

# INSPECTION REPORT



For the Property at:  
**479 ALBERTUS AVENUE**  
PETERBOROUGH, ON K9J 6A1

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Prepared for: TEAM VANRAHAN  
Inspection Date: Thursday, August 8, 2024  
Prepared by: David Sharman



County Home Inspection

Peterborough, ON  
705 957 3642

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)  
[david@countyhomeinspection.ca](mailto:david@countyhomeinspection.ca)

A fully insured and professionally accredited inspection.



August 8, 2024

Dear Team VanRahan,

RE: Report No. 4923  
479 Albertus Avenue  
Peterborough, ON  
K9J 6A1

Thank you for choosing County Home Inspection to perform your home inspection.

The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients can sometimes assume that a home inspection includes many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of you, our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein.

The report is effectively a snapshot of the house, recording the conditions on a given date and time. We cannot predict future behaviour, and as such, we cannot be responsible for things that occur after the inspection.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Please be sure to download a copy of this report to your computer, as the emailed link to the report will expire within 7 days.

Again, thank you for choosing County Home Inspection.

Sincerely,

David Sharman  
on behalf of  
County Home Inspection

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# SUMMARY

479 Albertus Avenue, Peterborough, ON August 8, 2024

Report No. 4923

[www.countyhomeinspection.ca](http://www.countyhomeinspection.ca)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Roofing

### RECOMMENDATIONS \ Overview

**Condition:** • No roofing recommendations are offered as a result of this inspection.

### SLOPED ROOF FLASHINGS \ Roof/wall flashings

**Condition:** • Missing

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Garage

**Task:** Provide

**Time:** Discretionary

**Cost:** Minor

## Exterior

### RECOMMENDATIONS \ Overview

**Condition:** • No exterior recommendations are offered as a result of this inspection.

## Structure

### FOUNDATIONS \ Performance opinion

**Condition:** • Not determined

### WALLS \ Masonry walls

**Condition:** • Prior repairs

**Implication(s):** No implications exist for this condition

**Location:** Left elevation

**Task:** Monitor

**Time:** Ongoing

**Condition:** • Mortar deteriorating

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Garage

**Task:** Repair

**Time:** Discretionary

**Cost:** Minor

### WALLS \ Headers or Lintels

**Condition:** • Masonry units moving

**Implication(s):** Material deterioration

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**Location:** Front elevation

**Task:** Repair

**Time:** Discretionary

**Cost:** Minor

## Electrical

### DISTRIBUTION SYSTEM \ Outlets (receptacles)

**Condition:** • Ungrounded

Although ungrounded service may be typical in a house of this age, safety may be improved by upgrading these receptacles.

**Implication(s):** Electric shock

**Location:** Various locations

**Task:** Upgrade

**Time:** Discretionary

**Cost:** Depends on approach

**Condition:** • No GFCI/GFI (Ground Fault Circuit Interrupter)

Although not a deficiency in a home of this age, safety may be improved by upgrading this receptacle

**Implication(s):** Electric shock

**Location:** Laundry area

**Task:** Upgrade

**Time:** Discretionary

**Cost:** Minor

### DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

**Condition:** • More than 10 years old

**Implication(s):** Life safety hazard

**Location:** Throughout

**Task:** Replace

**Time:** Immediate

**Cost:** Minor

### DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

**Condition:** • None observed

**Implication(s):** Health hazard

**Location:** First & second floors

**Task:** Provide

**Time:** Immediate

**Cost:** Minor

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## Heating

### GAS HOT WATER BOILER \ Life expectancy

**Condition:** • Near end of life expectancy

**Implication(s):** Equipment failure | No heat for building

**Location:** Basement

**Task:** Monitor

**Time:** Ongoing

### CHIMNEY AND VENT \ Masonry chimney

**Condition:** • Prior repair

**Implication(s):** No implications exist for this condition

**Location:** Exterior

**Task:** Monitor

**Time:** Ongoing

## Cooling & Heat Pump

### RECOMMENDATIONS \ Overview

**Condition:** • No air conditioning or heat pump recommendations are offered as a result of this inspection.

## Insulation and Ventilation

### ATTIC/ROOF \ Insulation

**Condition:** • Amount less than current standards

Although being below current standards is not a deficiency, the home may benefit from an increased level of insulation.

