

Application to Construct, Repair, Renovate, Change the Use or Occupancy of, or Demolish a One or Two Family Dwelling

This Section For Official Use Only

Application Number: 21-00261	Date Applied: January 29, 2021	Permit Number: RB-2021-00047	Building Official: _____
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Applicant Information

Company Name:	Northeast Foundation Repair LLC	Name	Anthony P Capelle				
Phone	(XXX) XXX-XXXX	Email	XXXXXX@XXXXXXXXXX.XXX				
Address	12 Kendrick Rd, Units 15-16	City	Wareham	State	MA	Zip	02571
Signature (type name)	Anthony P Capelle						

SECTION 1: SITE INFORMATION

1.1 Property Address: 7 STAGECOACH CIRCLE, WESTBOROUGH MA 01581 Street Address [Enter unit# if applicable] Unit # 1.1a Is this an accepted street? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	1.2 Assessors Map & Parcel Numbers: 27-59-9 Parcel ID																		
1.3 Zoning Information: Zoning District Proposed Use	1.4 Property Dimensions: 0 Lot Area (Sq Ft) 0 Frontage (ft)																		
1.5 Building Setbacks (ft)																			
<table><tr><th colspan="2">Front Yard</th><th colspan="2">Side Yard</th><th colspan="2">Rear Yard</th></tr><tr><td>Required</td><td>Provided</td><td>Left/Right Required</td><td>Left/Right Provided</td><td>Required</td><td>Provided</td></tr><tr><td>0</td><td>0</td><td>0 / 0</td><td>0 / 0</td><td>0</td><td>0</td></tr></table>		Front Yard		Side Yard		Rear Yard		Required	Provided	Left/Right Required	Left/Right Provided	Required	Provided	0	0	0 / 0	0 / 0	0	0
Front Yard		Side Yard		Rear Yard															
Required	Provided	Left/Right Required	Left/Right Provided	Required	Provided														
0	0	0 / 0	0 / 0	0	0														
1.6 Water Supply (M.G.L. § 54): <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private	1.7 Flood Zone Information: Zone:..... <input type="checkbox"/> Check if outside zone	1.8 Sewage Disposal System: <input checked="" type="checkbox"/> Municipal <input type="checkbox"/> On Site																	

SECTION 2: PROPERTY OWNERSHIP INFORMATION¹

2.1 Owner¹ of Record: TALEAS LOUISE C TRUSTEE, 7 STAGECOACH REALTY TRUST Name (Print) 7 STAGECOACH CR Phone	WESTBOROUGH City (XXX) XXX- XXXX Email Address	MA State Zip	01581
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No. and Street

SECTION 3: DESCRIPTION OF PROPOSED WORK² (Please select one item below)

<input type="checkbox"/> New Single Family	<input type="checkbox"/> New Two Family	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Addition
<input type="checkbox"/> Pool/Spa	<input type="checkbox"/> Accessory Dwelling Unit	<input type="checkbox"/> Repairs	<input type="checkbox"/> Alteration
<input type="checkbox"/> Accessory Structure (Shed, Deck, Pergola, Detached Garage)		<input checked="" type="checkbox"/> Other Specify: <u>Foundation Stabilization</u>	

Brief Description of Proposed Work²:

Installation of piles to stabilize existing foundations.

3.1 CONTENT OF CERTIFICATE OF OCCUPANCY

State Code Edition Used: <input checked="" type="checkbox"/> 9th OR <input type="checkbox"/> 10th Edition	Use Group(s) <u>R-2</u>	Type of Construction <u>VB</u>	Occupant Load
Does the building contain a Sprinkler System? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Special Stipulations	
Staff Entry Only: HERS Index: <u>0</u>			

SECTION 4: ESTIMATED CONSTRUCTION COSTS

Item	Estimated Costs: (Labor and Materials)	Building Permit Fee = Total Construction Cost x 1%. Note: Minimum Fee \$30. Additional fees may apply. Total Construction Cost (from Item 3) = \$30,650.00 Estimated building permit fee: \$310.00
1. Building	\$ <u>30,650.00</u>	
2. Mechanical (HVAC)	\$ <u>0.00</u>	
3. Total Project Cost	\$ <u>30,650.00</u>	

SECTION 5: CONSTRUCTION SERVICES

Check 'Not Applicable' or enter License Number.

If the license number matches one in our database details will auto-populate.

