Exhibit A

STREAM BELLINGHAM TOWNHOMES

LAND USE APPLICATION SET - APRIL 14, 2023

PROJECT INFORMATION

CITY OF BELLINGHAM PROJECT NO:	2021-0105
PROJECT ADDRESS:	3509 MERIDIAN STREET, BELLINGHAM, WA 98225
PROJECT DESCRIPTION:	CONSTRUCTION OF 67 NEW TOWNHOUSES, DISTRIBUTED AMONG 18 BUILDINGS, EACH BUILDING UNDER SEPARATE PERMIT
SITE AREA:	179,793 SF
ASSESSOR PARCEL NO:	380213 546133 000
LEGAL DESCRIPTION:	PER CHICAGO TITLE COMPANY ORDER NO. 245444100 UPDATE #3 COMMITMENT DATE: SEPTEMBER 27, 2022. LOT 2, AS DELINEATED ON BG & CC SHORT PLAT, ACCORDING TO THE PLAT THEREOF, RECORDED UNDER AUDITOR'S FILE NO. 2022-0800206, RECORDS OF WHATCOM COUNTY, WASHINGTON. SITUATE IN WHATCOM COUNTY, WASHINGTON.
NEIGHBORHOOD:	BIRCHWOOD
ZONING:	RESIDENTIAL MULTI - PLANNED
APPLICABLE CODE:	INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 WASHINGTON STATE ENERGY CODE - RESIDENTIAL PROVISIONS (WSEC-R) - 2018 BELLINGHAM MUNICIPAL CODE (BMC) INFILL TOOLKIT TOWNHOUSE REGULATIONS (BMC 20.28)
CONSTRUCTION TYPE:	TYPE V-B
OCCUPANCY:	RESIDENTIAL
AUTOMATIC FIRE SPRINKLER:	NFPA 13D @ TOWNHOME BUILDINGS
ENVIRONMENTALLY CRITICAL AREAS:	NONE

PROJECT TEAM

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ABBREVIATIONS

@	AT	GA	GAUGE, GAGE	PT	PRESSURE TREATED
AB	ANCHOR BOLT	GALV	GALVANIZED	PTD	PAINTED
ABV	ABOVE	GC	GENERAL CONTRACTOR	PWR	POWER
AC	AIR CONDITIONING	GEN	GENERAL		
ADJ	ADJUSTABLE	GL	GLASS	QTY	QUALITY
ANCH	ANCHOR	GM	GAS METER	QUANT	QUANTITY
APPROX	APPROXIMATE (LY)	GR	GRADE		
ARCH	ARCHITECT (URAL)	GWB	GYPSUM WALL BOARD	R	RANGE
AUTO	AUTOMATIC			RD	ROOF DRAIN
AW	AWNING	HB	HOSE BIB	REINF	REINFORCING
		HC	HOLLOW CORE	REQ'D	REQUIRED
BF	BOTTOM FLUSH	HDR	HEADER	REF	REFRIGERATOR
BLDG	BUILDING	HDW	HARDWARE	REV	REVISION
BM	BEAM	HORIZ	HORIZONTAL	RF	ROOF
BOT	BOTTOM	HR	HOUR (FIRE RESISTANT RATING)	RFG	ROOFING
BRG	BEARING	HT	HEIGHT	RM	ROOM
BTWN	BETWEEN	HVAC	HEATING, VENTILATION & AC	RO	ROUGH OPENING
C	CASEMENT	IG	INSULATED GLASS	S	SINK
CB	CATCH BASIN	IN	INCH	SAF	SELF-ADHERED FLASHING
CFM	CUBIC FEET PER MINUTE	INCL	INCLUDING	SC	SOLID CORE
CJ	CEILING JOIST	INFO	INFORMATION	SCH	SCHEDULE
CLG	CEILING	INSUL	INSULATING, INSULATION	SCHED	SCHEDULE
CLR	CLEAR	INT	INTERIOR	SECT	SECTION
CNTR	CENTER	ISG	INSULATED SAFETY GLASS	SF	SQUARE FOOT
COL	COLUMN			SG	SAFETY GLAZING
CONC	CONCRETE	JT	JOINT	SH	SINGLE HUNG
CONST	CONSTRUCTION			SIM	SIMILAR
CONT	CONTINUOUS	KD	KILN DRIED	SI	SLIDING WINDOW OR DOOR
CONTR	CONTRACTOR	KP	KING POST	SPEC	SPECIFICATION
COORD	COORDINATE			SPF	SPRUCE, PINE, FIR
		LAM	LAMINATE(D)	SQ	SQUARE
D	DRYER	LAV	LAVATORY	SQ FT	SQUARE FOOT
DB	DROP BEAM	LB	LAG BOLT	SS	STAINLESS STEEL
DEMO	DEMOLITION	LL	LIVE LOAD	S&R	SHELF AND ROD
DHW	DOMESTIC HOT WATER HEATER	LT	LIGHT	STD	STANDARD
DIA	DIAMETER	LTG	LIGHTING	STL	STEEL
DIM	DIMENSION	LVR	LOUVER	STRUCT	STRUCTURAL
DL	DEAD LOAD	LT WT	LIGHT WEIGHT	SYM	SYMMETRICAL
DN	DOWN	LVL	LAMINATED VENEER LUMBER		
DRY	DRYER			TF	TOP FLUSH
DS	DOWNSPOUT	MAX	MAXIMUM	T&G	TONGUE AND GROOVE
DW	DISHWASHER	MECH	MECHANICAL	TEMP	TEMPORARY, TEMPERATURE
DWG	DRAWING	MED	MEDIUM	THK	THICK
		MFR	MANUFACTURER	TOC	TOP OF CONCRETE
EW	EACH WAY	MIN	MINIMUM	TOG	TOGETHER
E	EXISTING	MISC	MISCELLANEOUS	TOW	TOP OF WALL
EA	EACH	MTL	METAL	TYP	TYPICAL
EG	EGRESS	MW	MICROWAVE		
ELEC	ELECTRICAL			UNO	UNLESS NOTED OTHERWISE
EM	ELECTRIC METER	NEC	NECESSARY	UON	UNLESS OTHERWISE NOTED
EQ	EQUAL	NIC	NOT IN CONTRACT		
EQUIP	EQUIPMENT	NTS	NOT TO SCALE	VAR	VARIES
EXH	EXHAUST			VENT	VENTILATION
EXIST	EXISTING	O/	OVER	VERT	VERTICAL
EXP	EXPANSION	OD	OUTSIDE DIAMETER	VG	VERTICAL GRAIN
EXT	EXTERIOR	OC	ON CENTER	VIF	VERIFY IN FIELD
		OH	OVERHEAD		
FD	FLOOR DRAIN	OPP	OPPOSITE	W	WASHER
FDN	FOUNDATION	OV	OVEN	W/	WITH
FIN	FINISH			W/O	WITHOUT
FJ	FLOOR JOIST	PC	PIPE COLUMN	WASH	CLOTHES WASHER
FL	FLOOR	PLAM	PLASTIC LAMINATE	WD	WARMING DRAWER
FO	FACE OF	PLYWD	PLYWOOD	WM	WATER METER
FURR	FURRING	PSF	POUNDS PER SQUARE FOOT	WS	WIRE SHELVING
FT	FOOT	PSI	POUNDS PER SQUARE INCH	WWM	WELDED WIRE MESH
FTG	FOOTING	PSL	PARALLEL STRAND LUMBER		
FURN	FURNACE	PT	POINT	#	NUMBER; POUND(S)

DRAWING SYMBOL KEY

- NORTH ARROW
- BUILDING ELEVATION — DRAWING NUMBER / SHEET NUMBER
- INTERIOR ELEVATION — DRAWING NUMBER / SHEET NUMBER
- BUILDING SECTION — DRAWING NUMBER / SHEET NUMBER
- WALL SECTION — DRAWING NUMBER / SHEET NUMBER
- DETAIL REFERENCE — DRAWING NUMBER / SHEET NUMBER
- STRUCTURAL DETAIL — DRAWING NUMBER / SHEET NUMBER
- ARCHITECTURAL DETAIL — DRAWING NUMBER / SHEET NUMBER
- CUT MARK
- CENTERLINE
- GRID LINE
- DRAWING TITLE — DRAWING SCALE — VIEW TITLE
- SITE POINT ELEVATION
- FLOOR ELEVATION — DATUM
- SPOT ELEVATION — DATUM
- REVISION TAG
- WALL/FLOOR/ROOF ASSEMBLY TYPE TAG
- HOSE BIBB
- EXHAUST FAN AIR FLOW RATE (50 CFM)
- RAMP UP/DOWN PERCENT SLOPE (2%)
- DECK SLOPE TO DRAIN (2%)
- CEILING/ROOF SLOPE RISE / RUN (9" / 12")
- SMOKE DETECTOR
- CARBON MONOXIDE ALARM
- COMBO SMOKE/CARBON MONOXIDE DETECTOR
- CLOTHES ROD AND SHELF
- ROOF PITCH

