTERIOR SHUTTERS "A"
205	2'-4" X 3'-4"	NONE	CASEMENT	6'-8" AFF. SEC. FL.	LOEUVEN, OR EQUAL	CRAFTS	IMPACT	EGRESS/ EXTERIOR SHUTTERS "A"
206	(2) 2'-4" X 4'-0"	NONE	CASEMENT	6'-8" AFF. SEC. FL.	LOEUVEN, OR EQUAL	BEDROOM 15	IMPACT	EGRESS
207	2'-4" X 4'-0"	NONE	FIXED CASEMENT	6'-8" AFF. SEC. FL.	LOEUVEN, OR EQUAL	BATH 5	IMPACT	IN SHOWER, APPLY MARINE PAINT GRADE.
208	2'-4" X 4'-0"	NONE	CASEMENT	6'-8" AFF. SEC. FL.	LOEUVEN, OR EQUAL	BEDROOM 14	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
209	(2) 2'-4" X 3'-4"	NONE	CASEMENT	6'-8" AFF. SEC. FL.	LOEUVEN, OR EQUAL	BATH 4	IMPACT	EGRESS/ EXTERIOR SHUTTERS "A"
210	2'-4" X 4'-0"	NONE	CASEMENT	6'-8" AFF. SEC. FL.	LOEUVEN, OR EQUAL	LOFT	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN

NOTE: ALL WINDOWS SHALL BE DESIGN AND INSTALLED TO WITHSTAND 110 MPH WIND LOADS AS REQUIRED BY FLORIDA RESIDENTIAL BUILDING CODE 2011. ENGINEERED SHOP DRAWINGS AND DOCUMENTED WINDOW TESTING SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ARCHITECT.

UNIT	DOOR SIZE	TRANSOM	DESCRIPTION	DOOR FRAME	MANUFACTURER	LOCATION	PROTECTION	REMARKS:
FIRST FLOOR								
A	3'-0" X 8'-4"	NONE	CUSTOM MAHOGANY ENTRY DOOR	WOOD	T.B.D.	COVERED BREEZEWAY	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
B1	(6) 2'-8" X 8'-4"	NONE	FOLDING DOORS	ALUM. CLAD	ORIGIN, OR EQUAL	OUTDOOR LIVING	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