**Implication(s):** Increased heating and cooling costs

**Location:** Knee wall area

**Task:** Upgrade

**Time:** Discretionary

**Cost:** Minor

## Plumbing

### WATER HEATER \ Life expectancy

**Condition:** • Near end of life expectancy

**Implication(s):** No hot water

**Location:** Basement

**Task:** Monitor

**Time:** Ongoing

**Cost:** Rental Unit

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## Interior

### DOORS \ Doors and frames

**Condition:** • Binds

**Implication(s):** System inoperative or difficult to operate

**Location:** Bedroom

**Task:** Improve

**Time:** Discretionary

**Cost:** Minor

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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## Description

The home is considered to face: • East

Sloped roofing material:

- Asphalt shingles



1. Asphalt shingles



2.

Sloped roof flashing material: • Aluminum

Probability of leakage: • Low

Approximate age: • 1-5 years

Typical life expectancy: • 25-30 years

Roof Shape: • Gable

## Limitations

Inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • From roof edge • Telescopic video inspection equipment

Age determined by: • Visual inspection from roof surface • Visual inspection with telescopic inspection equipment

## Recommendations

### RECOMMENDATIONS \ Overview

1. **Condition:** • No roofing recommendations are offered as a result of this inspection.

### SLOPED ROOF FLASHINGS \ Roof/wall flashings

2. **Condition:** • Missing

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Garage

**Task:** Provide

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**Time:** Discretionary

**Cost:** Minor



3. Missing



4.