If this is the first entry for this CSL or HIC, your information will be available in the future.

5.1 Construction Supervisor License (CSL) ☐ Not Applicable

CS-108241 2022-09-25
License Number Expiration Date

PO Box 417
Name of CSL Holder

Anthony P Capelle
No. and Street

PO Box 417 MA 02672
City/Town State Zip

(XXX) XXX-XXXX XXXXX@XXXXXXXXXX.XXX
Telephone Email address

List CSL Type (see below)

Type	Description
<input checked="" type="checkbox"/> U	Unrestricted (Building up to 35,000 cu. ft.)
<input type="checkbox"/> R	Restricted 1 & 2 Family Dwelling
<input type="checkbox"/> M	Masonry
<input type="checkbox"/> RC	Roofing Covering
<input type="checkbox"/> WS	Window and Siding
<input type="checkbox"/> SF	Solid Fuel Burning Appliances
<input type="checkbox"/> I	Insulation
<input type="checkbox"/> D	Demolition

5.2 Registered Home Improvement Contractor (HIC) ☐ Not Applicable

185517 2022-06-27
HIC Registration Number Expiration Date

186 Tobey Way
HIC Company Name or HIC Registrant Name

Northeast Foundation Repair LLC W. Hyannisport
No. and Street City/Town

MA 02672 (XXX) XXX-XXXX
State Zip Telephone

XXXXX@XXXXXXXXXX.XXX
Email address

DEBRIS REMOVAL AFFIDAVIT**Does this project require debris removal?** ☐ Yes ☒ No [If yes you must provide the information below.]

As a result of the provisions of MGL c40, S 54, I acknowledge that as a condition of securing a building permit all debris resulting from the construction activity governed by this Building Permit shall be disposed of in a properly licensed solid waste disposal facility as defined by MGL c111, S 150A. I certify that in accordance with the provision of MGL c40, S 54 the debris resulting from this work shall be disposed of by:

Disposal Company Name: _____ State _____

Street _____ City _____ Zip _____

SECTION 6: WORKERS' COMPENSATION INSURANCE AFFIDAVIT (M.G.L. c. 152. § 25(6))

Workers' Compensation Insurance affidavit must be completed and submitted with this application. Failure to provide this affidavit will result in the denial of the Issuance of the building permit.

Signed Affidavit Attached? ☒ Yes ☐ No

SECTION 7: OWNER¹ OR AUTHORIZED AGENT DECLARATION

I, as Owner/Authorized Agent, declare that the statements and information on the foregoing application are true and accurate, to the best of my knowledge and abilities. I sign under the pains and penalties of perjury.

Anthony P Capelle

January 29, 2021

Owner's or Authorized Agent's Signature ☐ Owner ☒ Agent

Date

NOTES:

1. An owner who obtains a building permit to do his/her own work, or an owner who hires an unregistered contractor (not in the Home Improvement Contractor (HIC) Program), will not have access to the arbitration program or guaranty fund under M.G.L. c. 142A. Other important information on the HIC Program and Construction Supervisor Licensing (CSL) can be found in 780 CMR Regulations 110.R6 and 110.R5, respectively.



RAMJACK®

Prepared By:
Phone: +1508 295 3133
Email:

Ramjack New England

12 Kendrick Road, Unit 15-16
Wareham, MA 02571
Admin@ramjackne.com
Main [508-295-3133](tel:508-295-3133)

Customer Number: **#1645**

Contact: Louise Taleas

Address: 7 Stagecoach Circle Westborough, MA, 01581

Email:

Phone: +1617 566 7371

Payment Terms: 35% Deposit 35% Start 30%Finish

Project Scope Residential

1. Upon receipt of deposit and executed contract RamJack will retain a structural engineering to provide plans for permit submittal as per state code, and provide tentative project time-line to customer.
2. RamJack upon receipt of engineering documents will submit documents and request building permit for the project, once permit is received RamJack will notified customer to discuss firm project start date.
3. Mobilization to site, delivery of waste container, mini excavator, equipment trailer as required or if applicable.
4. Prior to work, elevations relevant to project, project scope to be documented and verified, pictures of site, project area and structure to be taken for file.
5. Work to commence as per design to stabilize building foundation or applicable project area, as per structural design and or stabilization plan.
6. Excavation of exterior soils to reach foundation footing depth and cut back footings to place stabilization brackets where required. (If interior installation removal of concrete 3'x3" slab at work areas).
7. Place brackets fasten and install stabilization piles, interior or exterior.
8. Replacement of concrete 3' x 3' slab at work areas if removed.
9. Elevations to be recorded.
10. Remove construction debris.
11. Backfill where placement of stabilization brackets and pile placement has occurred with site soils, replacement of concrete if removed.
12. Rough Clean area and de-mobilize.
13. This project scope covers only the listed work, no other work is included.