B2	3'-0" X 8'-4"	NONE	INSULING	ALUM. CLAD	ORIGIN, OR EQUAL	OUTDOOR LIVING	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
B3	3'-0" X 8'-4"	NONE	INSULING	ALUM. CLAD	ORIGIN, OR EQUAL	OUTDOOR LIVING	IMPACT	SEE EXTERIOR ELEVATION FOR MULLION PATTERN
C	8'-0" X 8'-0"	NONE	OVERHEAD GARAGE DOORS	STEEL	RAYNOR OR EQUAL	GARAGE	IMPACT	SEE EXTERIOR ELEVATION FOR DESIGN
D	8'-0" X 9'-0"	NONE	OVERHEAD GARAGE DOORS	STEEL	RAYNOR OR EQUAL	GARAGE	IMPACT	SEE EXTERIOR ELEVATION FOR DESIGN
SECOND FLOOR								
AA	(2) 2'-6" X 6'-8"	NONE	DOUBLE OUTSUNG FRENCH DOOR	ALUM. CLAD	LOEUVEN, OR EQUAL	BEDROOM 14	IMPACT	EGRESS/ PROVIDE EXTERIOR SHUTTERS

NOTE: ALL DOORS SHALL BE DESIGN AND INSTALLED TO WITHSTAND 110 MPH WIND LOADS AS REQUIRED BY FLORIDA RESIDENTIAL BUILDING CODE 2011. ENGINEERED SHOP DRAWINGS AND DOCUMENTED WINDOW TESTING SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE ARCHITECT.



BRAXTON RESIDENCE

150 1ST STREET EAST

BOCA GRANDE, FLORIDA

STOFFT COONEY ARCHITECTS
distinctive inspirational architecture

633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262.7677 Delray Beach, Florida • (561) 243.0799

Job No. 1802-07N
Date: 11/23/2018 15.

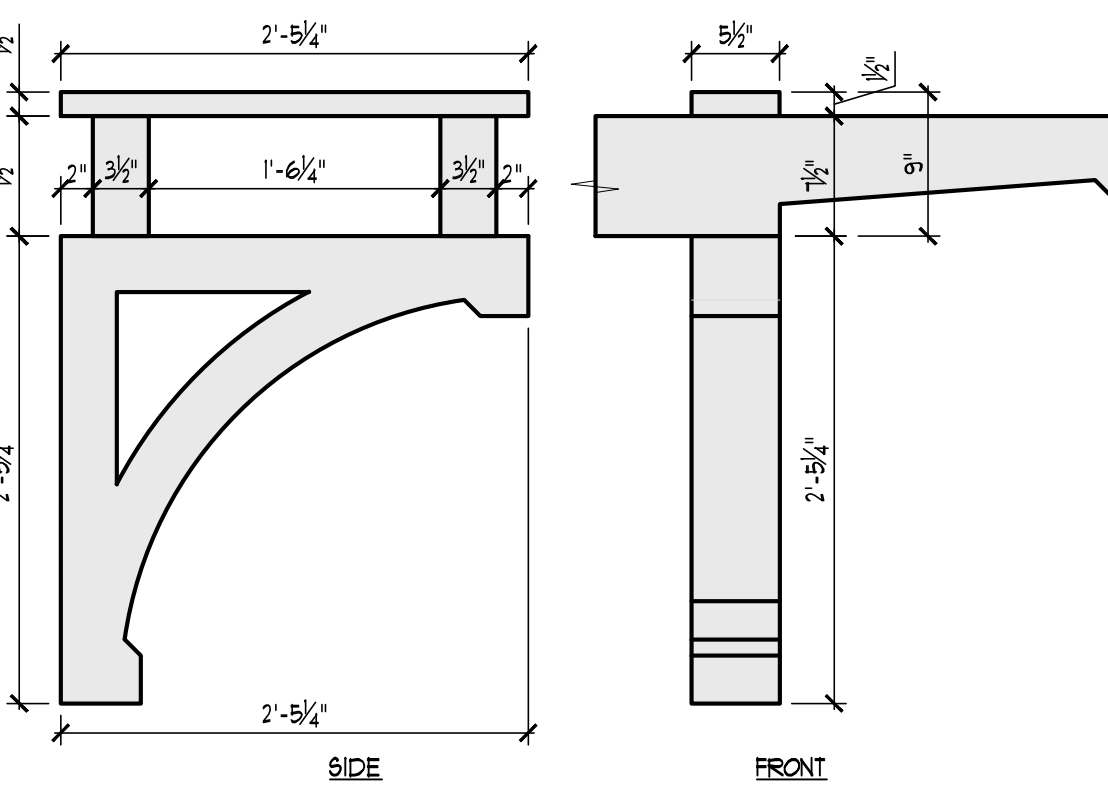
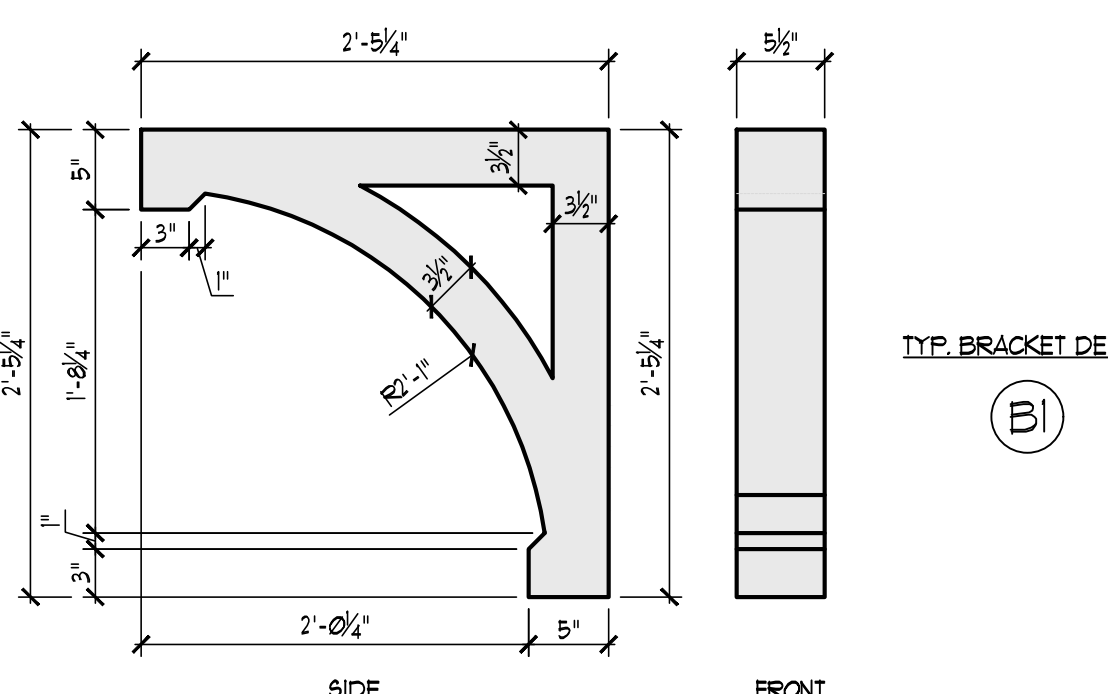
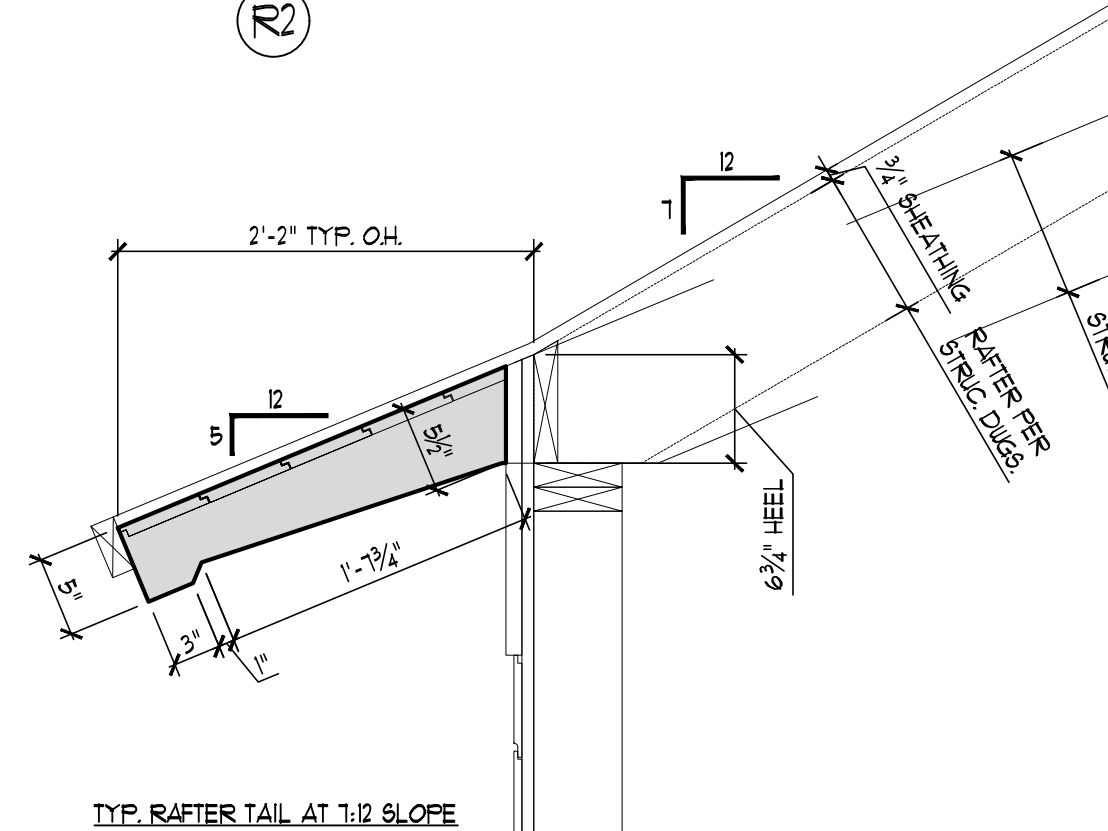
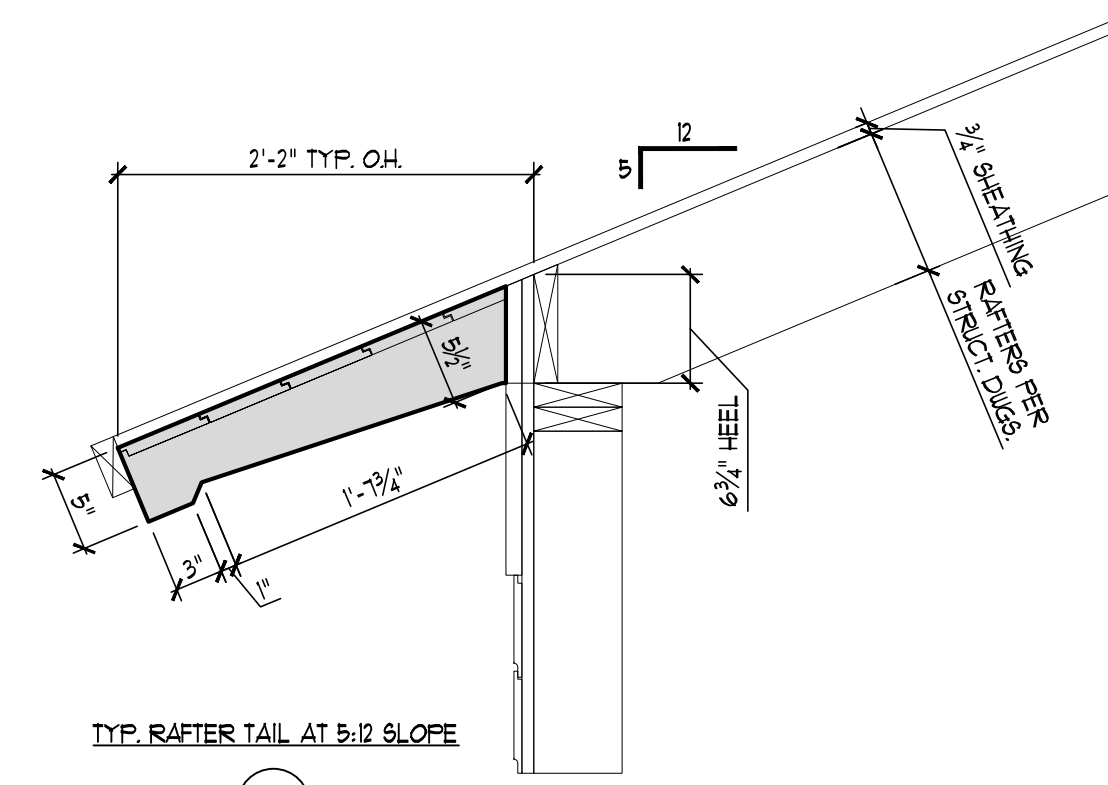
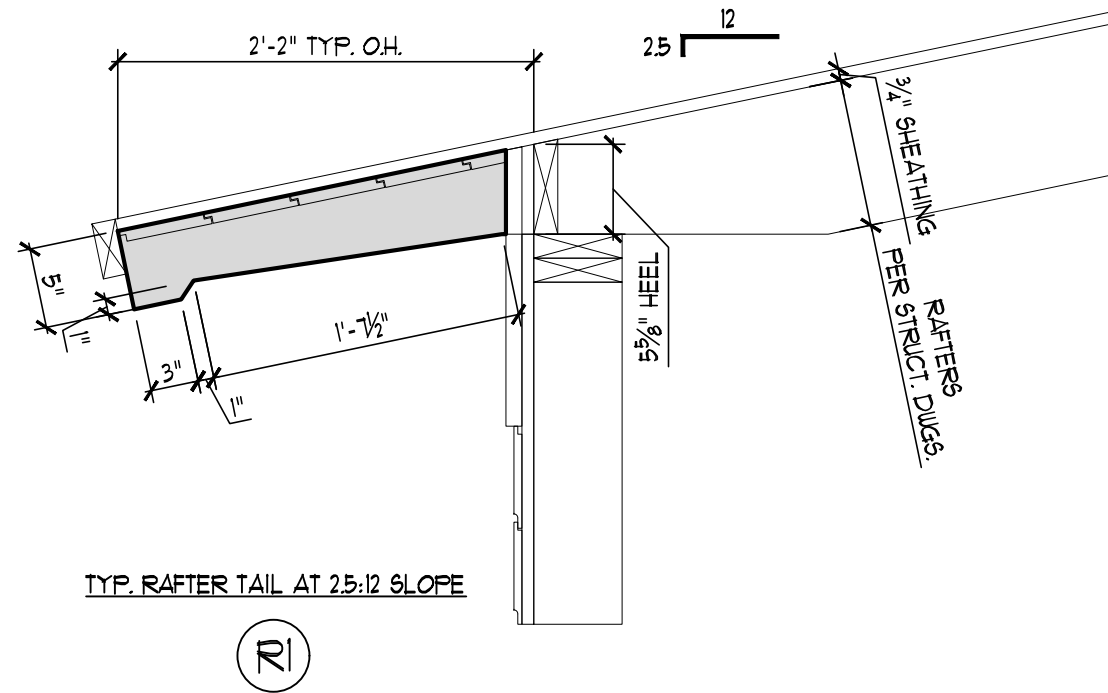
Job No. 1802-07N
Date: 11/23/2018 15.