# EXTERIOR

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## Description

**Gutter & downspout material:** • Aluminum

**Gutter & downspout type:** • Eave mounted

**Downspout discharge:** • Above grade

**Lot slope:** • Not determined

**Soffit (underside of eaves) and fascia (front edge of eaves):** • Aluminum

**Wall surfaces and trim:** • Vinyl siding

**Wall surfaces - masonry:** • Brick

**Driveway:** • Asphalt • No performance issues were noted.

**Walkway:** • Concrete • No performance issues were noted.

**Deck:** • Raised • Wood • No performance issues were noted.

**Porch:** • Raised • Concrete • No performance issues were noted.

**Exterior steps:** • Concrete • Wood • No performance issues were noted.

**Garage:** • Attached

## Limitations

**Inspection limited/prevented by:** • Storage in garage • Vines/shrubs/trees against wall

**No or limited access to:** • Area below steps, deck, porches

**Upper floors inspected from:** • Ground level

**Exterior inspected from:** • Ground level

**Not included as part of a building inspection:** • Screens, shutters, awnings, and similar seasonal accessories

## Recommendations

### RECOMMENDATIONS \ Overview

**3. Condition:** • No exterior recommendations are offered as a result of this inspection.

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## Description

**Configuration:** • Basement

**Foundation material:** • Poured concrete

**Floor construction:** • Joists • Steel columns • Built-up wood beams • Subfloor - plank

**Exterior wall construction:** • Masonry

**Roof and ceiling framing:** • Rafters/ceiling joists • Plank sheathing

## Limitations

**Inspection limited/prevented by:** • Storage

**Attic/roof space:**

• Inspected from access hatch

Knee wall area

• No access

Upper attic

**Percent of foundation not visible:** • 75 %

## Recommendations

### FOUNDATIONS \ Performance opinion

**4. Condition:** • Not determined

### WALLS \ Masonry walls

**5. Condition:** • Prior repairs

**Implication(s):** No implications exist for this condition

**Location:** Left elevation

**Task:** Monitor

**Time:** Ongoing

# STRUCTURE

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5. *Prior repairs*

**6. Condition:** • Mortar deteriorating

**Implication(s):** Weakened structure | Chance of structural movement

**Location:** Garage

**Task:** Repair

**Time:** Discretionary

**Cost:** Minor

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6. Mortar deteriorating

### WALLS \ Headers or Lintels

**7. Condition:** • Masonry units moving

**Implication(s):** Material deterioration

**Location:** Front elevation

**Task:** Repair

**Time:** Discretionary

**Cost:** Minor



*7. Masonry units moving*

## Description

**Service entrance cable and location:** • Overhead - cable type not determined

**Service size:** • 100 Amps (240 Volts)

**Main disconnect/service box rating:** • 125 Amps

**Main disconnect/service box type and location:**

- Breakers - basement

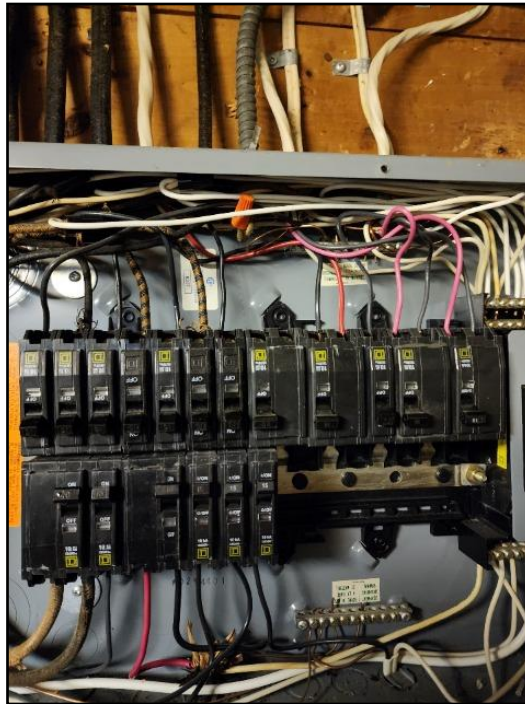


8. Main electrical disconnect

**System grounding material and type:** • Copper - water pipe

**Distribution panel type and location:**

- Breakers - basement



9. Breakers - basement

**Distribution panel rating:** • 125 Amps

**Electrical panel manufacturers:** • Square D

**Number of circuits installed:** • 18

**Distribution wire (conductor) material and type:** • Copper - non-metallic sheathed

**Type and number of outlets (receptacles):** • Grounded and ungrounded - upgraded

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • GFCI - exterior

**Smoke alarms (detectors):** • Present

**Carbon monoxide (CO) alarms (detectors):**

- Present
- Basement only

## Limitations

**Inspection limited/prevented by:** • Storage

**System ground:** • Quality of ground not determined

**Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

**Not included as part of a building inspection:** • Testing of smoke and/or carbon monoxide alarms

## Recommendations

### DISTRIBUTION SYSTEM \ Outlets (receptacles)

**8. Condition:** • Ungrounded

Although ungrounded service may be typical in a house of this age, safety may be improved by upgrading these receptacles.

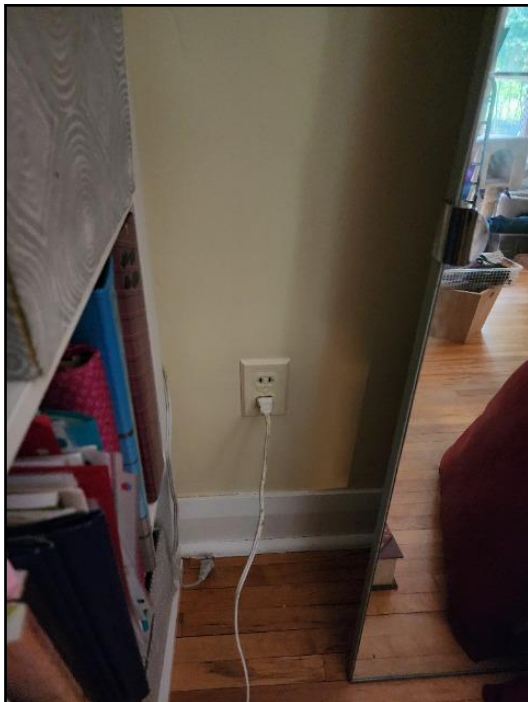
**Implication(s):** Electric shock

**Location:** Various locations

**Task:** Upgrade

**Time:** Discretionary

**Cost:** Depends on approach



10. Ungrounded



11.