Project Notes

1. RamJack requires access to site water and power for the duration of the project.
2. Customer is required to provide a clear working area of 4'-0" to each work area.
3. Workers will require access to the work area for the entire project.
4. RamJack will leave work trailer parked in front of home during the project.
5. Customer agrees to allow signage to be placed on property during the project.
6. RamJack is not responsible for any undisclosed sub surface conditions.
7. If obstructions are encountered during excavation or stabilization effort additional charges will be required. You will be notified of the additional charges. If construction proceeds you are consenting the additional charges.
8. RamJack does not provide de-watering procedures for exterior or interior pile installation do to natural or unnatural causes. (Ramjackne can provide if requested at time and material cost)
9. RamJack is not responsible for removal of site soils.
10. RamJack is not responsible for site security or safety while not present on site during construction activity.

(No credit for unused materials) (Engineering and permitting are non-refundable)



RAMJACK®

Prepared By:
Phone: +1508 295 3133
Email:

Proposal

ITEM	PRICE	QTY.	TOTAL																
Ramjack Helical or Driven Pile Residential		12																	
<p>Installation of Ram Pile system. Installed with a high torque hydraulic motor or hyraulically driven Ram System. Per pile assembly (1) Bracket, (1) Guide Sleeve, (1) Piling Extensions, (1) Helical Pile Starter or (1) Driven Pile Starter (Placement of piles as per design or stabilization plan) (Final location may be adjusted per field conditions) Franchise warranty, Dealer Warranty as required..</p> <p>RamJack's contractual pile depth limit is (see below) below the stabilization bracket. If required to proceed beyond by either engineering design, specifications, poor soils or other reasons, customer shall be notified that there will be an additional cost of \$30 per foot. Change order must be sign for the work to proceed. If construction proceeds at customers request customer agrees to additional charges without exception.</p> <p><i>Piles will be installed under exterior foundation wall on garage side and continue along wall & along back wall from garage side towards sun room.</i></p> <p><i>Large crack at garage corner will be repaired (filled) with masonry concrete repair.</i></p>																			
<table><tr><td><u>NAME</u></td><td><u>DESCRIPTION</u></td></tr><tr><td>Qty of Driven Piles:</td><td>12</td></tr><tr><td>Footage:</td><td>30 FT</td></tr><tr><td>Angle Iron:</td><td><input type="checkbox"/></td></tr><tr><td>Recovery Option:</td><td><input checked="" type="checkbox"/></td></tr></table>				<u>NAME</u>	<u>DESCRIPTION</u>	Qty of Driven Piles:	12	Footage:	30 FT	Angle Iron:	<input type="checkbox"/>	Recovery Option:	<input checked="" type="checkbox"/>						
<u>NAME</u>	<u>DESCRIPTION</u>																		
Qty of Driven Piles:	12																		
Footage:	30 FT																		
Angle Iron:	<input type="checkbox"/>																		
Recovery Option:	<input checked="" type="checkbox"/>																		
Crack Repair - Wall		1																	
<p>Clean and seal with epoxy and carbon fiber application, epoxy injection or masonry cement depending upon which options are selected below for foundation wall cracks. Crack can not be actively leaking or damp for installation. If damp, work will be re-scheduled and a rescheduling fee will apply. Some residual dust in work area is to be expected.</p>																			
<table><tr><td><u>NAME</u></td><td><u>QTY</u></td><td><u>DESCRIPTION</u></td><td><u>PRICE</u></td></tr><tr><td>Size of Crack:</td><td>1</td><td>4 Foot</td><td></td></tr><tr><td>Type of:</td><td>1</td><td>Masonry</td><td></td></tr><tr><td>Crack Monitor:</td><td>-</td><td><input type="checkbox"/></td><td></td></tr></table>				<u>NAME</u>	<u>QTY</u>	<u>DESCRIPTION</u>	<u>PRICE</u>	Size of Crack:	1	4 Foot		Type of:	1	Masonry		Crack Monitor:	-	<input type="checkbox"/>	
<u>NAME</u>	<u>QTY</u>	<u>DESCRIPTION</u>	<u>PRICE</u>																
Size of Crack:	1	4 Foot																	
Type of:	1	Masonry																	
Crack Monitor:	-	<input type="checkbox"/>																	
Engineer Review		1																	
<p>Upon the return of the fully executed proposal and deposit, Ramjackne will engage a licensed professional engineer to review the project specifics to assist in producing a plan or letter suitable for permit application as required by state building code. Engineering fees will vary based upon project size, scope and project location.</p> <p>Ramjackne has only provided a budget estimate. The cost may increase based upon project size, scope, location and requested site visits and submittals required by the building department to satisfy state building code.</p> <p>Please note engineering fees DO NOT include trips to building department, meeting with building officials OR site visits. If either the building official or building department request controlled construction, conservation meetings, review hearings, additional meetings or trips to the building department, addition fees will apply and be invoiced.</p>																			