PERMIT SET

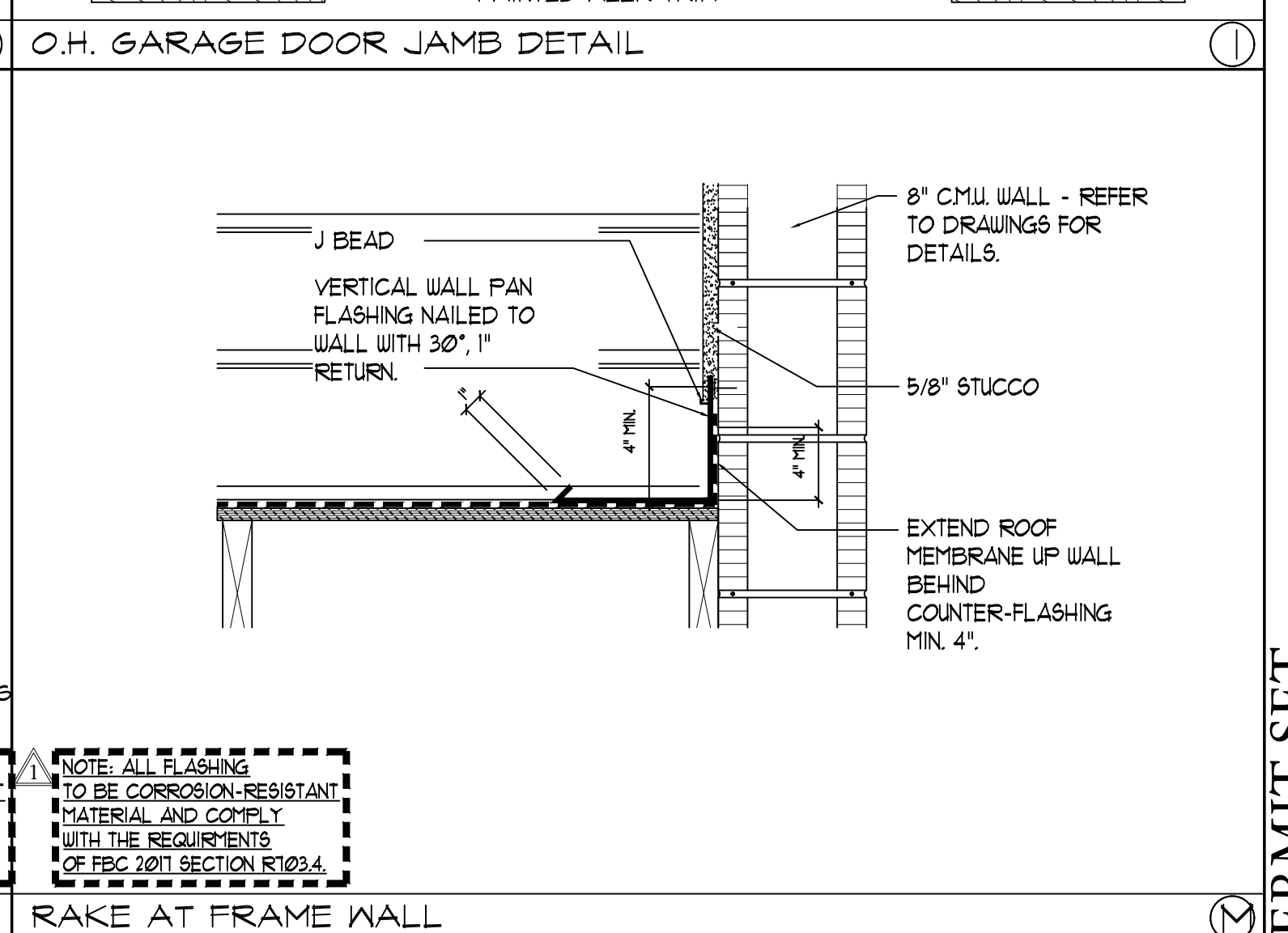
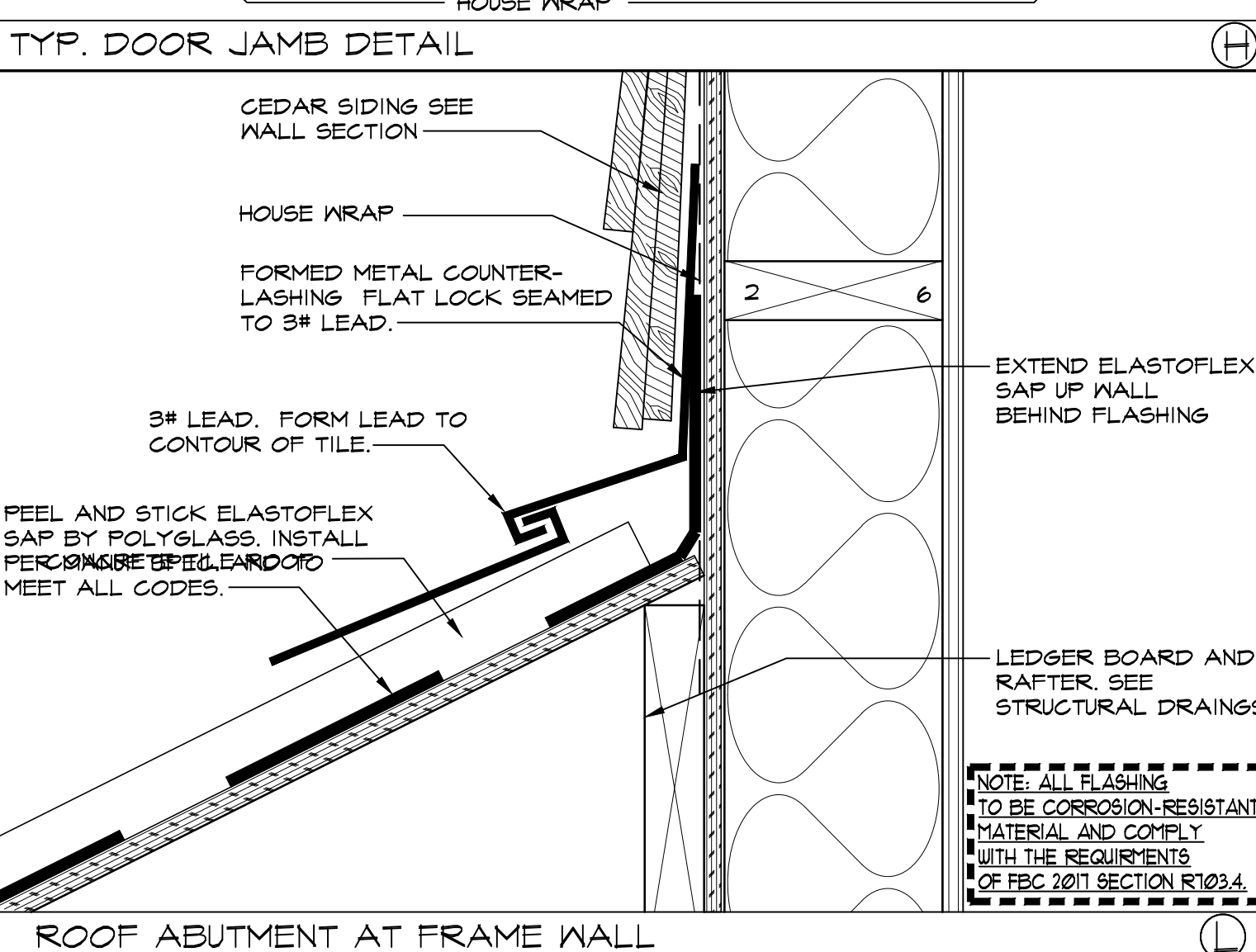
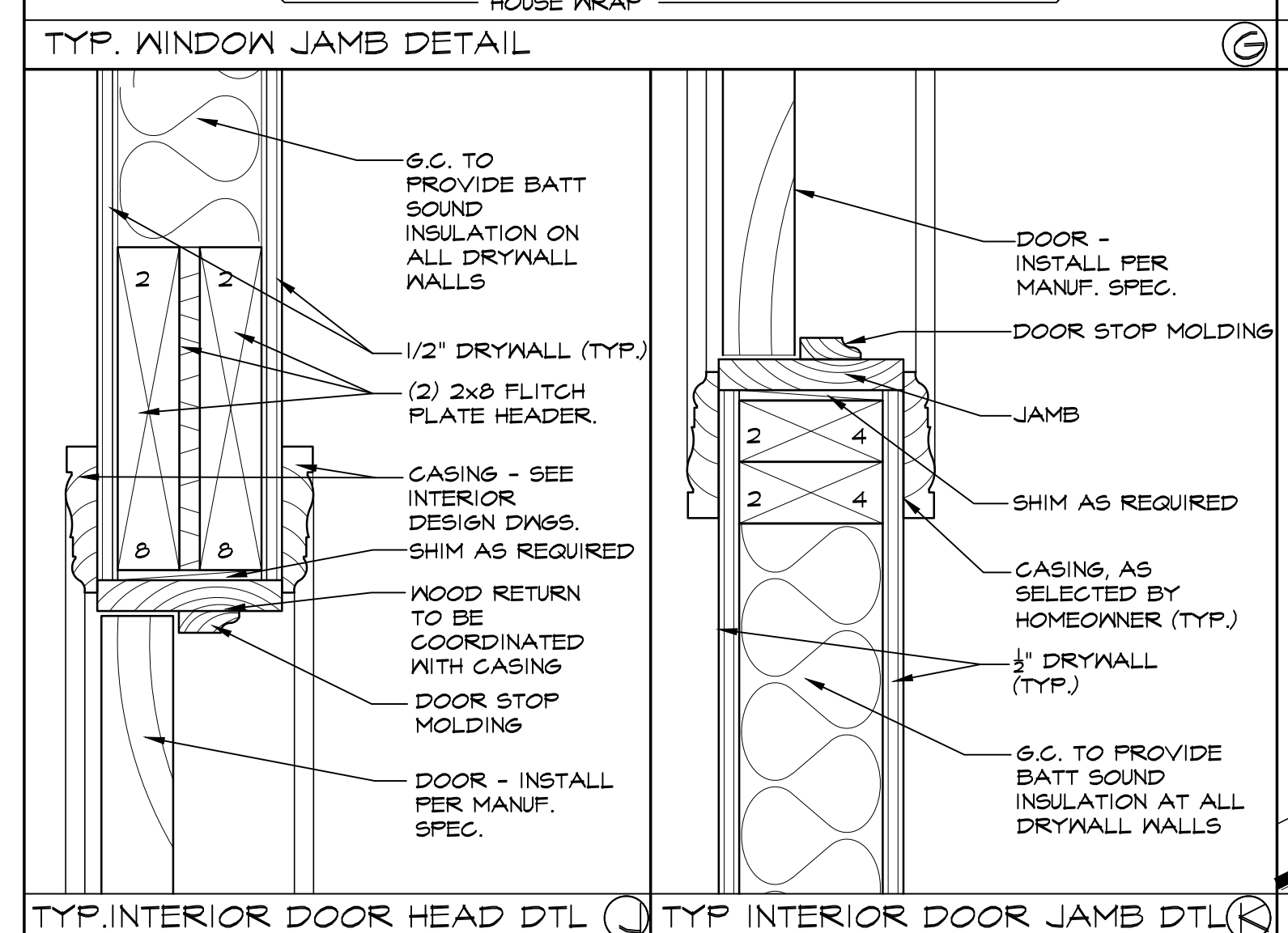