# ELECTRICAL

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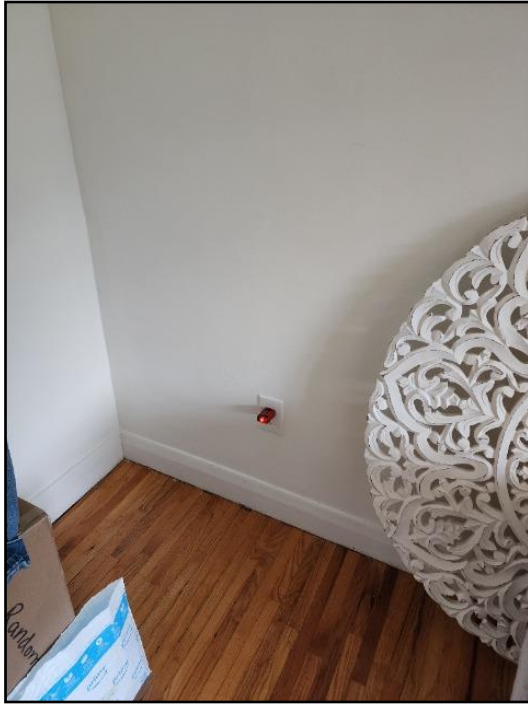
COOLING

INSULATION

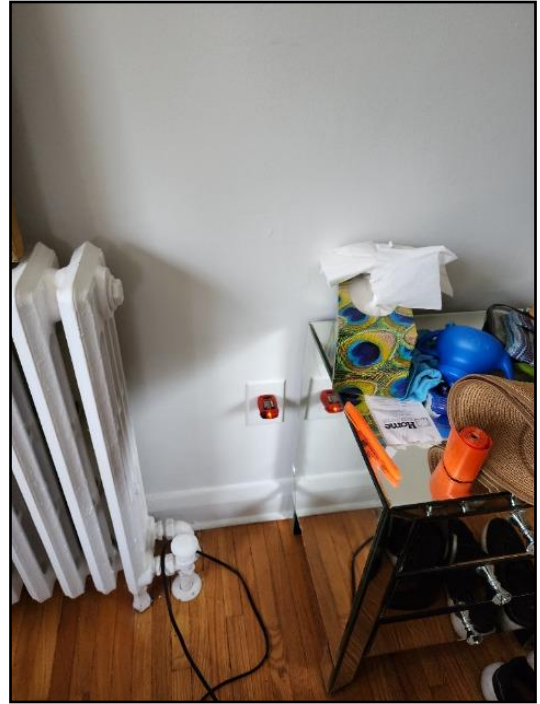
PLUMBING

INTERIOR

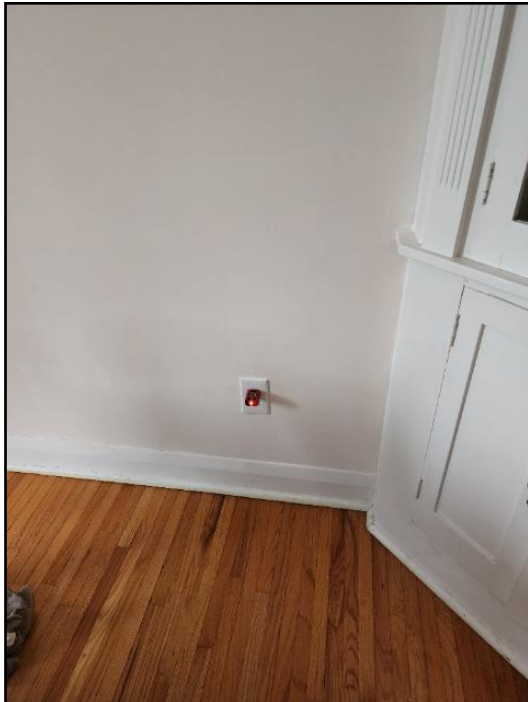
REFERENCE



12.