CONTRACT DIMENSION NOTES

1. DO NOT SCALE THE DRAWINGS. LARGE SCALE DIMENSIONS GOVERN SMALL SCALE DIMENSIONS.
2. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS, PRIOR TO PROCEEDING WITH WORK.
3. AT NEW CONSTRUCTION, ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF CONCRETE, CENTER LINE OF COLUMNS, AND CENTERLINE OF WINDOWS AND DOORS, UNLESS NOTED OTHERWISE.
4. SITE PLAN DIMENSIONS UNACCOMPANIED BY A LICENSED SURVEY IN THE POSTED DRAWING SET ARE CONSIDERED APPROXIMATE AND FOR REFERENCE ONLY.
5. GRAPHIC SCALES ARE PROVIDED FOR REFERENCE ONLY. WHERE DRAWINGS OF DIFFERENT SCALES ARE PROVIDED ON THE SAME SHEET, GRAPHIC SCALES ARE REMOVED FOR CLARITY.
6. DIMENSIONS WITH ACCOMPANYING TEXT (E.G. CLEAR, HOLD, EQUAL) SHALL BE VERIFIED IN FIELD. ANY CHANGES TO THESE DIMENSIONS REQUIRE APPROVAL BY ARCHITECT.

VICINITY MAP

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9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM - SITE

PROJECT ADDRESS: 3509 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER: STREAM REAL ESTATE

REVISION	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
7/29/2022	LAND USE APPLICATION
1/13/2023	LAND USE APP RESUBMITTAL
4/14/2023	LAND USE APP RESUBMITTAL

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ORIGINAL SHEET SIZE IS 22"x34"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

PROJECT INFORMATION

SHEET NO.:

G0.00

DEPARTURE REQUEST MATRIX

BMC CODE CITATION	CODE REQUIREMENT	PROPOSED DEPARTURE	DESIGN RATIONALE
DEPARTURE REQUEST #1 20.28.140.C.3: BULK AND MASSING	*THE HEIGHT LIMIT IS **35'** UNDER BMC 20.08.020, DEFINITION NO. 1.*	DEPARTURE REQUEST: • 6 1/2" TO 2'-4 1/2" ABOVE 35' HEIGHT LIMIT *THIS ASSUMES MIDDLE OF THE RIDGE AS THE 35' LIMIT ***SEE SHEET G1.02 FOR DIAGRAM***	THIS SITE IS ZONED RESIDENTIAL MULTI-PLANNED AND HAS NO HEIGHT LIMIT. THE TOWNHOUSE FINISH FLOOR HEIGHT TO ROOF RIDGELINE IS CONSISTENTLY 38'. THE EXISTING GRADES OF THE EXISTING TREE-FILLED AREA SLOPES BELOW MERIDIAN AND BIRCHWOOD. SOME OF THE BUILDINGS ARE SITUATED HIGHER THAN EXISTING GRADE IN AN EFFORT TO CREATE FUNCTIONAL AND ACCESSIBLE BUILDINGS AND TO PROVIDE A CONSISTENT MASSING ACROSS THE SITE. THE TWO BUILDINGS EXCEEDING 35' PER DEFINITION NO 1 CALCULATION ARE: • BLDG 5.2 @ 35'-6 1/2" AND • BLDG 5.3 @ 37'-4 1/2".
DEPARTURE REQUEST #2 20.28.050.A PEDESTRIAN-ORIENTED DESIGN	*FRONTING INFILL HOUSING UNITS ON EXISTING IMPROVED STREETS SHALL BE PRIORITIZED OVER FRONTING UNITS INTERNALLY OFF A NEW STREET.*	DEPARTURE REQUEST: • ALLOW UNIT B.2 IN BUILDING 2.5 TO FRONT COMMON AMENITY ***SEE SHEET A1.11 FOR LOCATION***	THE MAJORITY OF THE UNITS ALONG MERIDIAN PROVIDE UNIT ENTRIES THAT FRONT MERIDIAN. UNIT B.2, IN BUILDING 2.5, IS THE ONLY UNIT ALONG MERIDIAN THAT HAS THE UNIT ENTRY ROTATED TO FACE NORTH, INSTEAD OF EAST. ROTATING THIS UNIT ENTRY ALLOWS THE UNIT TO FOLLOW A SIMILAR CONTEXTUAL PATTERN OF FRONTING THE GREEN SPACE, INSTEAD OF THE MAJOR ARTERIAL. THE SITING OF THIS BUILDING ALLOWS THE CENTRAL TRASH ENCLOSURE TO BE DISCRETELY TUCKED AMONG OTHER GARAGES, RATHER THAN FLANKING THE COMMON GREEN SPACE. UNIT A.1 HAS TWO ENTRIES, ONE FRONTING MERIDIAN AND ONE FRONTING THE GREEN SPACE.
DEPARTURE REQUEST #3 20.28.140.B.2: SITE REQUIREMENTS AND SETBACKS	*BUILDINGS SHALL BE PLACED:* • *WITHIN **20'** MAXIMUM FROM PROPERTY LINE AT FRONT AND SIDE FLANKING STREETS.* • ***10'** CLEAR FROM PROPERTY LINE AT REAR YARD WHEN NO ALLEY IS PRESENT (OPPOSITE FRONT STREET).*	DEPARTURE REQUESTS: • ALLOW SETBACKS RANGE FROM 48'-4" (BUILDING 4.7) TO 80'-2" (BUILDING 4.6) FROM PROPERTY LINE. • ALLOW BLDG 2.3 TO OVERLAP THE 10' SETBACK AT REAR YARD. ***SEE SHEET G1.04 FOR DIAGRAM***	BUILDINGS 4.6 & 4.7 FRONT ALONG MERIDIAN, HOWEVER, THE OPEN SPACE WAS STRATEGICALLY LOCATED IN AN EFFORT TO CREATE A SUBTLE BUFFER BETWEEN THE ARTERIAL AND THE UNITS ON THE EAST, SINCE THE UNITS ON THE WESTERN EDGE ALL FRONT THE GOLF COURSE. LOCATING THE GREEN SPACE ON THE EASTERN EDGE MORE EVENLY DISTRIBUTES THE GREEN SPACE THROUGHOUT THE PROJECT. CITY HAS NOTED THAT MERIDIAN ST IS CONSIDERED THE FRONT YARD AND THEREFORE REQUIRES A 10' REAR YARD SETBACK OPPOSITE THE FRONT YARD. BLDG 2.3 EXTENDS PAST THE 10' SETBACK OPPOSITE MERIDIAN (50 SF AREA) AND ASSUMING THE 'JOG' IN REAR PROPERTY LINE WILL ALSO BE CONSIDERED A 10' SETBACK, BLDG 2.3 EXTENDS OVER THIS SETBACK PARTIALLY FROM 1'-11" TO 4'-11".
DEPARTURE REQUEST #4 20.28.050.G PRIVATE LANES, COMMON PEDESTRIAN CORRIDORS, AND ALLEYS	• *PEDESTRIAN PATHS SHALL BE SEPARATED BY A MINIMUM OF **2'** FROM PROPERTY LINES, FENCES, WALLS AND HEDGES.* • *TOWNHOUSES ARE REQUIRED TO BE SETBACK A MINIMUM OF **10'** FROM THE COMMON PEDESTRIAN CORRIDORS (COMMON PEDESTRIAN CORRIDORS SHALL BE CONSIDERED STREETS FOR SETBACK PURPOSES).* • *COMMON PEDESTRIAN CORRIDOR MINIMUM TOTAL WIDTH REQUIRED TO BE **10'**.*	DEPARTURE REQUESTS: • ALLOW PEDESTRIAN PATHS TO BE SITED AT PROPERTY LINE IN FRONT OF BLDGS 2.3, 2.4, 5.2 AND 5.3. AND ADJACENT TO FENCES ALONG ENTIRE WEST EDGE OF THE BUILT SITE. • A MINOR MODIFICATION FROM BMC 20.28.050.G IS REQUESTED AS TOWNHOUSES ARE REQUIRED TO BE SETBACK A MINIMUM OF 10' FROM THE COMMON PEDESTRIAN CORRIDORS. • A MINOR MODIFICATION FROM BMC 20.28.050.G.3 AS TABLE 20.28.050 REQUIRES A TOTAL WIDTH OF 10' TO BE PROVIDED FOR COMMON PEDESTRIAN CORRIDORS. ***SEE SHEETS G1.04 AND A1.11***	LOCATING THE PEDESTRIAN PATH ALONG THE FENCE AND PROPERTY LINE AT THE WEST EDGE INSTEAD OF PROVIDING THE REQUIRED 2 FEET SEPARATION MAXIMIZES THE OPEN SPACE AREA BETWEEN THE PROPERTY AND THE GOLF FAIRWAY ON THE ADJACENT BELLINGHAM GOLF CLUB PROPERTY AND ALLOWS FOR PRIVATE YARD SPACE AT UNITS FACING THE WEST EDGE.
DEPARTURE REQUEST #5 20.28.050.I.4 LANDSCAPING AND FENCING	• *ALL FENCES IN THE FRONT AND SIDE STREET SETBACKS ARE LIMITED TO **42"** IN HEIGHT.*	DEPARTURE REQUEST: • ALLOW FENCE SEPARATING THE THE TOWNHOUSE PROJECT FROM THE BELLINGHAM COUNTRY CLUB PROPERTY TO BE 60" IN HEIGHT ***SEE SHEET A1.11 FOR LOCATION***	A 60" HIGH FENCE IS THE PREFERNCE OF THE SITE'S NEIGHBORS, THE BELLINGHAM COUNTRY CLUB AND COMPLIANT WITH A REAR YARD SETBACK (PER COB; SEE DEPATURE REQUEST #3)