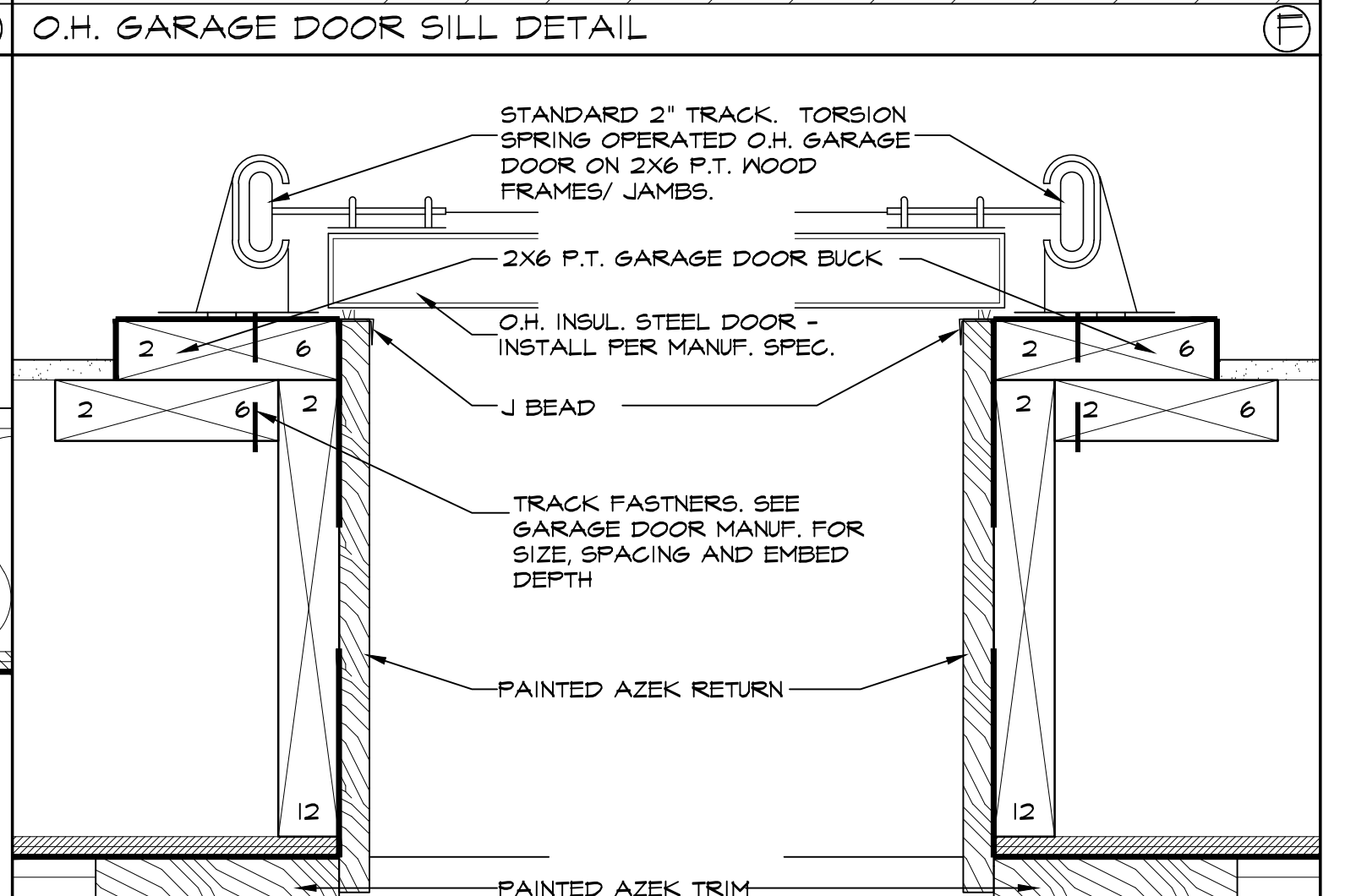
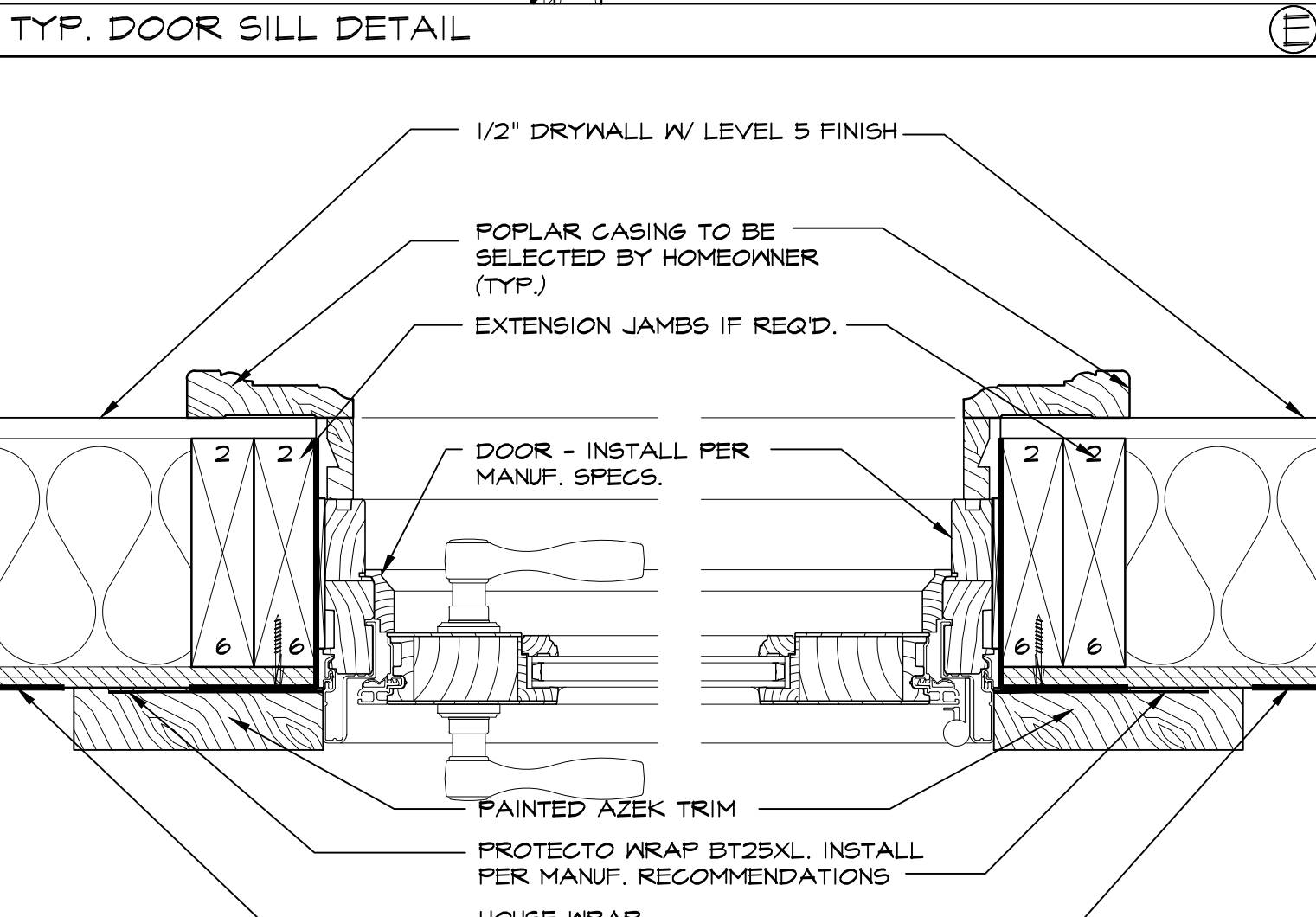
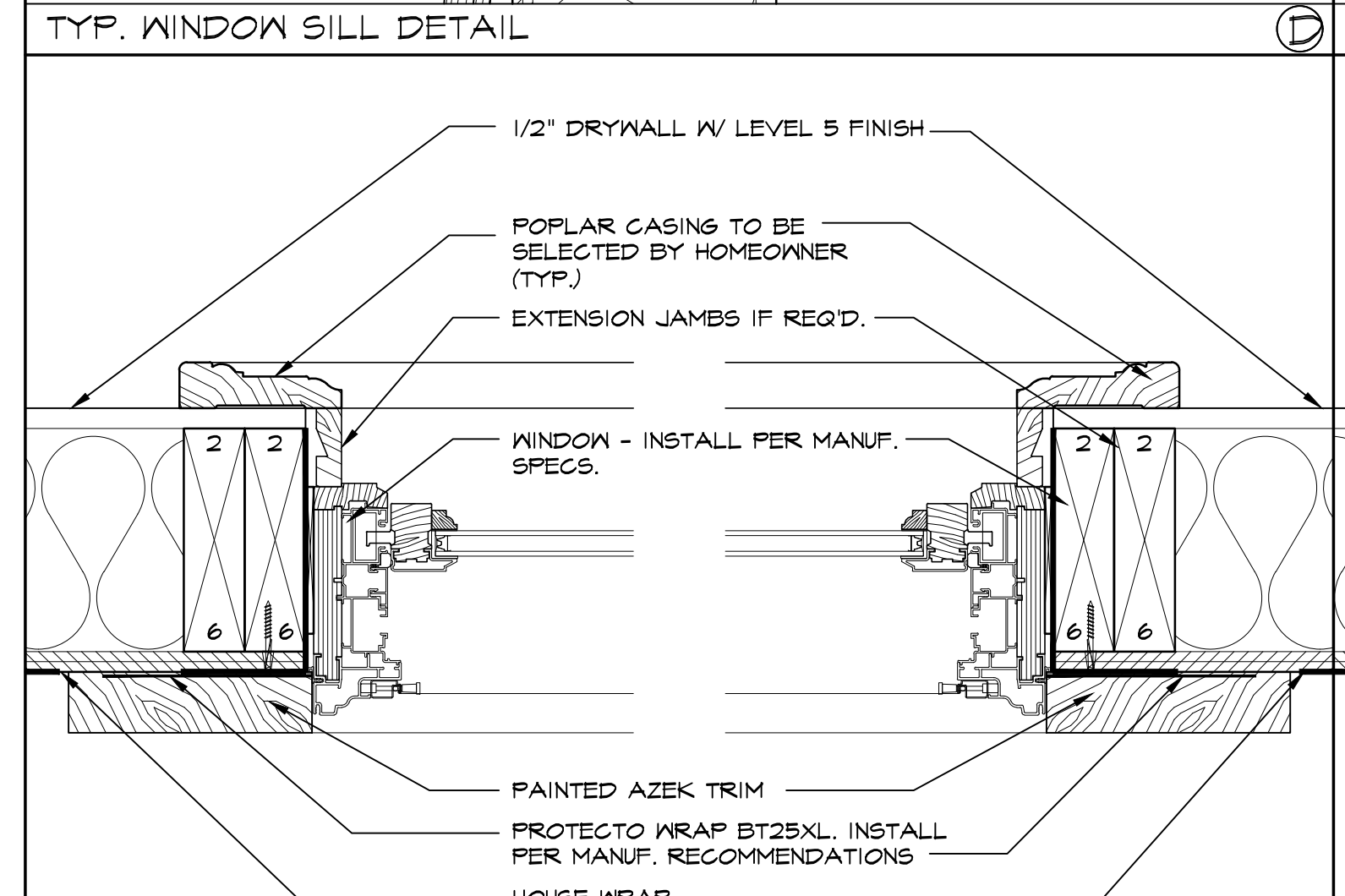