13.



14.



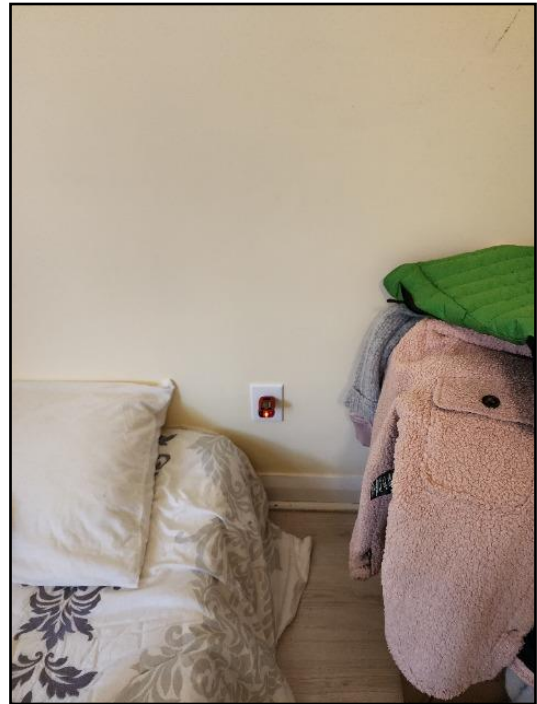
15.

- SUMMARY
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16.



17.



18.

**9. Condition:** • No GFCI/GFI (Ground Fault Circuit Interrupter)

Although not a deficiency in a home of this age, safety may be improved by upgrading this receptacle

**Implication(s):** Electric shock

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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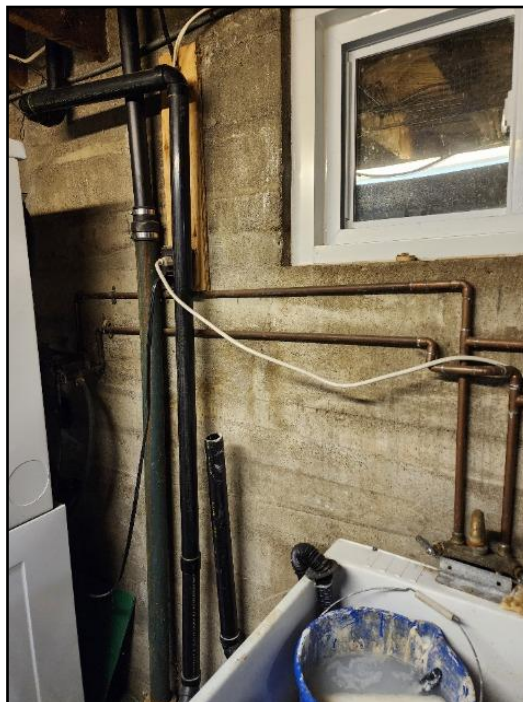
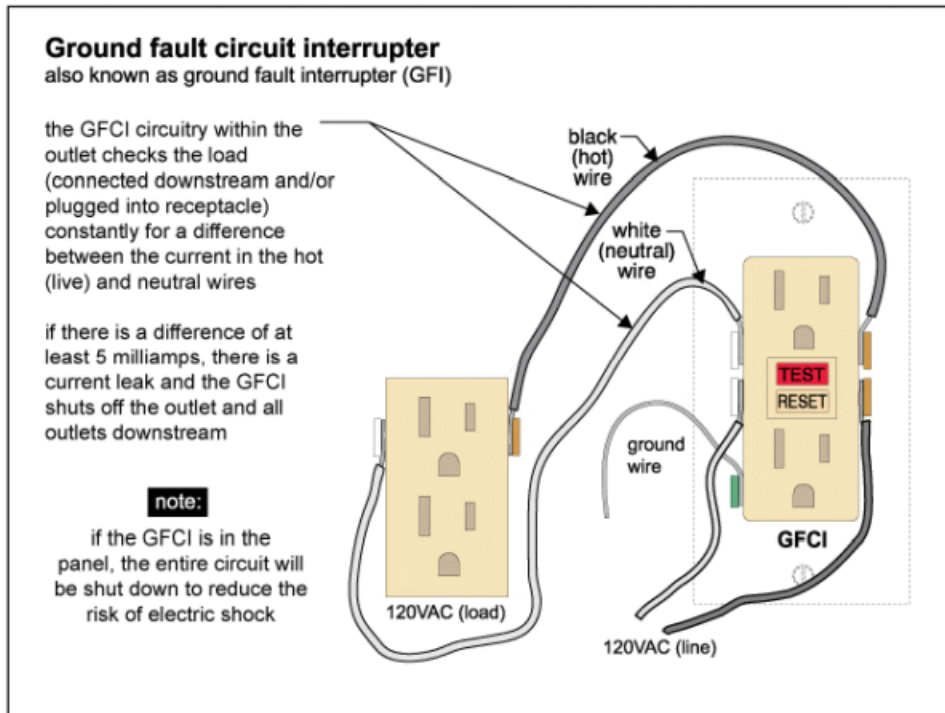
## REFERENCE