BELLINGHAM CODE REVIEW

ZONE	*RESIDENTIAL MULTI - PLANNED*
LOT AREA	179,793 SF
20.28.050.A PEDESTRIAN-ORIENTED DESIGN	• *FRONTING INFILL HOUSING UNITS ON EXISTING IMPROVED STREETS SHALL BE PRIORITIZED OVER FRONTING UNITS INTERNALLY OFF A NEW STREET. GAPS MAY OCCUR AS NECESSARY FOR BUILDING SETBACKS, VEHICULAR AND PEDESTRIAN ACCESS, AND FEATURES THAT CONTRIBUTE TO THE PEDESTRIAN REALM.* • *PARKING SHALL NOT BE LOCATED BETWEEN DWELLING UNITS AND THE STREET OR LANE.* DEPARTURE REQUESTED - SEE DEPATURE REQUEST #2 ON DEPATRURE REQUEST MATRIX
20.28.050.C LOT REQUIREMENTS	• *THERE ARE NO MINIMUM LOT DIMENSIONS, LOT SIZES OR MINIMUM STREET FRONTAGE REQUIREMENTS.* • *ALL INFILL HOUSING DEVELOPMENT SHALL PROVIDE ACCESS TO A PUBLIC RIGHT-OF-WAY.*
20.28.050.D SUBDIVISION	• *SITES WITH DUPLEX AND TOWNHOUSE TYPES MAY BE SUBDIVIDED INTO LOTS THAT DO NOT COMPLY WITH DEVELOPMENT STANDARDS IN THIS TITLE OR BMC TITLE 23 INDIVIDUALLY, AS LONG AS THE PARENT SITE AS A WHOLE COMPLIES WITH THIS CHAPTER.*

20.28.050.F ENCROACHMENTS AND COMMON WALL DEVELOPMENT	• *ENCROACHMENTS INTO REQUIRED YARDS ARE ALLOWED AS SPECIFIED IN BMC 20.10.080(B).*
	  • *FENCES AND WALLS*
	  • *UNCOVERED DECK OR BALCONY, EXCEEDING 30" ABOVE GRADE:*
	  *FRONT YARD SETBACK = **6'** PERMITTED ENCROACHMENT*
	  *REAR YARD SETBACK = **4'** PERMITTED ENCROACHMENT*
	  • *MECHANICAL EQUIPMENT, SUCH AS: AIR CONDITION UNIT, HEAT PUMP UNIT*
	  *REAR YARD SETBACK = **4'** PERMITTED ENCROACHMENT*
	  • *COVERED PORCH, SINGLE STORY MAIN ENTRY OPEN ON 3 SIDES (UNCOVERED STEPS LEADING INTO A PORCH OR DECK WHICH ARE NOT EXCEEDING 4' ABOVE GRADE ARE NOT COUNTED TOWARDS THE 6' FRONT YARD ENCROACHMENT)*
	  *FRONT YARD SETBACK = **6'** PERMITTED ENCROACHMENT*
	
	• *FOR COMMON WALL DEVELOPMENT SUCH AS TOWNHOUSES AND ENCROACHMENTS OVER PROPERTY LINES SUCH AS EAVES, A JOINT AGREEMENT MUST BE APPROVED BY THE CITY OF BELLINGHAM AND RECORDED WITH THE WHATCOM COUNTY AUDITOR'S OFFICE AND THEREAFTER FILED WITH THE CITY.*

20.28.050.G PRIVATE LANES, COMMON PEDESTRIAN CORRIDORS, AND ALLEYS	• *LANES, COMMON PEDESTRIAN CORRIDORS, AND ALLEYS MUST BE CONSTRUCTED AND MAINTAINED TO THE FOLLOWING MINIMUM IMPROVEMENT STANDARDS:* *ALLEYS: **TRAVEL LANE WIDTH = 15'*** ***PEDESTRIAN PATH WIDTH = N/A*** ***TOTAL WIDTH = 15'*** PROPOSED TOTAL WIDTH = 20' • *LANES, COMMON PEDESTRIAN CORRIDORS, AND ALLEYS MUST BE:* • *SURFACED WITH A HARD MATERIAL SUCH AS CONCRETE OR ASPHALT, EXCEPT THAT ASPHALT SHALL NOT BE USED FOR COMMON PEDESTRIAN CORRIDORS. PERMEABLE PAVEMENT SHALL BE USED FOR HARD SURFACE GROUND COVER AREAS UNLESS INFEASIBLE* • *PEDESTRIAN PATHS SHALL BE SEPARATED FROM PROPERTY LINES, FENCES, WALLS AND HEDGES BY A MINIMUM OF 2'* DEPARTURE REQUESTED - SEE DEPATURE REQUEST #4 ON DEPATRURE REQUEST MATRIX

20.28.050.H PARKING	• NUMBER OF SPACES
	  • *UNITS OF 1,000 SQUARE FEET OR GREATER SHALL PROVIDE TWO ON-SITE PARKING STALLS.*
	  PROPOSED DWELLING UNIT PARKING: 2 GARAGE STALLS (3BD UNITS > 1,000 SF)
	  • *GUEST PARKING. WHEN A SITE CONTAINS 20 OR MORE UNITS AND LACKS ON-STREET PARKING ABUTTING OR PARKING WITHIN THE PARENT SITE, THE PLANNING DIRECTOR MAY REQUIRE ADDITIONAL GUEST PARKING.*
	  PROPOSED GUEST PARKING ON SITE: 21 SURFACE PARKING STALLS
	
	• PARKING STALL DIMENSIONS
	  • *UNIT GARAGE PARKING STALLS SHALL BE AT LEAST **9' BY 18'**.*
	
	• PARKING SETBACKS
	THE REQUIRED MINIMUM SETBACKS FOR OPEN PARKING ARE:
	  • *FRONT STREET: **25'***
	  • *SIDE FLANKING STREET: **10'***
	  • *SIDE AND REAR YARDS: **5'***