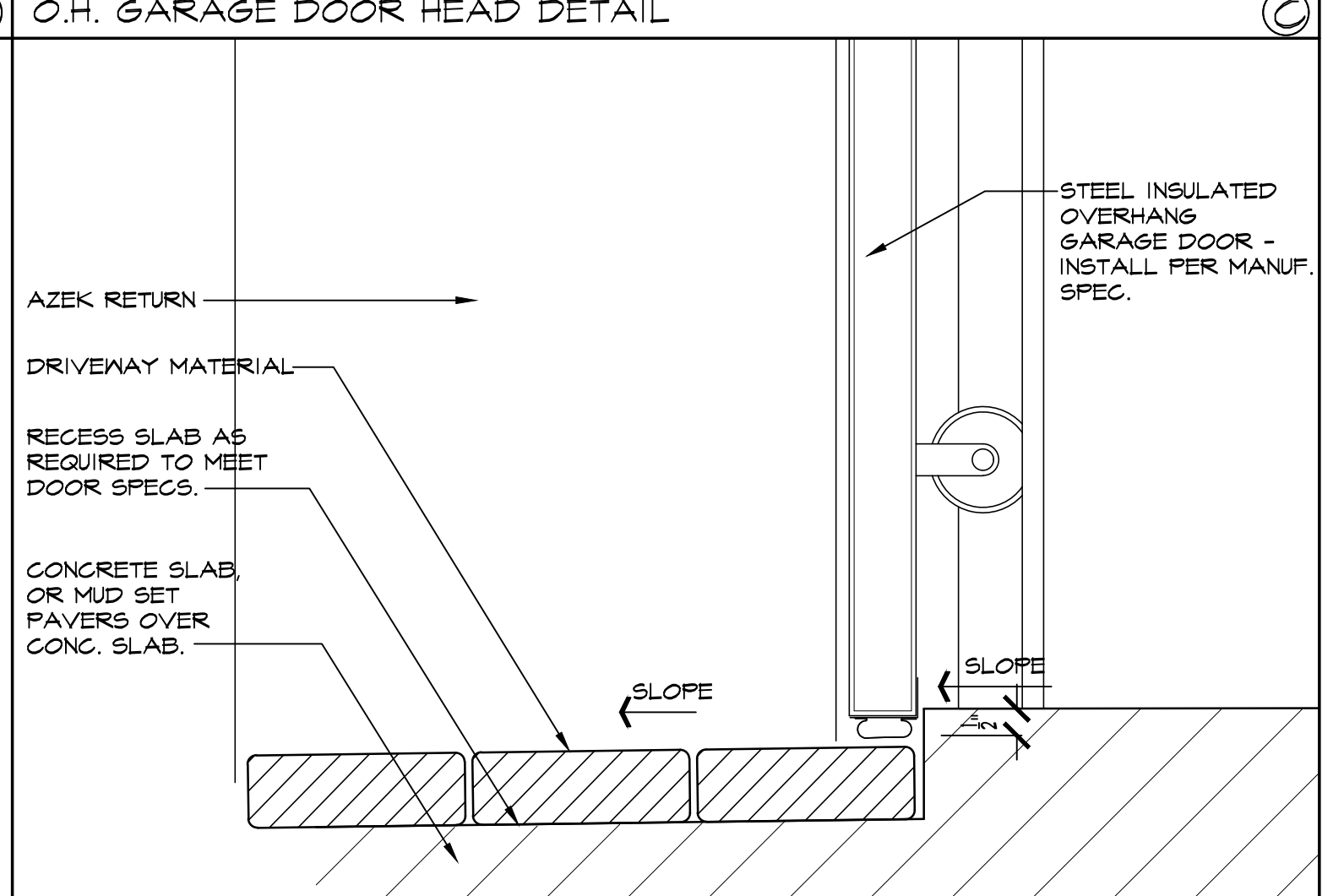
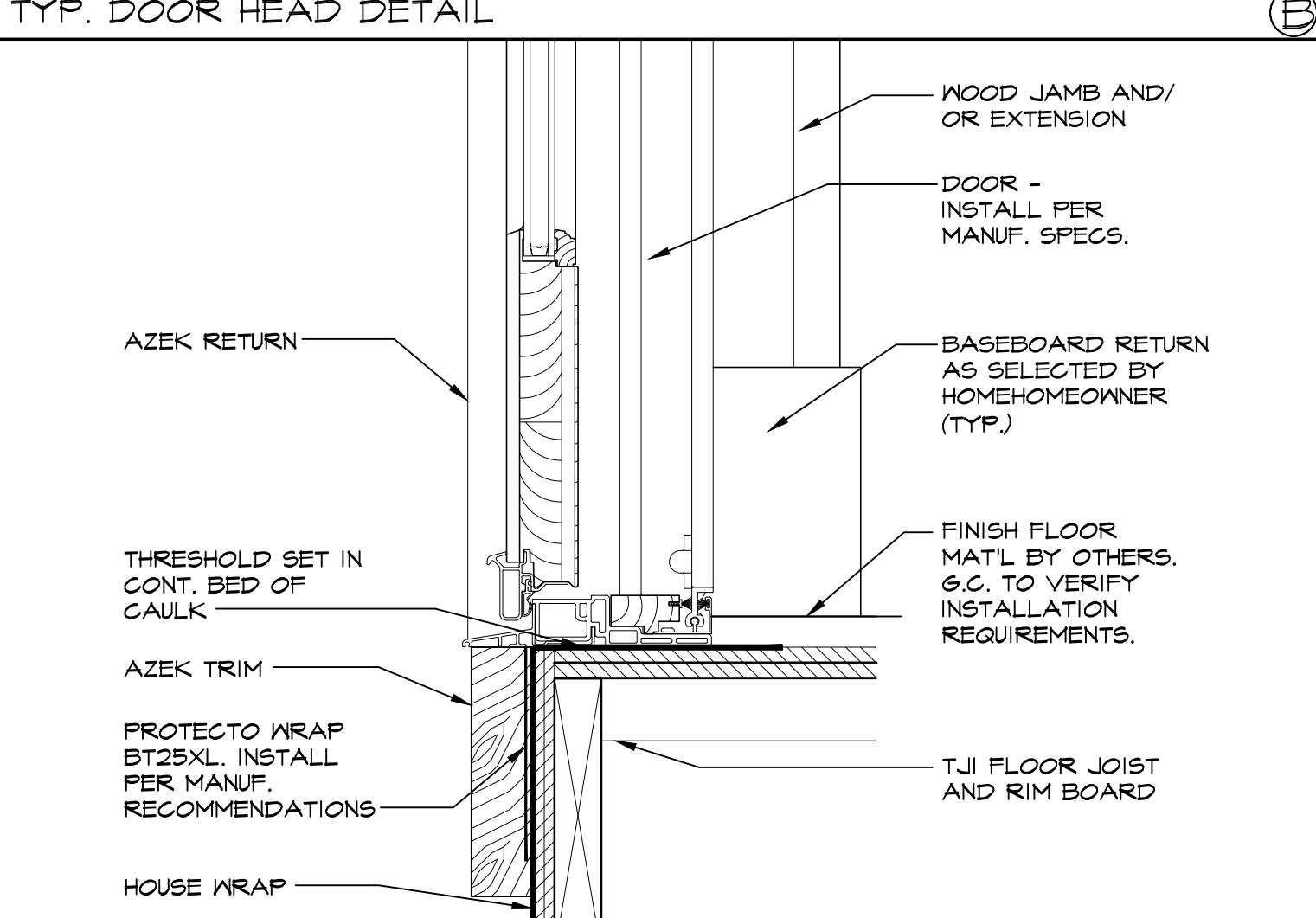
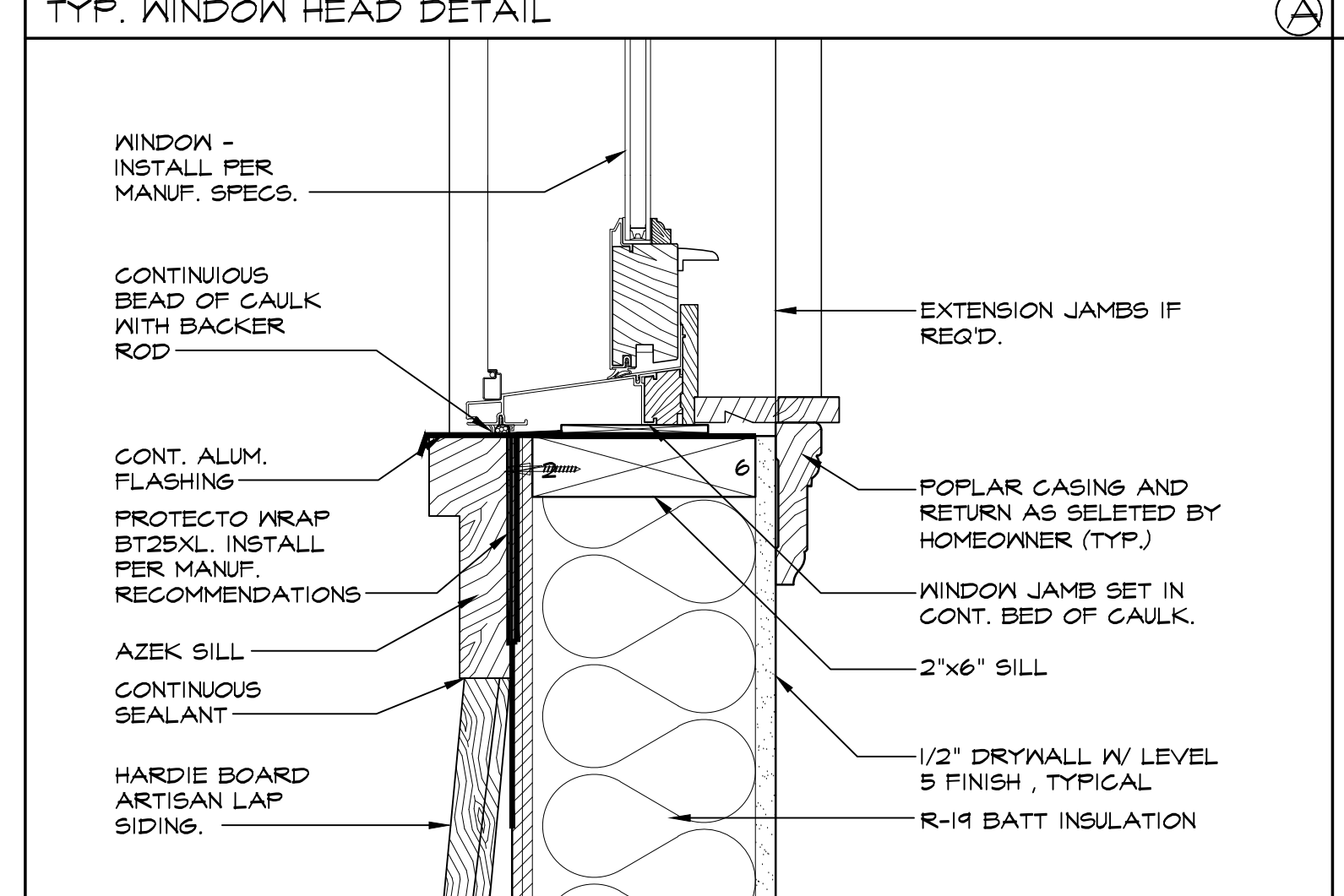