**Location:** Laundry area

**Task:** Upgrade

**Time:** Discretionary

**Cost:** Minor



19. No GFCI/GFI (Ground Fault Circuit...

## DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

**10. Condition:** • More than 10 years old

**Implication(s):** Life safety hazard

**Location:** Throughout

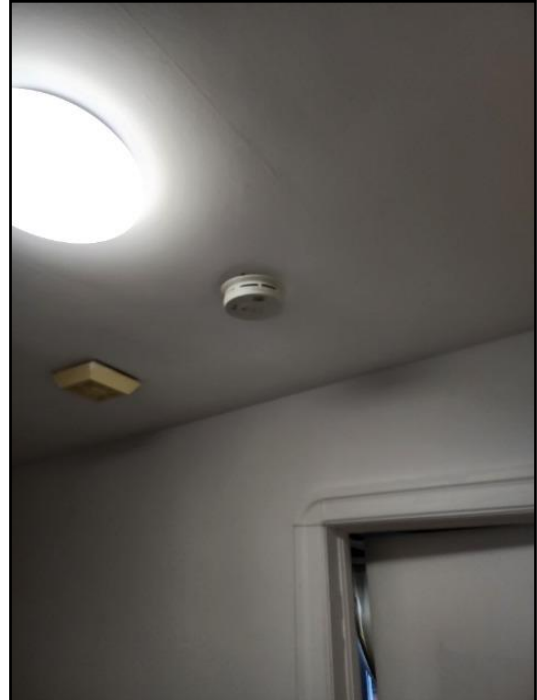
**Task:** Replace

**Time:** Immediate

**Cost:** Minor



20. More than 10 years old



21.

## DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

**11. Condition:** • None observed

**Implication(s):** Health hazard

**Location:** First & second floors

**Task:** Provide

**Time:** Immediate

**Cost:** Minor

## Description

### Heating system type:

- Boiler



22. Boiler

**Fuel/energy source:** • Gas

### Boiler manufacturer:

- Hydrotherm

*Model number: HC-125C Serial number: CFD3505*

**Heat distribution:** • Radiators

**Approximate capacity:** • 125,000 BTU/hr

**Efficiency:** • Conventional

**Exhaust venting method:** • Forced draft

**Combustion air source:** • Interior of building

**Approximate age:** • 31 years

**Typical life expectancy:** • Boiler (cast-iron) 25 to 35 years

### Main fuel shut off/electrical disconnect at:

- Basement

# HEATING

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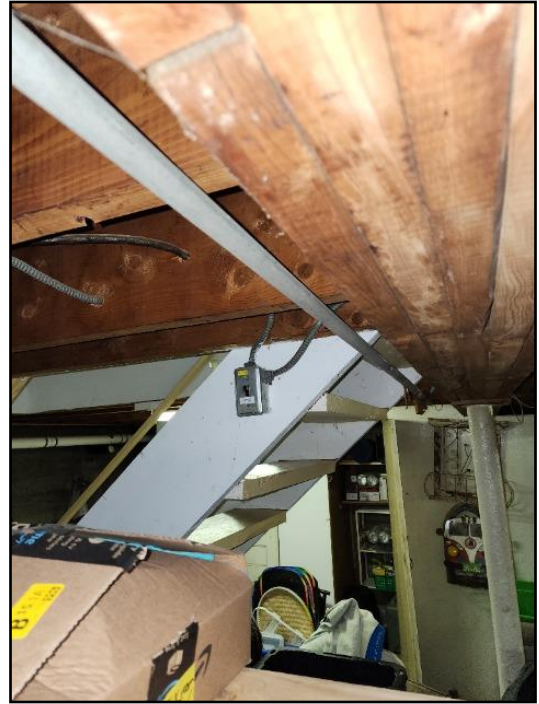
PLUMBING

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23. Main fuel shut off



24. Electrical disconnect

**Failure probability:** • High

**Exhaust pipe (vent connector):** • Single wall • Galvanized steel

**Fireplace/stove:**

• Wood-burning fireplace

# HEATING

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25. Wood-burning fireplace

## Chimney/vent:

- Masonry



26. Masonry

Chimney liner: • Metal • Clay

Mechanical ventilation system for building: • Bathroom exhaust fan

Condensate system: • Discharges into laundry sink

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	<b>HEATING</b>	COOLING	INSULATION	PLUMBING	INTERIOR
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## Limitations

**Inspection prevented/limited by:** • Chimney clean-out not opened • Storage

**Safety devices:** • Not tested as part of a building inspection

**Warm weather:** • Prevented testing in heating mode

**Zone, boiler and radiator valves:** • Not tested as part of a building inspection

**Boiler/circulating pumps:** • Not tested

**Fireplace/wood stove:** • Quality of chimney draw cannot be determined

**Heat exchanger:** • Not visible

**Not included as part of a building inspection:** • Interiors of vent systems, flues, and chimneys • Radiant heating systems • Wood-burning fireplace • Fireplace damper (if any)

## Recommendations

### GAS HOT WATER BOILER \ Life expectancy

**12. Condition:** • Near end of life expectancy

**Implication(s):** Equipment failure | No heat for building

**Location:** Basement

**Task:** Monitor

**Time:** Ongoing

### CHIMNEY AND VENT \ Masonry chimney

**13. Condition:** • Prior repair

**Implication(s):** No implications exist for this condition

**Location:** Exterior

**Task:** Monitor

**Time:** Ongoing



27. Prior repair



# COOLING & HEAT PUMP

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## Limitations

**Window unit:** • Window/independent A/C excluded from inspection

## Recommendations

### RECOMMENDATIONS \ Overview

**14. Condition:** • No air conditioning or heat pump recommendations are offered as a result of this inspection.

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## Description

### Attic/roof insulation material:

- Glass fiber
- Knee wall area



28. Glass fiber

### Attic/roof insulation amount/value:

- R-22
- 6 inches

# INSULATION AND VENTILATION

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29. 6 inches

**Attic/roof air/vapor barrier:** • Kraft paper

**Attic/roof ventilation:** • Soffit vent • Ridge vent

**Wall insulation material:** • Not determined

**Wall insulation amount/value:** • Not determined

**Wall air/vapor barrier:** • Not determined

## Limitations

**Inspection limited/prevented by lack of access to:** • Wall space

**Attic inspection performed:**

- From access hatch
- Knee wall area

**Roof space inspection performed:**

- From access hatch
- Knee wall area

**Roof ventilation system performance:** • Not evaluated

**Air/vapor barrier system:** • Continuity not verified

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

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## Recommendations

### ATTIC/ROOF \ Insulation

**15. Condition:** • Amount less than current standards

Although being below current standards is not a deficiency, the home may benefit from an increased level of insulation.