20.28.050.I LANDSCAPING AND FENCING	• *LANDSCAPING SHALL BE PROVIDED BETWEEN EACH HOUSING UNIT AND ABUTTING STREETS, LANES, ALLEYS, AND COMMON PEDESTRIAN CORRIDORS EXCEPT WHERE DRIVEWAY AND WALKWAY CROSSINGS OCCUR.* • *ALONG STREETS, LANES AND ALLEYS, LANDSCAPING SHALL BE PROVIDED TO SEPARATE THE PARKING AND DRIVEWAYS BETWEEN INDIVIDUAL DWELLING UNITS.* • *ALL FENCES IN THE FRONT AND SIDE STREET SETBACKS ARE LIMITED TO **42" IN HEIGHT** AND MAY BE NO MORE THAN **60% OPAQUE**. CHAIN LINK OR CYCLONE FENCING IS NOT ALLOWED IN THE FRONT OR SIDE STREET SETBACK.*

20.28.140.B TOWNHOUSE - SITE REQUIREMENTS AND SETBACKS	• *TOWNHOUSES MAY BE LOCATED ON A SEPARATE (FEE SIMPLE) LOT OR SEVERAL UNITS MAY BE LOCATED ON A COMMON PARCEL.*
	
	• THE REQUIRED SETBACKS ARE:
	  • *GARAGES AND CARPORTS SHALL BE SET BACK AT LEAST **4'** FROM THE STREET FACE OF RESIDENTIAL BUILDINGS (EXCLUDING FRONT PORCHES).*
	  • *BUILDINGS SHALL BE PLACED:*
	  *1. **10'** CLEAR FROM PROPERTY LINE AT FRONT AND SIDE FLANKING STREETS.*
	  *2. WITHIN **20'** MAXIMUM FROM PROPERTY LINE AT FRONT AND SIDE FLANKING STREETS.*
	  *3. **5'** CLEAR FROM PROPERTY LINE AT ADJACENT PARCELS.*
	
	DEPARTURE REQUESTED - SEE DEPATURE REQUEST #3 ON DEPATRURE REQUEST MATRIX

20.28.140.C BULK AND MASSING	• *MAXIMUM ATTACHED DWELLING UNITS IS **8**.*
	  PROPOSED MAXIMUM ATTACHED DWELLING UNITS: 5.
	
	• *MAXIMUM FLOOR AREA RATIO (FAR) IS **0.75**.*
	  PROPOSED FAR: 0.71
	  SEE SHEET G1.03 FOR FAR DIAGRAMS & CALCULATIONS
	
	• *MAXIMUM HEIGHT LIMIT IS **35'** (PER DEFINITION NO 1).*
	  PROPOSED MAXIMUM STRUCTURE HEIGHT: 39'-11" (VARIES PER BUILDING)
	  SEE SHEET G1.02 FOR HEIGHT DIAGRAMS & CALCULATIONS
	
	DEPARTURE REQUESTED - SEE DEPARTURE REQUEST #1 ON DEPARTURE REQUEST MATRIX

20.28.140.D USABLE SPACE, OPEN SPACE AND LANDSCAPING	• *EACH DWELLING UNIT SHALL HAVE:*
	  • ***200 SF** OF PRIVATE USABLE SPACE WITH NO DIMENSION LESS THAN **5'**.*
	  • *UP TO **100 SF** OF DECK, PATIO OR STRUCTURE MAY BE INCLUDED TOWARDS **200 SF** REQUIREMENT.*
	  • *PRIVATE USABLE SPACE MAY BE CONSOLIDATED AND PROVIDED AS COMMON USABLE SPACE WITH MINIMUM DIMENSIONS OF **10' BY 10'**.*
	  • *ALL UNITS SHALL HAVE DIRECT ACCESS TO USABLE SPACE.*
	
	  REQUIRED PRIVATE USABLE SPACE:
	  67 UNITS X 200 SF = 13,400 SF
	
	  PROPOSED PRIVATE USABLE SPACE:
	  PRIVATE USABLE SPACE = VARIES (SEE SHEET G1.03 FOR DIAGRAM)
	  COMMON USABLE SPACE = 3,862 SF
	  SEE SHEET G1.04 FOR PRIVATE USABLE SPACE CALCULATIONS.
	
	• *A MINIMUM OF **30%** OF THE SITE AREA SHALL BE IN OPEN SPACE CONSISTING OF LANDSCAPING OR PERMEABLE MATERIALS.*
	
	  REQUIRED SITE OPEN SPACE: 179,793 X .3 = 53,938 SF
	  PROPOSED SITE OPEN SPACE: 67,396 SF
	  SEE SHEET G1.04 FOR OPEN SPACE CALCULATIONS
	
	• *A GREEN FACTOR LANDSCAPING SCORE OF **0.4** IS REQUIRED*
	
	  PROPOSED: 0.5324
	  SEE SHEET L-11 FOR GREEN FACTOR CALCULATIONS

20.28.140.F DESIGN STANDARDS	• *EACH TOWNHOUSE UNIT SHALL FRONT (AND HAVE AND ENTRANCE FACING) A STREET, LANE, OR COMMON PEDESTRIAN CORRIDOR.*
	• *ENTRANCES FOR EACH UNIT SHALL BE SEPARATE.*
	• *EACH UNIT SHALL HAVE DIRECT ACCESS TO BOTH THE PUBLIC STREET, LANE, OR COMMON PEDESTRIAN CORRIDOR AND PARKING.*
	• *EACH UNIT MUST HAVE A COVERED, MAIN ENTRY-RELATED PORCH OR STOOP AREA OF AT LEAST **40 SF** WITH NO DIMENSION LESS THAN **5'**. THIS IS IN ADDITION TO THE PRIVATE USABLE SPACE REQUIREMENT.*
	  SEE SHEET G1.04 FOR ENTRY PORCH AND PRIVATE USABLE SPACE CALCULATIONS
	• *BUILDINGS MUST BE MODULATED ALONG THE PUBLIC STREET AT LEAST EVERY 30 FEET. STEP THE BUILDING WALL AT LEAST **4'**, OR AT LEAST **2'** WHEN ARCHITECTURAL DETAILING IS USED TO CLEARLY DELINEATE THE INDIVIDUALITY OF EACH UNIT.*
	  SEE SHEET G1.04 FOR BUILDING MODULATION DIMENSIONS
	• *GARBAGE/RECYCLING AREAS SHALL BE CONSOLIDATED, UNLESS THE LOCAL REFUSE PROVIDER APPROVES OTHERWISE, AND SCREENED FROM PUBLIC VIEW.*
	  SEE SHEET G1.04 FOR LOCATION OF CONSOLIDATED GARBAGE/RECYCLING AREAS

20.32.040.B STANDARD DEVELOPMENT – REGULATIONS - DENSITY	MAXIMUM DENSITY: (HIGH DENSITY CLASSIFICATION) *NO EXPRESSED MAXIMUM DENSITY WITHIN A HIGH-DENSITY CLASSIFICATION* MINIMUM DENSITY: (HIGH DENSITY CLASSIFICATION) ***3,599 SF** OF GROSS LAND AREA/1 RESIDENTIAL UNIT* ***179,793 SF** GROSS LAND AREA/**3,559 SF** = **50 UNIT MINIMUM REQUIRED*** 67 UNITS PROPOSED
20.32.040.G4. PEDESTRIAN CIRCULATION	SIDEWALK • *SHALL BE CONSTRUCTED WITHIN ALL ABUTTING ROW. (A LOCAL IMPROVEMENT DISTRICT COMMITMENT MAY BE REQUIRED IN LIEU OF CONSTRUCTION IF THE CITY DETERMINES IMMEDIATE CONSTRUCTION IS NOT WARRANTED.)* WALKWAYS • *REQUIRED LINKING BUILDING ENTRANCES TO PARKING AREAS, SIDEWALKS AND OTHER BUILDING ENTRANCES.* • *IF NO SIDEWALK IS CONSTRUCTED OR EXISTS, THE CONNECTING WALKWAY SHALL EXTEND TO THE PROPOSED LOCATION OF A SIDEWALK OR TO THE EDGE OF THE PAVEMENT.*

20.32.070.B LANDSCAPING REQUIREMENTS
(SEE SHEETS L-1 - L-11 FOR LANDSCAPE DESIGN)
	STREET TREES
	• *ONE STREET TREE SHALL BE PROVIDED FOR EVERY 50 FEET OF STREET FRONTAGE ABUTTING THE PROPERTY. SAID TREES SHALL BE INSTALLED ADJACENT TO THE RIGHT-OF-WAY WITHIN THE PROPERTY LINES OR WITHIN THE RIGHT-OF-WAY SUBJECT TO THE APPROVAL OF THE PUBLIC WORKS AND PARKS DEPARTMENT.*
	