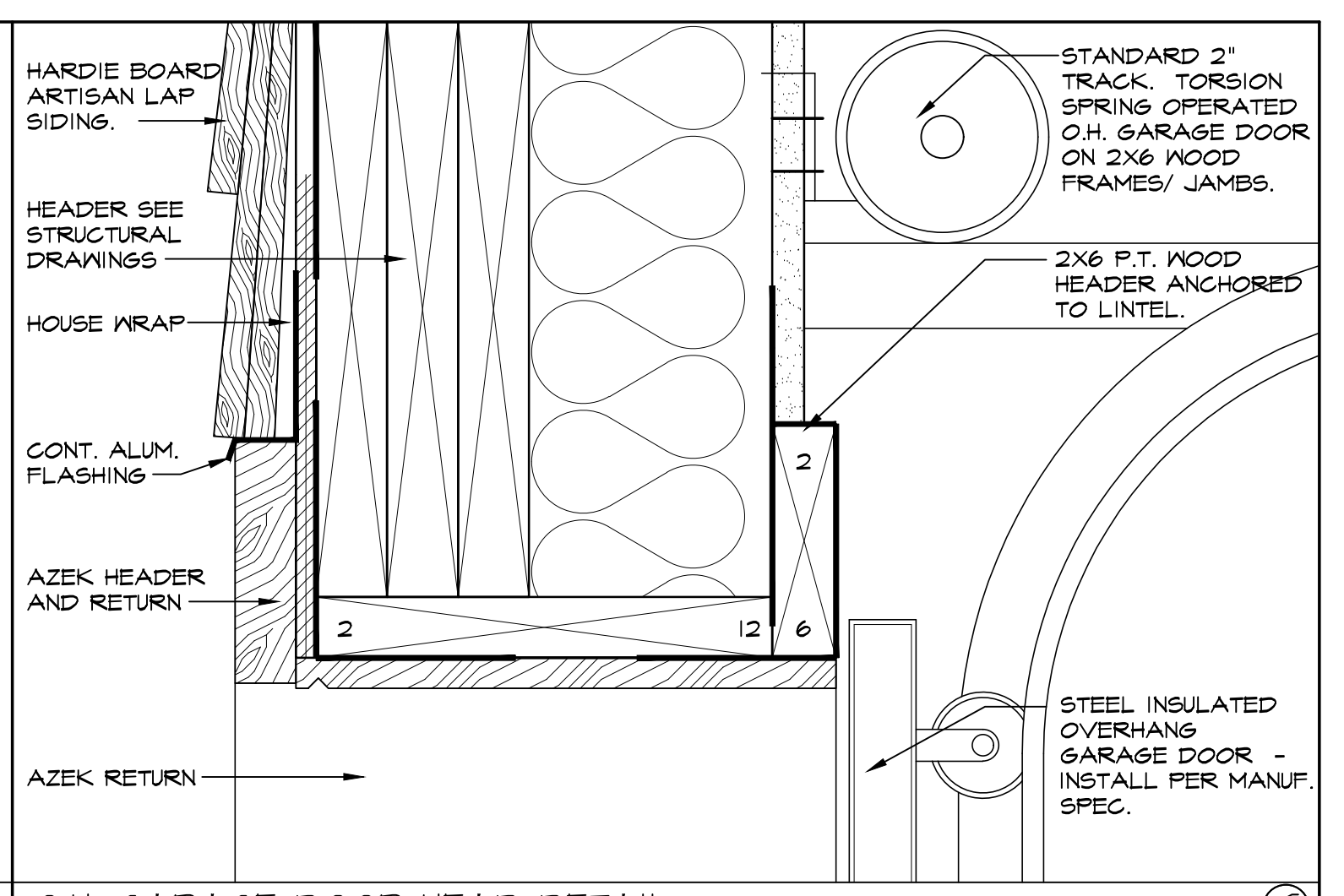
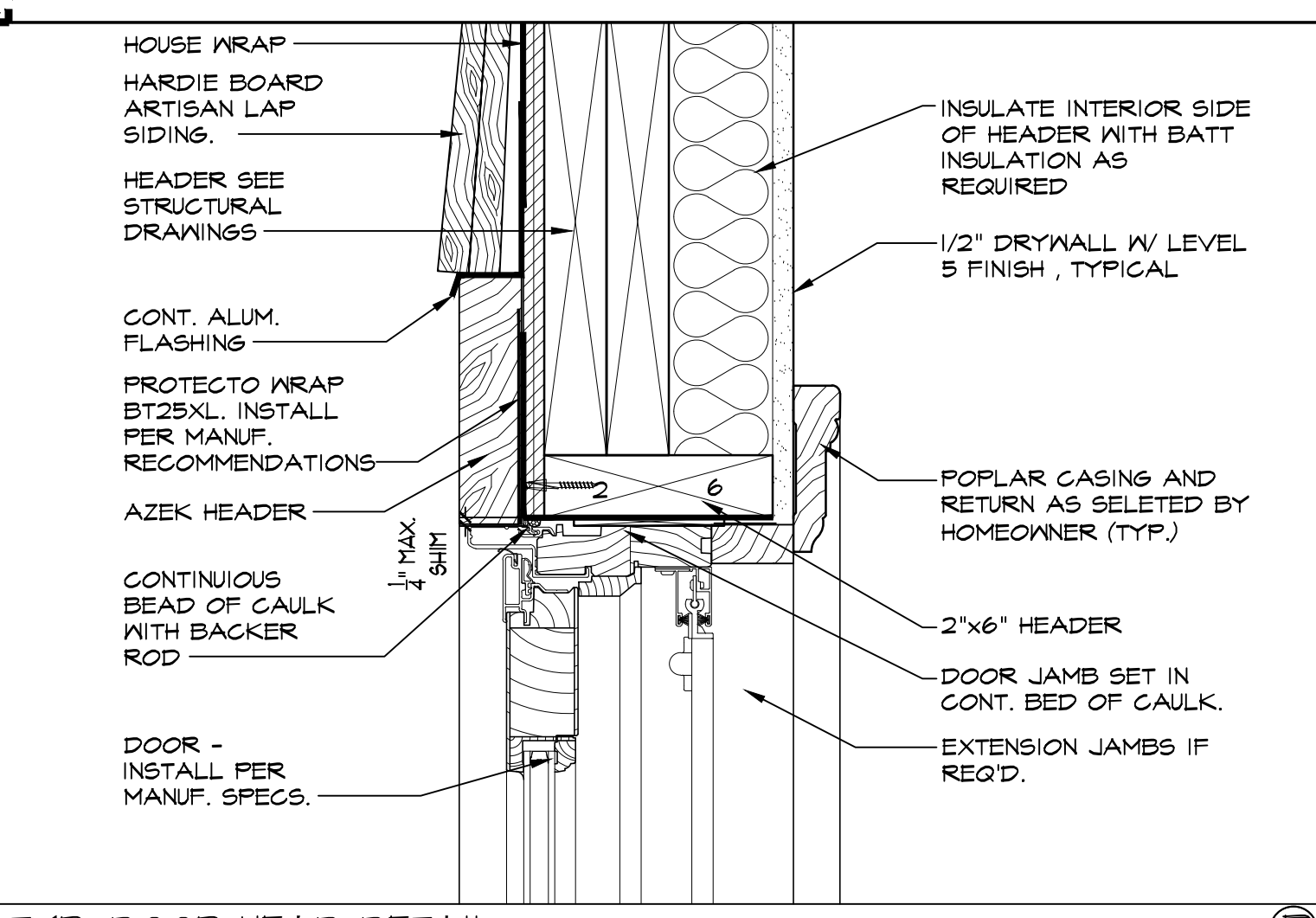
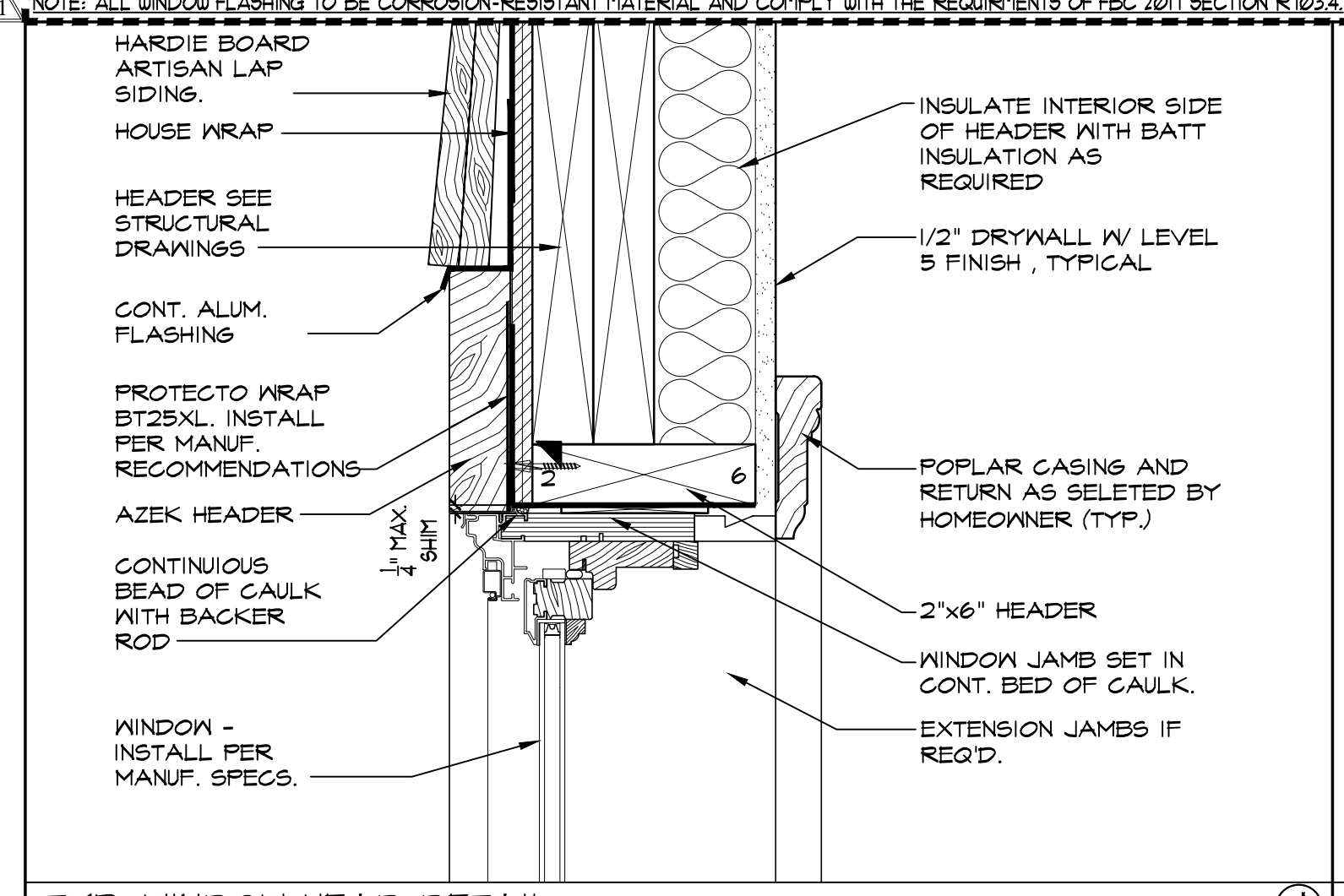
A9.0