Permit Service Fee	1	
Ramjackne will upon the return of signed proposal and deposit will submit a request for a building permit, with our required information. Application will be provided to the local building department at the owner or owners representatives request. If required Ramjackne will meet with the building official to discuss required submittals and project scope on one occasion. Ramjackne upon the building department approval and issuance of permit will contact the owner or owners representative to set the project start.		
Permit Cost	1	
Local building department or state agency application fee. These fees vary and will be determined by the local building department. Customer will be responsible for fee if in excess of budget estimate this will be invoiced upon mobilization.		
Site Mobilization	2	
Mobilization To and From site. Standard Rate for 1 hour of travel time each direction. Charge includes Travel and setup time as well as breakdown of jobsite at travel back.		
<u>NAME</u>	<u>DESCRIPTION</u>	<u>PRICE</u>
Travel Time:	1 Hour	

Subtotal \$30,650.00

Additional Discount \$0.00

Total: \$30,650.00

Sign and return one copy to the address listed above with a deposit. This proposal is subject to the terms in 2020 RJNE agreement for work. Per state law Customer has 3 days from signature and acceptance date of proposal to cancel. Cancellation must be in writing to address above.

Louise Taleas
Louise Taleas

Dec. 4, 2020
Date

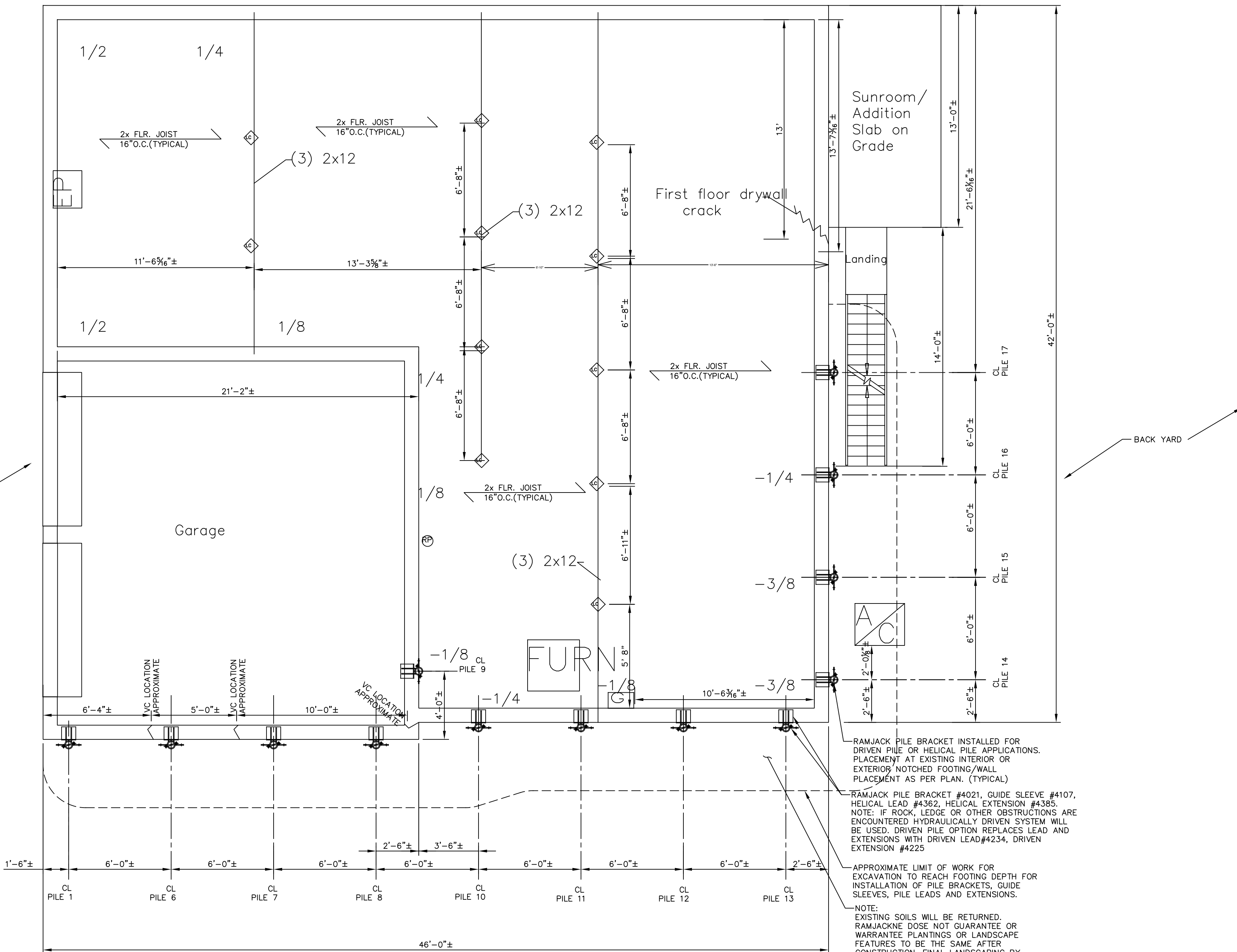
Louise Taleas
Account Name

PILE NOTES:

- CODE:
STAGE BUILDING CODE (780-CMR)
- DESIGN LOADS:
DEAD LIVE
10 PSF 40 PSF FLOOR
10 PSF 50 PSF ROOF (GROUND SNOW)
150 PLF - FOUNDATION WALL
- DESIGN CRITERIA, CONTRACTOR TO VERIFY:
*10" THICKNESS OF FOUNDATION
*4" MINIMUM HEIGHT OF FOUNDATION WALL
*8" MAXIMUM HEIGHT OF FOUNDATION WALL
*24" MAXIMUM WIDTH OF FOOTING
*12" MAXIMUM DEPTH OF FOOTING
*CORES OF CMU BLOCK ARE HOLLOW
*FRAMING DIRECTION
CONTRACTOR TO NOTIFY THE ENGINEER IF ANY OF THESE CRITERIA DO NOT MATCH EXISTING FIELD CONDITIONS.
- UNFORESEEN CONDITIONS, EXISTING CONDITIONS THAT DO NOT MATCH THE DESIGN CRITERIA, OR ANYTHING OUT OF THE ORDINARY, MAY REQUIRE A SITE VISIT FROM THE ENGINEER AT ADDITIONAL COST.
- PILE LOADS (HELICAL):
PILE# MAX LOAD PRESSURE ULTIMATE CAPACITY(P_u) TORQUE
ALL <13,000 LB 850 PSI 25,000LB 2850
*CONTRACTOR TO INSTALL PILES USING A RAMJACK 7K DRIVER.
ALLOWABLE CAPACITY IS CORRELATED TO THE PRESSURE REQUIRED BASED UPON INSTALLATION USING THIS SPECIFIC DRIVER. USING ANY OTHER DRIVER MAY RESULT IN A LOWER ALLOWABLE CAPACITY.
- PILE LOADS (DRIVEN):
PILE# MAX LOAD PRESSURE ULTIMATE CAPACITY(P_u)
ALL <13,000 LB 1,250 PSI 19,000LB
*CONTRACTOR TO INSTALL PILES USING A RAMJACK 3.5 BORE CYLINDER DRIVER IN PULL MODE.
ALLOWABLE CAPACITY IS CORRELATED TO THE PRESSURE REQUIRED BASED UPON INSTALLATION USING THIS SPECIFIC DRIVER. USING ANY OTHER DRIVER MAY RESULT IN A LOWER ALLOWABLE CAPACITY. NOTE: REFUSAL MUST BE ACHIEVED FOR ALL RECOVERY ATTEMPTS
- ALL PILES ARE TO BE INSTALLED WITHIN 10 DEGREES OF PLUMB, TO A MINIMUM EMBEDMENT DEPTH OF 10' TO UPPERMOST HELICAL PLATE.
- PILE IS NOT INSTALLED UNTIL THE CRITERIA FOR MINIMUM CAPACITY (OR TORQUE) AND MINIMUM EMBEDMENT DEPTH HAS BEEN ACHIEVED.
- HELICAL PILES SHALL BE DESIGNED AND MANUFACTURED IN ACCORDANCE WITH THE 2009 INTERNATIONAL BUILDING CODE (IBC-09).
- HELICAL PILES & PUSH PILES SHALL BE ICC-ES CERTIFIED IN COMPLIANCE WITH AC308.
- PILES AND COMPONENTS SHALL CONFORM TO THE FOLLOWING CRITERIA:
*PILE SHAFT; ROUND W/ WALL THICKNESS=0.175" - ASTM A500 (F_y=46 KSI)