	GARBAGE RECEPTACLE AREAS:
	• *SHALL BE SCREENED ON AT LEAST TWO SIDES.*
	
	OPEN SPACE
	• *A MINIMUM OF **25%** OF THE REQUIRED OPEN SPACE SHALL BE LANDSCAPED. (LANDSCAPE-BASED LID BMPS SHALL COUNT TOWARD THIS REQUIREMENT.)*
	
	PARKING
	  • *FOR EVERY 10 OPEN PARKING SPACES, ONE TREE SHALL BE INSTALLED AROUND THE FACILITY PERIMETER. THESE TREES MAY BE GROUPED OR SPREAD LINEALLY.*
	  • *AREAS BETWEEN PARKING AND ADJACENT PROPERTY SHALL BE LANDSCAPED AND/OR SCREENED.*
	  • *WHEN ADJACENT TO LANDSCAPING, A PORTION OF A STANDARD PARKING SPACE MAY BE LANDSCAPED INSTEAD OF PAVED, AS FOLLOWS:*
	  a. THE LANDSCAPED AREA MAY BE UP TO TWO FEET OF THE FRONT OF THE SPACE . ANY VEHICLE OVERHANG MUST BE FREE FROM INTERFERENCE FROM SIDEWALKS, LANDSCAPING, OR OTHER REQUIRED ELEMENTS.
	  b. LANDSCAPING WITHIN THE PARKING OVERHANG AREA MUST BE GROUND COVER PLANTS.
	  c. THE LANDSCAPED AREA COUNTS TOWARD PARKING LOT LANDSCAPING REQUIREMENTS AND TOWARD ANY OVERALL OPEN SPACE REQUIREMENTS.
	  • *UNLESS INFEASIBLE, LANDSCAPE-BASED LID BMPS SHALL BE USED WITHIN PARKING LOT LANDSCAPING TO MEET DRAINAGE REQUIREMENTS.*

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9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM - SITE

PROJECT ADDRESS:
3009 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER:
STREAM REAL ESTATE

REVISION	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
7/29/2022	LAND USE APPLICATION
1/13/2023	LAND USE APP RESUBMITTAL
4/14/2023	LAND USE APP RESUBMITTAL

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ORIGINAL SHEET SIZE IS 22"x34"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

CODE REVIEW - LAND USE

SHEET NO.:

G1.01

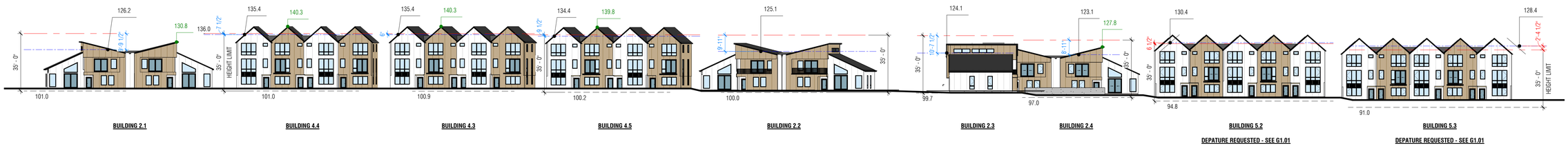
GENERAL NOTES

HEIGHT CALCULATED PER CITY OF BELLINGHAM BUILDING HEIGHT DEFINITION NO. 1:
THE VERTICAL DISTANCE FROM THE LOWEST EXISTING GRADE AT THE WALL OF THE BUILDING TO THE HIGHEST POINT OF THE COPING OF A FLAT ROOF OR TO THE AVERAGE HEIGHT OF THE HIGHEST GABLE OF A PITCH OR HIP ROOF.

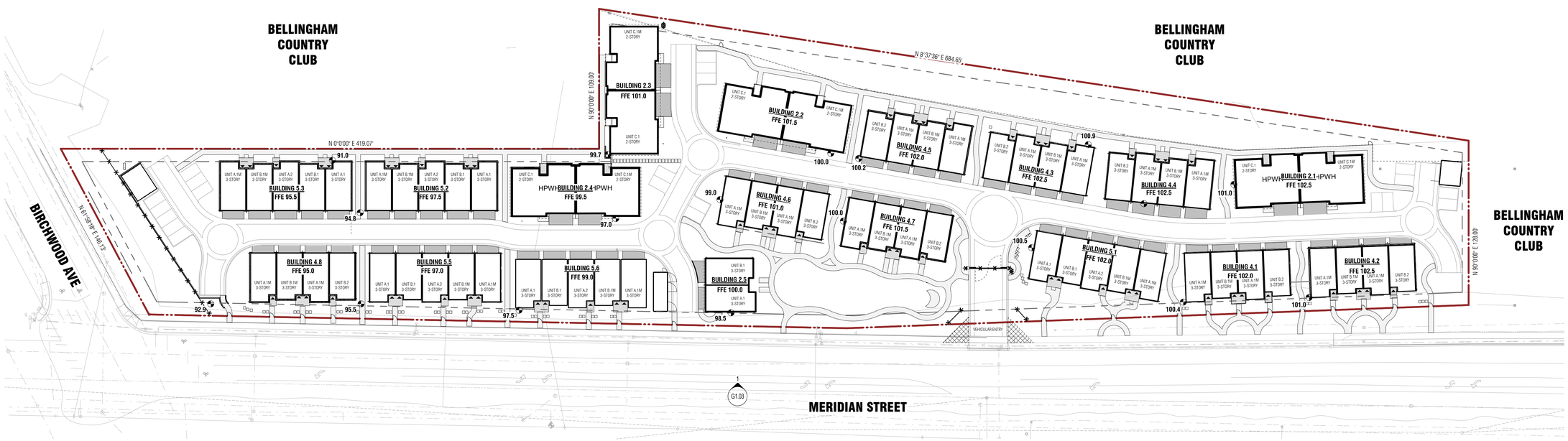
LEGEND

- 35' HEIGHT LIMIT
- AVERAGE HEIGHT OF ROOF
- LOWEST EXISTING GRADE
- X'-X" DIMENSION BELOW 35' HEIGHT LIMIT
- X'-X" DIMENSION ABOVE 35' HEIGHT LIMIT
- XXX.X AVERGAE HEIGHT POINT OF GABLE / SHED
- XXX.5 RIDGE ELEVATION
- XXX.X LOWEST EXISTING GRADE AT BUILDING EXTERIOR WALL
- FFE XXX.X LEVEL 1 FINISH FLOOR ELEVATION AT ENTRY

1 **EAST SITE ELEVATION - HEIGHT DIAGRAM**
1" = 30'-0"



2 **WEST SITE ELEVATION - HEIGHT DIAGRAM**
1" = 30'-0"



3 **DIAGRAM - LOCATION OF LOWEST EXISTING GRADE PER BUILDING**
1" = 40'-0"

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CODE DIAGRAMS - BUILDING HEIGHT (ZONING)

SHEET NO.:

G1.02

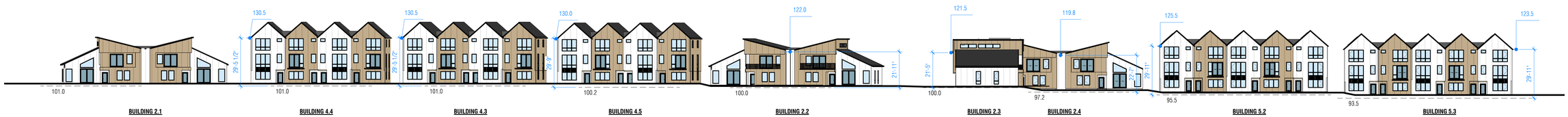
GENERAL NOTES

1. THE PROPOSED BUILDINGS ARE WITHIN 30 FEET IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS.
2. PER SECTION 503.1.4: THE HIGHEST ROOF SURFACE SHALL BE DETERMINED BY MEASUREMENT TO THE EAVE OF A PITCHED ROOF, THE INTERSECTION OF THE ROOF TO THE EXTERIOR WALL, OR THE TOP OF PARAPET WALLS, WHICHEVER IS GREATER.