NOTES:

- THESE DETAILS REPRESENT OVERALL DIMENSIONAL PREREQUISITES FOR THESE PROFILES.
- G.C. TO PROVIDE BLOCKING, FLASHING, AND WATERPROOFING AS NECESSARY PER MANUFACTURER'S INSTALLATION SPECIFICATIONS. IF ANY CONFLICTS EXIST WITH THE ABOVE PREREQUISITES G.C. TO NOTIFY THE ARCHITECT.



NOTE: ALL WINDOW FLASHING TO BE CORROSION-RESISTANT MATERIAL AND COMPLY WITH THE REQUIREMENTS OF FBC 2011 SECTION R102.4



PERMIT SET

DATE: 02/19/2019

REVISIONS:

NO.	DATE	DESCRIPTION

BRAXTON RESIDENCE
 150 1ST STREET EAST
 BOCA GRANDE, FLORIDA

STOFFT COONEY ARCHITECTS
 distinctive inspirational architecture

Job No. 1802-07N
 Date: 11/23/2018 15.

A10

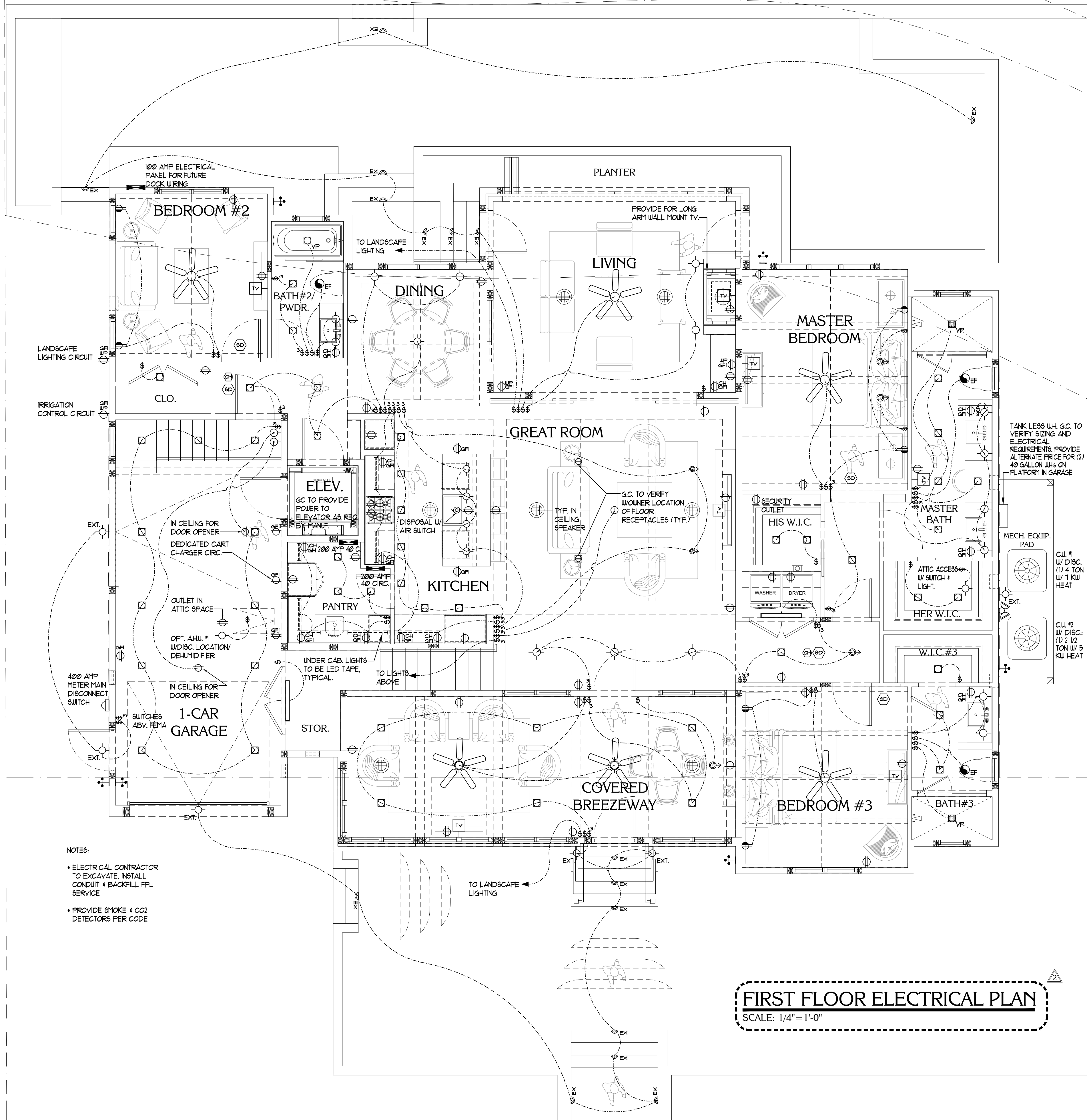
PERMIT SET

633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262.7677 Delray Beach, Florida • (561) 243.0799

ELECTRICAL SPECS.

1. DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS REQUIRED FOR COMPLETE AND ACCEPTABLE WORKING INSTALLATION.
2. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES HAVING JURISDICTION.
3. MINIMUM WIRE SIZE SHALL BE #2 AWG. UNLESS OTHERWISE NOTED. ALL CONDUCTORS SHALL BE COPPER WITH THIN OR THIN INSULATION.
4. ALL MATERIAL SHALL BE NEW AND BEAR THE UNDERWRITERS LABEL (UL) WHERE APPLICABLE.
5. THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.
6. THE ELECTRICAL, TELEPHONE, AND CABLE TELEVISION INSTALLATIONS SHALL MEET ALL REQUIREMENTS BY THE LOCAL UTILITY COMPANIES.
7. ALL DISCONNECT SWITCHES SHALL BE RATED FOR 10,000 A.I.C. UNLESS OTHERWISE NOTED. ALL FUSES SHALL BE RATED FOR 100,000 A.I.C. AND SHALL BE CURRENT LIMITING.
8. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS. PLASTIC BOXES MAY BE USED IN LIEU OF THE STEEL BOX AS PERMITTED BY LOCAL CODES. IN DAMP OR WET LOCATIONS BOXES SHALL BE MADE FROM CAST ALLOY WITH THREADED HUBS. SPECIAL ENCLOSURES ARE REQUIRED FOR OTHER CLASSIFIED AREAS.
9. SEPARATE WIRE AND CONDUIT SYSTEM MAY BE SUBSTITUTED WITH FACTORY FABRICATED ASSEMBLY ON INSULATED CONDUCTORS IN A FLEXIBLE METALLIC ENCLOSURE ("MC" CABLE) WHERE PERMITTED BY LOCAL CODES. PROVIDE BCD ALTERNATE.
10. MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC WITH OVERLOAD RELAYS IN EACH HOT LEG. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ALL STARTERS AS REQUIRED BY CODE.
11. ELECTRICAL CONTRACTOR IS TO FURNISH AND INSTALL DISCONNECT SWITCHES, OVER CURRENT PROTECTION, AND WIRING FOR THE AIR CONDITIONING SYSTEM AS PER MANUFACTURER RECOMMENDATIONS. CONTROLS ARE TO BE SUPPLIED BY THE AIR CONDITIONING CONTRACTOR AND CONNECTED BY THE ELECTRICAL CONTRACTOR.
12. ALL EXTERIOR RECEPTACLES SHALL BE WEATHERPROOF AND GFI.
13. ALL EXTERIOR DISCONNECT SWITCHES SHALL BE WEATHERPROOF.
14. ALL SMOKE DETECTORS SHALL BE HARDWIRED TO THE NEAREST BATHROOM OR KITCHEN LIGHTING CIRCUIT (NO GFI CIRCUIT) WITH BATTERY BACK-UP, INTERCONNECTED, AND INTEGRAL WITH AN ALARM SYSTEM.
14. INSTALLATION HEIGHTS UNLESS OTHERWISE NOTED:
WALL HUNG TELEPHONE - 56" AFF.
TELEPHONE JACK - 12" AFF.
LIGHT SWITCH - 48" AFF.
RECEPTACLE - CENTERLINE OF BASEBOARD
TELEVISION JACK - 12" AFF.
15. RECEPTACLES AND/OR JUNCTION BOXES SHALL NOT BE PLACED IN A BACK TO BACK CONFIGURATION.
16. ALL RECESSED CANS MUST BE IC RATED FIXTURES WITH NO BULB LARGER THAN 75 WATTS.
17. ARC FAULT PROTECTION SHALL BE PROVIDED IN ALL BEDROOM FIXTURES AND OUTLETS.
18. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER.
19. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
20. THE ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM THE DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE, AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
21. CONTRACTOR OPTIONAL ELECTRICAL SERVICE DESIGN REVISIONS MUST BE ACCOMPANIED BY APPROPRIATE PLANS REVIEW, CALCULATIONS, RISER DIAGRAMS, ETCETERA.
22. ARC FAULT PROTECTION SHALL BE PROVIDED IN ALL BEDROOM FIXTURES AND OUTLETS IN CONFORMANCE TO 2011 NATIONAL ELECTRIC CODE 210.12.

- GC NOTES:**
- ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME SHALL MEET THE RESIDENTIAL POOL SAFETY ACT, FLORIDA STATE STATUTE 515.21.
 - G.C. TO FIELD VERIFY SPEAKER LOCATIONS WITH OWNER
 - G.C. TO VERIFY THAT ALL RECEPTACLE OUTLETS COMPLY WITH NEC 210.52.
 - G.C. TO COORDINATE LOCATION OF OUTLETS AND LIGHT FIXTURES WITH OWNER
 - G.C. TO COORDINATE ELECTRICAL FOR FUTURE ELEVATOR WITH OWNER.
 - G.C. TO COORDINATE ELECTRICAL FOR FUTURE GENERATOR WITH OWNER.



- NOTES:**
- ELECTRICAL CONTRACTOR TO EXCAVATE, INSTALL CONDUIT & BACKFILL FFL SERVICE
 - PROVIDE SMOKE & CO2 DETECTORS PER CODE

FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

PERMIT SET

ALL IDEAS, DESIGN ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, & THE PROPERTY OF, STOFFT COONEY ARCHITECTS. NO PART OF THIS DRAWING SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF STOFFT COONEY ARCHITECTS, L.L.C. WRITTEN PERMISSION IS REQUIRED FOR ANY REPRODUCTION, COPIING, OR TRANSMISSION OF THIS DRAWING. ANY UNAUTHORIZED REPRODUCTION, COPIING, OR TRANSMISSION IS STRICTLY PROHIBITED AND WILL BE PUNISHED BY LAW.

Job No. 1801-07N
Date: 11/23/2018 15.

633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262-7677 Delray Beach, Florida • (561) 243-0799

DATE: 05/23/2019

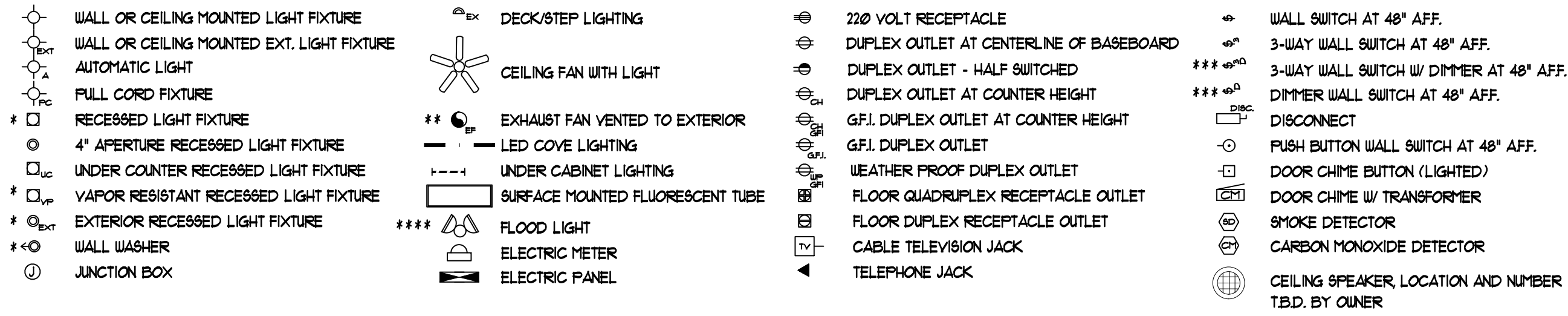
Revisions	Date
CLIENT REVISIONS	

STOFFT COONEY ARCHITECTS
distinctive inspirational architecture

BRAXTON RESIDENCE
150 1ST STREET EAST
BOCA GRANDE, FLORIDA

LICENSE# AA26000793

ELECTRICAL SYMBOLS LEGEND



NOTES:

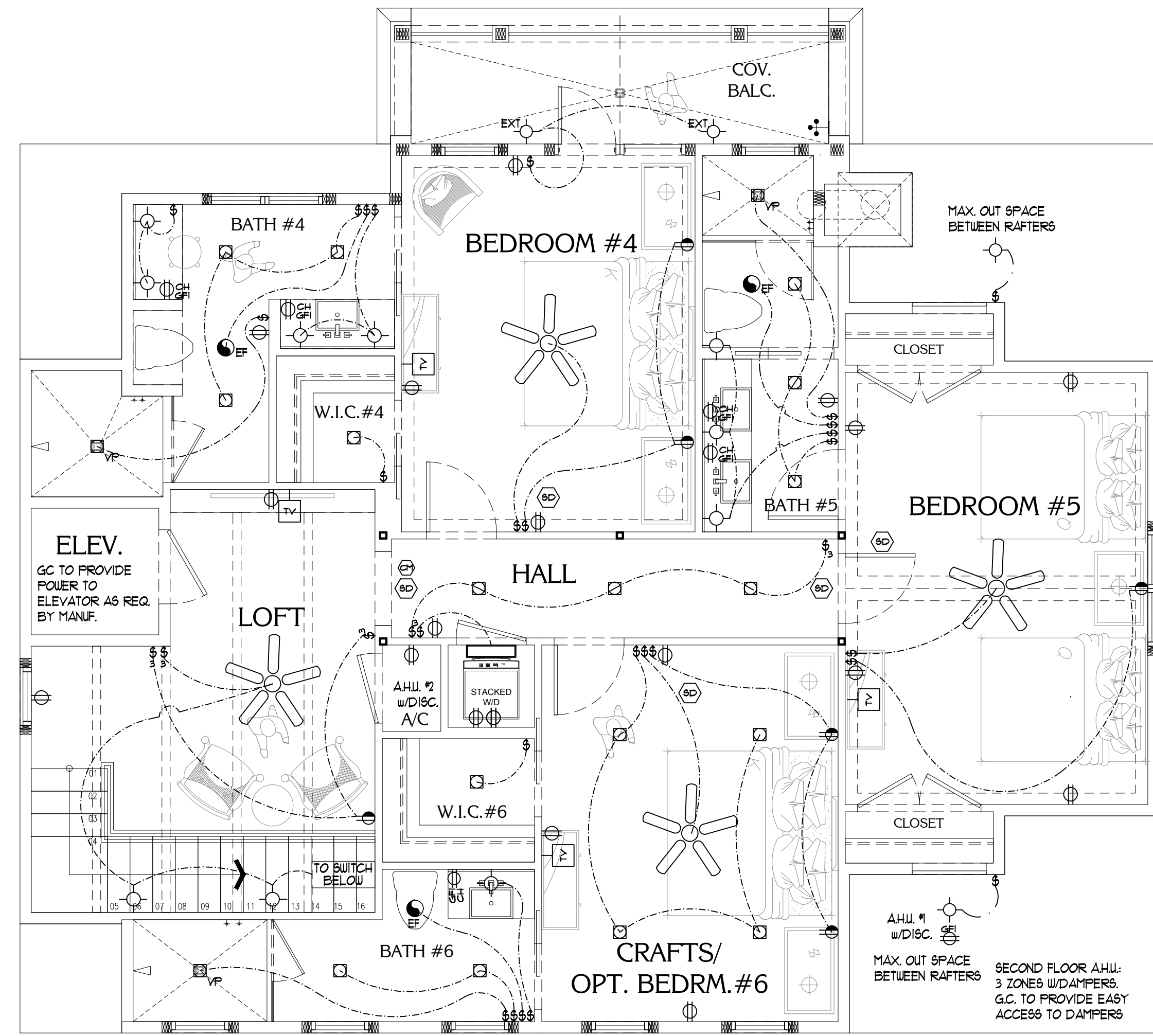
- * RECESSED FIXTURE TO BE HALO 4" LINE VOLTAGE HOUSING W/ SYLVANIA 4" LED TRIM T10CK RT4/ RT4G * WALL WASHER
- ** PANASONIC FV08VQ25
- *** INCLUDE TOTAL 25 SLIDE DIMMER LOCATION
- **** RAB STEALTH 200 FLOOD LIGHTS
- DECORA OUTLETS & SWITCHES
- PHONE, CABLE & SPEAKER WIRING BY OTHERS
- INCLUDE RECESSED LIGHTS, FLOURESCENT LIGHTS, BATH FANS, ALL SURFACE MOUNT LIGHTS, CEILING FANS * STEP LIGHTS IN G.C. ALLOWANCE

40 CIRCUIT - M.C.B. - A.I.C. ELECTRICAL PANEL SCHED. "A" 200 AMP

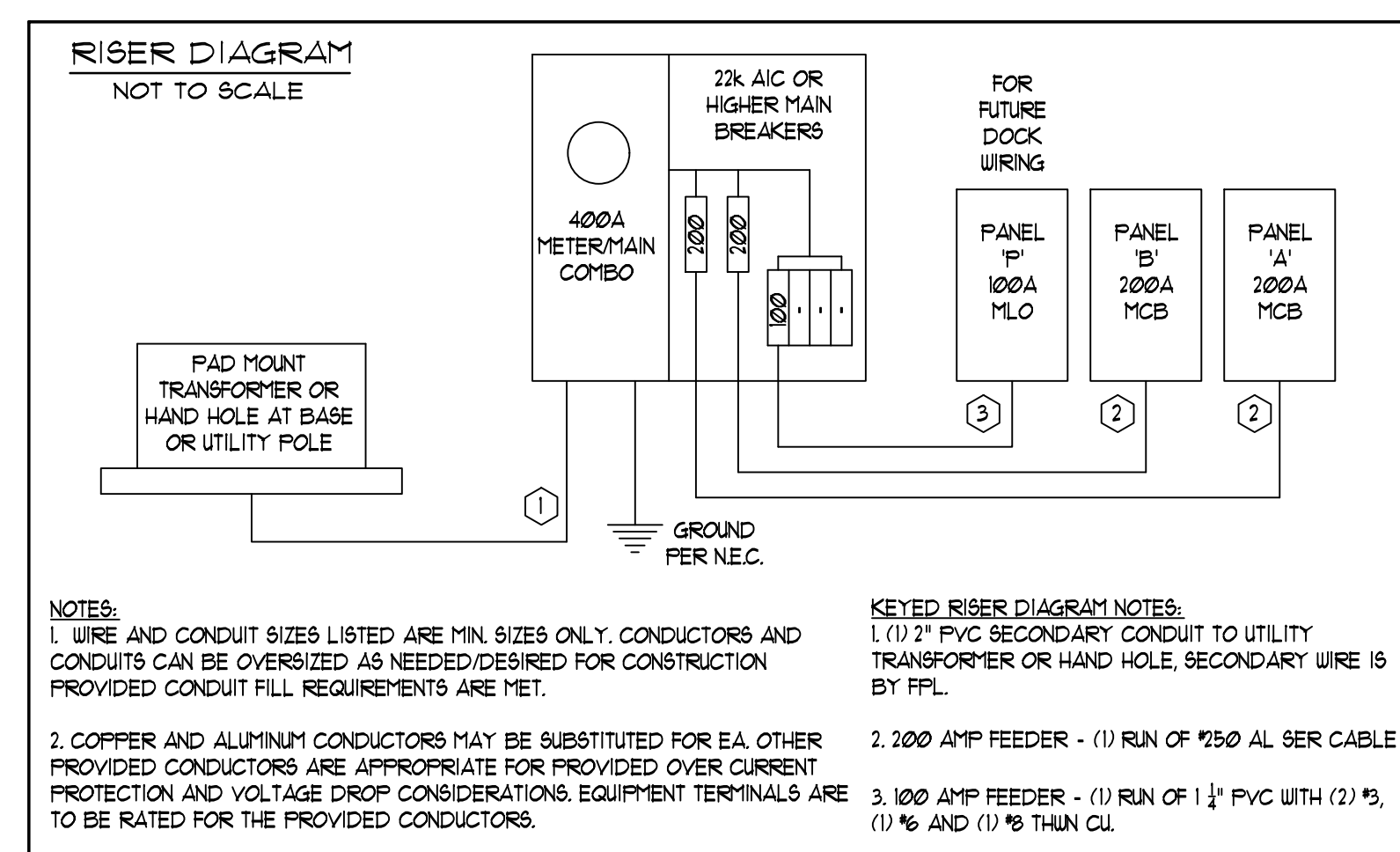
NO. OF CIR.	POLE	TRIP AMP	CONN. LOAD	EQUIPMENT	WIRE SIZE
14	1	15	12.12	GEN. LIGHTING/RECEP. 4241 SF. X 3 WATTS PER SF.	14
			6.0	SMALL APPLIANCES	12
			10.0	DBLE OVEN W/ MICRO.	14
			12	GARBAGE DISPOSAL	14
			30.00 KW	240 VOLTS * 125 AMPS	
			10.0 KW	1ST 10 KW * 100%	
			13.11 KW	BALANCE * 40%	
			6.5 KW	AHJM (10 KW A/C HEAT) * 65%	
2	2	6.0	3.3 KW	(3) A/C FANS * 13	12
			35.56 KW	240 VOLTS * 148 AMPS	

40 CIRCUIT - M.C.B. - A.I.C. ELECTRICAL PANEL SCHED. "B" 200 AMP

NO. OF CIR.	POLE	TRIP AMP	CONN. LOAD	EQUIPMENT	WIRE SIZE
1	1	20	5.0	WASHER	10
1	1	20	15	BATH GFI	12
1	1	20	15	LAUNDRY GFI	12
			6.0 KW	240 VOLTS * 25 AMPS	
			10.0 KW	1ST 10 KW * 100%	
			0.4 KW	BALANCE * 40%	
			10.4 KW	240 VOLTS * 43 AMPS	



SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



SERVICE LOAD CALCS.

4381 SF. * 3 WATT/SF.	13.2
(3) SMALL APPLIANCES * 15	4.5
GAS OVEN AND COOKTOP	1.0
(1) DISPOSAL * 12	1.2
(2) DISHWASHER * 15	3.0
(1) WASHER * 15	1.5
(1) CLOTHES DRYER * 5.0	5.0
(1) LAUNDRY GFI * 15	1.5
TOTAL	31.8 KW
FIRST 10.00 WATTS * 100%	10.0
BALANCE * 40%	8.12
40 KW A/C HEAT * 65%	26.0
TOTAL	44.12
(4) AC FANS * 13 KW	5.2
WHIRLPOOL HT.	12.0
POOL PUMPS	5.2
POOL HEAT (HEAT PUMP)	5.0
IRRIGATION PUMP	3.0
EXTERIOR LIGHTING	3.0
TOTAL	33.4
65.20 KW / 240 VOLTS =	271.66 AMPS
TOTAL DEMAND LOAD	KW
SERVICE CONNECTORS BY FFL	

Revisions

Date	Description
09/23/2019	CLIENT REVISIONS

BRAXTON RESIDENCE
150 1ST STREET EAST
BOCA GRANDE, FLORIDA

STOFFT COONEY ARCHITECTS
distinctive inspirational architecture

PERMIT SET

Job No. 1802-07N
Date: 11/23/2018 15.

E2.0

LICENSE# AA26000793

633 Ninth Street North Suite 300 Naples, Florida 34102 (239) 262.7677 Delray Beach, Florida • (561) 243.0799
 STOFFT COONEY ARCHITECTS, INC. IS THE PROPERTY OF THIS OFFICE. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STOFFT COONEY ARCHITECTS, L.L.C. WRITTEN PERMISSION IS REQUIRED. CONTRACTORS SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. NO PART OF ANY DRAWING SHALL BE SUBMITTED TO THE CODE FOR APPROVAL BEFORE ASCERTAINING WITH FABRICATOR OR TRADES SO NOTED.