**Implication(s):** Increased heating and cooling costs

**Location:** Knee wall area

**Task:** Upgrade

**Time:** Discretionary

**Cost:** Minor

## Description

**Water supply source (based on observed evidence):** • Public

**Service piping into building:** • Copper

**Supply piping in building:** • Copper • PEX (cross-linked Polyethylene)

**Main water shut off valve at the:**

- Basement



30. Main water shut off

**Water flow and pressure:** • Typical for neighborhood

**Water heater type:** • Conventional • Rental

**Water heater location:** • Basement

**Water heater fuel/energy source:**

- Gas



31. Gas

**Water heater exhaust venting method:** • Direct vent • Induced draft

**Water heater manufacturer:**

• Rheem

*Model number: D PVW50-36FV Serial number: 0910901444*

**Water heater tank capacity:** • 189 liters

**Water heater approximate age:** • 14 years

**Water heater typical life expectancy:** • 12 -15 years

**Water heater failure probability:** • High

**Waste disposal system:** • Public

**Waste and vent piping in building:** • ABS plastic • Cast iron • Galvanized steel

**Pumps:** • None found

**Floor drain location:** • None found

**Gas piping material:** • Steel

**Main gas shut off valve location:**

• Basement

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32. Main water shut off

- Backwater valve:** • None noted
- Exterior hose bibb (outdoor faucet):** • Present

## Limitations

- Inspection limited/prevented by:** • Storage
- Fixtures not tested/not in service:** • Exterior hose bibb
- Items excluded from a building inspection:** • Isolating/relief valves & main shut-off valve • Concealed plumbing • Performance of floor drains
- Not included as part of a building inspection:** • Washing machine connections

## Recommendations

- WATER HEATER \ Life expectancy**
- 16. Condition:** • Near end of life expectancy
- Implication(s):** No hot water
- Location:** Basement
- Task:** Monitor
- Time:** Ongoing
- Cost:** Rental Unit

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## Description

**Major floor finishes:** • Hardwood • Laminate

**Major wall finishes:** • Plaster/drywall

**Major ceiling finishes:** • Plaster/drywall

**Windows:** • Fixed • Single/double hung • Sliders • Vinyl

**Glazing:** • Double

**Exterior doors - type/material:** • Hinged • French • Metal-clad • Wood

**Doors:** • Inspected

**Oven type:** • Conventional

**Oven fuel:** • Electricity

**Range fuel:** • Electricity

**Appliances:** • Refrigerator • Dishwasher • Microwave/Exhaust Fan Combo

**Laundry facilities:** • Washer • Laundry tub • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

**Kitchen ventilation:** • Range hood - recirculating type

**Bathroom ventilation:** • Exhaust fan • Window

**Laundry room ventilation:** • Clothes dryer vented to exterior

**Counters and cabinets:** • Inspected

**Stairs and railings:** • Inspected

## Limitations

**Inspection limited/prevented by:** • Storage/furnishings

**Not tested/not in service:** • Range • Oven • Microwave • Dishwasher

**Not included as part of a building inspection:** • Perimeter drainage tile around foundation, if any

**Cosmetics:** • No comment offered on cosmetic finishes

**Appliances:** • Appliances are not inspected as part of a building inspection

**Percent of foundation not visible:** • 75 %

## Recommendations

### DOORS \ Doors and frames

**17. Condition:** • Binds

**Implication(s):** System inoperative or difficult to operate

**Location:** Bedroom

**Task:** Improve

**Time:** Discretionary



**Cost:** Minor



**33.** *Binds*

**END OF REPORT**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