LEGEND

—·—·—·—	HIGHEST ROOF MEASURE AT EAVE OR INTERSECTION OF ROOF AND EXTERIOR WALL (WHICHEVER IS GREATER)
XXX.X	LOWEST FIRE APPARATUS ACCESS ELEVATION
XXX.X	HIGHEST ROOF MEASURE AT EAVE OR INTERSECTION OF ROOF AND EXTERIOR WALL (WHICHEVER IS GREATER)
XXX.X	LOWEST FIRE APPARATUS ACCESS ELEVATION
XX'-X"	BELOW 30' HEIGHT LIMIT PER BELLINGHAM IFC 503.1.4

1 **EAST SITE ELEVATION - HEIGHT DIAGRAM FOR IFC**
1" = 30'-0"



2 **WEST SITE ELEVATION - HEIGHT DIAGRAM FOR IFC**
1" = 30'-0"

3 **DIAGRAM - LOCATION OF LOWEST FIRE APPARATUS ACCESS PER BUILDING**
1" = 40'-0"

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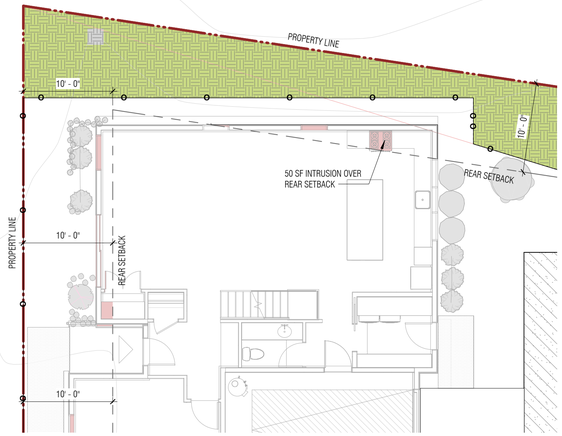
CODE DIAGRAMS - BUILDING HEIGHT (FIRE)

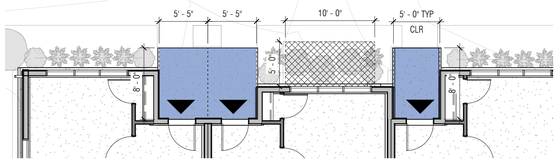
SHEET NO.:

G1.03



3 BLDG 2.3 SETBACK (DEPATURE REQUEST #4)

1/8" = 1'-0"



2 MAIN ENTRY PORCHES & DECKS, TYPICAL UNO

1/8" = 1'-0"

COMMON & PRIVATE USABLE SPACE CALCULATIONS

*EACH DWELLING UNIT SHALL HAVE **200 SF OF PRIVATE USABLE SPACE** WITH NO DIMENSION LESS THAN FIVE FEET. UP TO 100 SF OF DECK, PATIO OR STRUCTURE MAY BE INCLUDED. PRIVATE USABLE SPACE MAY BE CONSOLIDATED AND PROVIDED AS COMMON USABLE SPACE WITH MINIMUM DIMENSIONS OF 10 FEET BY 10 FEET. EACH UNIT MUST HAVE A COVERED, MAIN ENTRY-RELATED PORCH OR STOOP AREA OF AT LEAST **40 SF** WITH NO DIMENSION LESS THAN **5'**. THIS IS IN ADDITION TO THE PRIVATE USABLE SPACE REQUIREMENT.*

BUILDING	PRIVATE USABLE SPACE	TOTAL	SHORTAGE
BUILDING 4.1			
UNIT A.1	200 SF YARD	200 SF	
UNIT A.2M	200 SF YARD	200 SF	
UNIT B.1M	228 SF YARD, 50 SF DECK	278 SF	
UNIT B.2	228 SF YARD, 50 SF DECK	278 SF	
BUILDING 4.2			
UNIT A.1	200 SF YARD	200 SF	
UNIT A.2M	200 SF YARD	200 SF	
UNIT B.1M	228 SF YARD, 50 SF DECK	278 SF	
UNIT B.2	228 SF YARD, 50 SF DECK	278 SF	
BUILDING 4.3			
UNIT A.1	150 SF YARD	150 SF	-50 SF
UNIT A.2M	155 SF YARD	155 SF	-45 SF
UNIT B.1M	180 SF YARD, 50 SF DECK	230 SF	
UNIT B.2	184 SF YARD, 50 SF DECK	234 SF	
BUILDING 4.4			
UNIT A.1	85 SF YARD	85 SF	-115 SF
UNIT A.2M	108 SF YARD	108 SF	-92 SF
UNIT B.1M	123 SF YARD, 50 SF DECK	173 SF	-17 SF
UNIT B.2	145 SF YARD, 50 SF DECK	195 SF	-5 SF
BUILDING 4.5			
UNIT A.1	160 SF YARD	160 SF	-40 SF
UNIT A.2M	165 SF YARD	165 SF	-35 SF
UNIT B.1M	190 SF YARD, 50 SF DECK	240 SF	
UNIT B.2	194 SF YARD, 50 SF DECK	244 SF	
BUILDING 4.6			
UNIT A.1	200 SF YARD	200 SF	
UNIT A.2M	226 SF YARD	226 SF	
UNIT B.1M	229 SF YARD, 50 SF DECK	279 SF	
UNIT B.2	226 SF YARD, 50 SF DECK	276 SF	
BUILDING 4.7			
UNIT A.1	200 SF YARD	200 SF	
UNIT A.2M	215 SF YARD	215 SF	
UNIT B.1M	229 SF YARD, 50 SF DECK	279 SF	
UNIT B.2	240 SF YARD, 50 SF DECK	290 SF	
BUILDING 4.8			
UNIT A.1	212 SF YARD	212 SF	
UNIT A.2M	213 SF YARD	213 SF	
UNIT B.1M	234 SF YARD, 50 SF DECK	284 SF	
UNIT B.2	265 SF YARD, 50 SF DECK	315 SF	

BUILDING	PRIVATE USABLE SPACE	TOTAL	SHORTAGE
BUILDING 5.1			
UNIT A.1	530 SF YARD	530 SF	
UNIT A.2	448 SF YARD	448 SF	
UNIT A.1M	252 SF YARD	252 SF	
UNIT B.1	550 SF YARD, 50 SF DECK	600 SF	
UNIT B.1M	170 SF YARD, 50 SF DECK	220 SF	
BUILDING 5.2			
UNIT A.1	76 SF YARD	76 SF	-124 SF
UNIT A.2	76 SF YARD	76 SF	-124 SF
UNIT A.1M	76 SF YARD	76 SF	-124 SF
UNIT B.1	100 SF YARD, 50 SF DECK	150 SF	-50 SF
UNIT B.1M	105 SF YARD, 50 SF DECK	155 SF	-45 SF
BUILDING 5.3			
UNIT A.1	76 SF YARD	76 SF	-124 SF
UNIT A.2	76 SF YARD	76 SF	-124 SF
UNIT A.1M	76 SF YARD	76 SF	-124 SF
UNIT B.1	100 SF YARD, 50 SF DECK	150 SF	-50 SF
UNIT B.1M	105 SF YARD, 50 SF DECK	155 SF	-45 SF
BUILDING 5.5			
UNIT A.1	225 SF YARD	225 SF	
UNIT A.2	265 SF YARD	265 SF	
UNIT A.1M	285 SF YARD	285 SF	
UNIT B.1	265 SF YARD, 50 SF DECK	315 SF	
UNIT B.1M	254 SF YARD, 50 SF DECK	304 SF	
BUILDING 5.6			
UNIT A.1	218 SF YARD	218 SF	
UNIT A.2	212 SF YARD	212 SF	
UNIT A.1M	219 SF YARD	219 SF	
UNIT B.1	218 SF YARD, 50 SF DECK	268 SF	
UNIT B.1M	238 SF YARD, 50 SF DECK	358 SF	

BUILDING	PRIVATE USABLE SPACE	TOTAL	SHORTAGE
BUILDING 2.1			
UNIT C.1	0 SF YARD, 268 SF DECK	100 SF	-100 SF
UNIT C.1M	0 SF YARD, 268 SF DECK	100 SF	-100 SF
BUILDING 2.2			
UNIT C.1	478 SF YARD, 270 SF DECK	578 SF	
UNIT C.1M	555 SF YARD, 270 SF DECK	655 SF	
BUILDING 2.3			
UNIT C.1	0 SF YARD, 268 SF DECK	100 SF	-100 SF
UNIT C.1M	183 SF YARD, 270 SF DECK	283 SF	
BUILDING 2.4			
UNIT C.1	410 SF YARD, 270 SF DECK	510 SF	
UNIT C.1M	108 SF YARD, 270 SF DECK	208 SF	
BUILDING 2.5			
UNIT A.1	200 SF YARD	200 SF	
UNIT B.2	229 SF YARD, 50 SF DECK	279 SF	