*HELICAL & OTHER FLAT PLATES; MIN. THICKNESS=3/8" - ASTM A36 (F_y=36 KSI)
*CONNECTING BOLTS - SAE J429 (GRADE 8)
*WELDING - AWS D1.1 (E70XX ELECTRODES)
*CORROSION PROTECTION - POWDER COAT PER ICC-ES AC228
- ONLY ROUND SHAFT PILES ARE TO BE USED.
- HELICAL PLATES ARE TO BE A MINIMUM OF 3/8" THICK
- PILES ARE TO BE INSTALLED PER MANUFACTURES SPECIFICATION.
- PILE CONTRACTOR TO CREATE DRIVE LOGS AND DOCUMENT THE FOLLOWING FOR EACH PILE:
*PILE NUMBER,
*INSTALLATION DATE,
*DRIVER USED TO INSTALL PILE,
*PILE DIAMETER,
*HELICAL PLATE CONFIGURATION,
*INSTALLATION DEPTH,
*INSTALLATION TORQUE,
*INSTALLATION PRESSURE, DRIVE LOGS, AND AT LEAST ONE PHOTOGRAPH OF EACH INSTALLED PILE (W/ PILE NUMBER WRITTEN ON THE PILE) ARE TO BE SUBMITTED TO THE ENGINEER W/IN 72 HOURS OF INSTALLATION.
- ALL VOIDS BETWEEN BRACKET & BOTTOM OF FOUNDATION ARE TO BE FILLED SOLID WITH NON-SHRINKING GROUT
- ENGINEERING STAMP IS FOR DESIGN OF PILES ONLY, WITH CONDITIONS AS SHOWN ON THIS SHEET.
- THE ENGINEER DOES NOT CERTIFY PILE INSTALLATION UNTIL ADEQUATE DRIVE LOGS AND PHOTOS ARE SUBMITTED TO THE ENGINEER, AND A LETTER OF ACCEPTANCE HAS BEEN ISSUED.
- CENTERLINE OF PILE IS TO BE NO MORE THAN 3'-0" FROM THE LOCATION SHOWN WITH WRITTEN APPROVAL FROM THE ENGINEER.
- ENGINEER IS TO BE NOTIFIED IMMEDIATELY IF ANY UNFORSEEN OBSTRUCTIONS ARE ENCOUNTERED.
- ENGINEER IS TO BE NOTIFIED IF MINIMUM CAPACITY, MINIMUM EMBEDMENT DEPTH, OR PLUMB REQUIREMENT CANNOT BE REACHED.
- ON SITE SUBSTITUTIONS WILL NOT BE ACCEPTED W/O PRIOR WRITTEN APPROVAL BY THE ENGINEER. DESIGN IS ONLY TO BE USED WITH RAMJACK MATERIALS.

RECOVERY EXCLUSION

- RAM JACK NEW ENGLAND SPECIALLY EXCLUDES AND REPRESENTATION OF "LEVELING", "FIXING" OR "CLOSING CRACKS." THE SUPERVISOR FOR THE WORK WILL NOT RECOVER THE FOUNDATION BEYOND A PRACTICAL LIMIT UNLESS A WAIVER FOR EXCESSIVE DAMAGES IS AGREED TO AND SIGNED BY THE OWNER. RECOVERY MAY BE HINDERED BY COSMETIC REPAIRS OF PREVIOUS DAMAGES.



PARTIAL FOUNDATION STABILIZATION

SCALE: 1/4" = 1'-0"