REQUIRED PRIVATE USABLE SPACE:
67 UNITS X 200 SF PER UNIT = 13,400 SF

PROPOSED PRIVATE USABLE SPACE:
PRIVATE OPEN SPACE = VARIES (SEE OPEN SPACE DIAGRAM)

COMMON USABLE SPACE REQUIRED
FOR PRIVATE USABLE SPACE SHORTAGE = 1,633 SF

COMMON USABLE SPACE PROVIDED = 3,862 SF

REQUIRED MAIN ENTRY PORCH AREA:
67 UNITS X 40 SF PER UNIT = **2,680 SF**

PROPOSED MAIN ENTRY PORCH AREA:
67 UNITS X 40 SF PER UNIT = **2,680 SF**

COMMON & PRIVATE USABLE SPACE KEY

PER BMC 20.28.140.D USABLE SPACE, OPEN SPACE AND LANDSCAPING

- PRIVATE USABLE SPACE: LEVEL ONE YARD
- PRIVATE USABLE SPACE: LEVEL ONE COVERED ENTRY
- PRIVATE USABLE SPACE: LEVEL TWO UNCOVERED DECK
- PRIVATE USABLE SPACE: LEVEL TWO COVERED DECK
- CONSOLIDATED COMMON USABLE AREA
- OPEN SPACE DEDICATION (16,404 SF)
- GARBAGE/RECYCLING CONSOLIDATED AREAS
- CLUSTER PRELIMINARY PLAT OPEN SPACE

OPEN SPACE CALCULATION

A MINIMUM OF 30% OF THE SITE AREA SHALL BE OPEN SPACE; CONSISTING OF LANDSCAPING OR PERMEABLE MATERIALS

SITE AREA: 179,793 SF

REQUIRED SITE OPEN SPACE:
179,793 X .3 = **53,938 SF REQUIRED**

PROPOSED SITE OPEN SPACE:
179,793 SF SITE AREA
- 58,440 SF BUILDING FOOTPRINTS
- 33,896 SF DRIVE AISLE
- 12,708 SF SIDEWALKS
- 7,353 SF DRIVEWAYS
67,396 SF PROPOSED

CLUSTER PRELIMINARY PLAT OPEN SPACE CALCULATION

PER BMC 23.08.060 A MINIMUM OF 15 PERCENT OF THE SITE SHALL BE RESERVED FOR OPEN SPACE THAT (A) PRESERVES SIGNIFICANT NATURAL FEATURES INCLUDING, BUT NOT LIMITED TO, CRITICAL AREAS AND ASSOCIATED BUFFERS OR MATURE STANDS OF TREES, AND/OR (B) CREATES RECREATIONAL OPEN SPACE WITH AMENITIES.

SITE AREA: 179,793 SF X .15 = **26,969 SF REQUIRED**

+16,404 SF *(OPEN SPACE DEDICATION)*
+10,298 SF *(SEE OPEN AREA DIAGRAM)*
+ 1,340 SF *(SEE OPEN AREA DIAGRAM)*
28,042 SF PROPOSED

PARKING CALCULATION

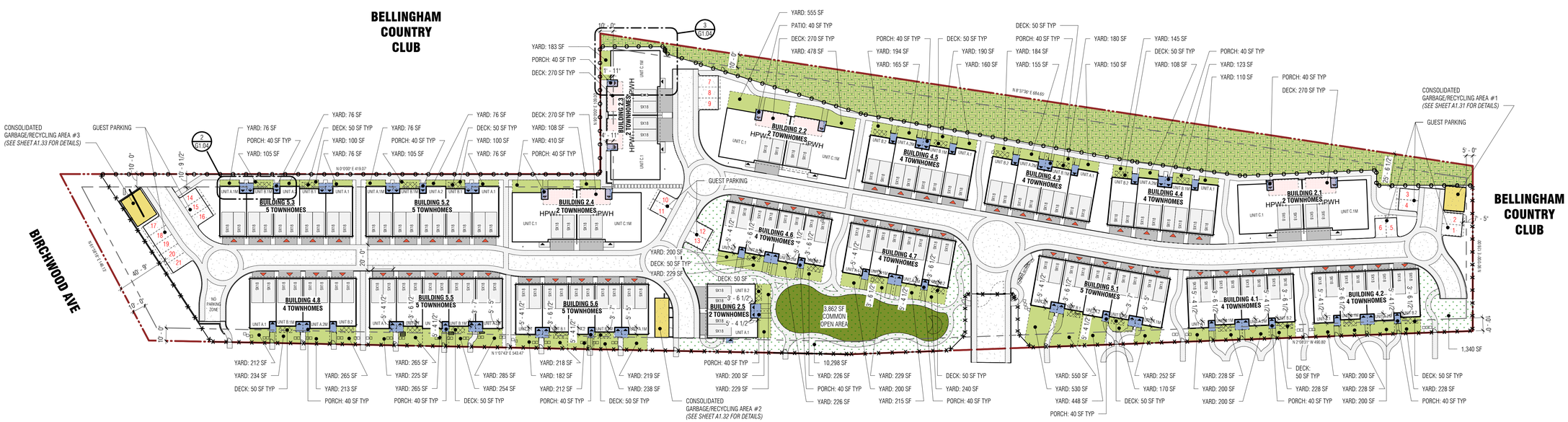
PER BMC 20.28.050.H PARKING

REQUIRED UNIT PARKING STALLS (2 PER TOWNHOUSE)	=	134 (67 UNITS X 2 STALLS/UNIT)
PROPOSED UNIT PARKING STALLS (IN TOWNHOUSE GARAGE)	**=**	**134**
REQUIRED GUEST PARKING STALLS	=	N/A
PROPOSED GUEST PARKING STALLS	**=**	**21**

BUILDING MODULATION

BUILDINGS MUST BE MODULATED ALONG THE PUBLIC STREET AT LEAST EVERY 30'. BUILDING MODULATIONS MUST STEP THE BUILDING WALL BACK OR FORWARD AT LEAST 4' OR AT LEAST 2' WHEN ARCHITECTURAL DETAILING IS USED TO CLEARLY DELINEATE THE INDIVIDUALITY OF EACH UNIT.

SEE G1.04 OPEN AREAS & PARKING DIAGRAM FOR DIMENSIONS



1 OPEN AREAS & PARKING DIAGRAM

1" = 40'-0"

0' 20' 40' 80' 160'

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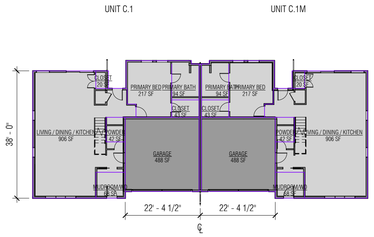
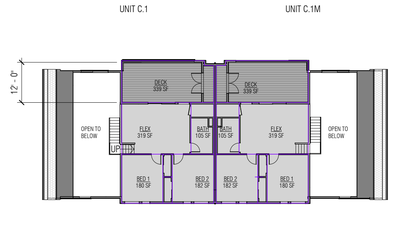
CODE DIAGRAMS - OPEN, COMMON & PRIVATE SPACE

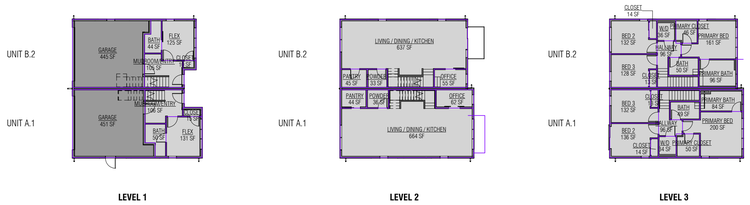
SHEET NO.:

G1.04

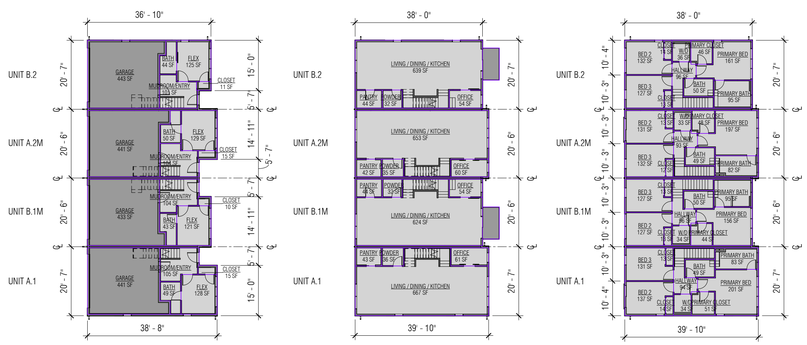




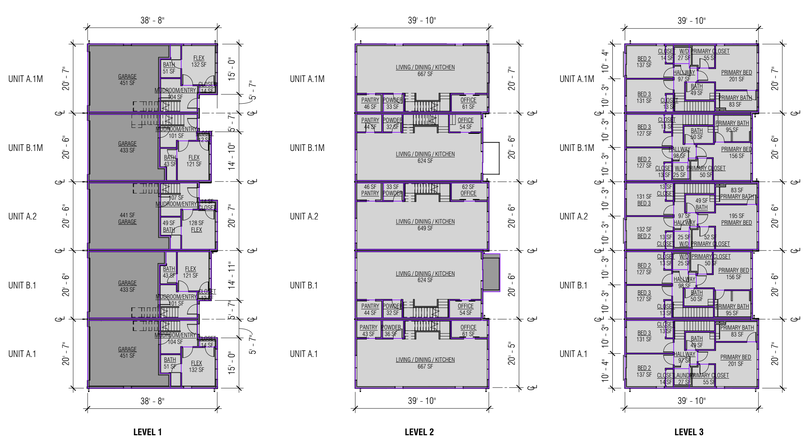
TYPICAL BUILDING PATIO HOME



TYPICAL BUILDING 2-PACK



TYPICAL BUILDING 4-PACK



TYPICAL BUILDING 5-PACK

BLDG PATIO HOME

UNIT	LEVEL	NAME	AREA
C.1	LEVEL 1	CLOSET	43 SF
C.1	LEVEL 1	CLOSET	20 SF
C.1	LEVEL 1	LIVING / DINING / KITCHEN	906 SF
C.1	LEVEL 1	MUDROOM/WD	68 SF
C.1	LEVEL 1	POWDER	42 SF
C.1	LEVEL 1	PRIMARY BATH	94 SF
C.1	LEVEL 1	PRIMARY BED	217 SF
			1,389 SF
C.1	LEVEL 2	BATH	105 SF
C.1	LEVEL 2	BED 1	180 SF
C.1	LEVEL 2	BED 2	182 SF
C.1	LEVEL 2	CLOSET	19 SF
C.1	LEVEL 2	CLOSET	22 SF
C.1	LEVEL 2	FLEX	319 SF
			826 SF
TOTAL UNIT C.1 GSF			2,215 SF
C.1M	LEVEL 1	CLOSET	43 SF
C.1M	LEVEL 1	CLOSET	20 SF
C.1M	LEVEL 1	LIVING / DINING / KITCHEN	906 SF
C.1M	LEVEL 1	MUDROOM/WD	68 SF
C.1M	LEVEL 1	POWDER	42 SF
C.1M	LEVEL 1	PRIMARY BATH	94 SF
C.1M	LEVEL 1	PRIMARY BED	217 SF
			1,389 SF
C.1M	LEVEL 2	BATH	105 SF
C.1M	LEVEL 2	BED 1	180 SF
C.1M	LEVEL 2	BED 2	182 SF
C.1M	LEVEL 2	CLOSET	41 SF
C.1M	LEVEL 2	CLOSET	Redundant Area
C.1M	LEVEL 2	FLEX	319 SF
			826 SF
TOTAL UNIT C.1M GSF			2,215 SF
TOTAL PATIO HOME GSF			4,430 SF

BLDG 2-PACK

UNIT	LEVEL	NAME	AREA
A.1	LEVEL 1	BATH	50 SF
A.1	LEVEL 1	FLEX	131 SF
A.1	LEVEL 1	MUDROOM/ENTRY	106 SF
A.1	LEVEL 1	CLOSET	15 SF
			303 SF
A.1	LEVEL 2	LIVING / DINING / KITCHEN	664 SF
A.1	LEVEL 2	PANTRY	44 SF
A.1	LEVEL 2	POWDER	36 SF
A.1	LEVEL 2	OFFICE	62 SF
			807 SF
A.1	LEVEL 3	BED 2	136 SF
A.1	LEVEL 3	BED 3	132 SF
A.1	LEVEL 3	W/D	34 SF
A.1	LEVEL 3	CLOSET	14 SF
A.1	LEVEL 3	CLOSET	13 SF
A.1	LEVEL 3	PRIMARY CLOSET	50 SF
A.1	LEVEL 3	PRIMARY BED	200 SF
A.1	LEVEL 3	BATH	49 SF
A.1	LEVEL 3	PRIMARY BATH	84 SF
A.1	LEVEL 3	HALLWAY	96 SF
			807 SF
TOTAL UNIT A.1 GSF			1,916 SF
B.2	LEVEL 1	BATH	44 SF
B.2	LEVEL 1	FLEX	125 SF
B.2	LEVEL 1	MUDROOM/ENTRY	105 SF
B.2	LEVEL 1	CLOSET	10 SF
			285 SF
B.2	LEVEL 2	LIVING / DINING / KITCHEN	637 SF
B.2	LEVEL 2	PANTRY	45 SF
B.2	LEVEL 2	POWDER	33 SF
B.2	LEVEL 2	OFFICE	55 SF
			770 SF
B.2	LEVEL 3	BED 2	132 SF
B.2	LEVEL 3	BED 3	128 SF
B.2	LEVEL 3	W/D	36 SF
B.2	LEVEL 3	CLOSET	14 SF
B.2	LEVEL 3	CLOSET	13 SF
B.2	LEVEL 3	PRIMARY CLOSET	46 SF
B.2	LEVEL 3	PRIMARY BED	161 SF
B.2	LEVEL 3	BATH	50 SF
B.2	LEVEL 3	PRIMARY BATH	96 SF
B.2	LEVEL 3	HALLWAY	96 SF
			773 SF
TOTAL UNIT B.2 GSF			1,827 SF
TOTAL 2-PACK GSF			3,744 SF

BLDG 4-PACK

UNIT	LEVEL	NAME	AREA
A.1	LEVEL 1	BATH	49 SF
A.1	LEVEL 1	FLEX	128 SF
A.1	LEVEL 1	MUDROOM/ENTRY	105 SF
A.1	LEVEL 1	CLOSET	15 SF
			298 SF
A.1	LEVEL 2	LIVING / DINING / KITCHEN	667 SF
A.1	LEVEL 2	PANTRY	43 SF
A.1	LEVEL 2	POWDER	36 SF
A.1	LEVEL 2	OFFICE	61 SF
			807 SF
A.1	LEVEL 3	BED 2	137 SF
A.1	LEVEL 3	BED 3	131 SF
A.1	LEVEL 3	W/D	34 SF
A.1	LEVEL 3	CLOSET	14 SF
A.1	LEVEL 3	CLOSET	13 SF
A.1	LEVEL 3	BATH	49 SF
A.1	LEVEL 3	PRIMARY CLOSET	51 SF
A.1	LEVEL 3	PRIMARY BED	201 SF
A.1	LEVEL 3	PRIMARY BATH	83 SF
A.1	LEVEL 3	HALLWAY	94 SF
			807 SF
TOTAL UNIT A.1 GSF			1,911 SF
A.2M	LEVEL 1	BATH	50 SF
A.2M	LEVEL 1	FLEX	129 SF
A.2M	LEVEL 1	MUDROOM/ENTRY	104 SF
A.2M	LEVEL 1	CLOSET	15 SF
			297 SF
A.2M	LEVEL 2	LIVING / DINING / KITCHEN	653 SF
A.2M	LEVEL 2	PANTRY	42 SF
A.2M	LEVEL 2	POWDER	35 SF
A.2M	LEVEL 2	OFFICE	60 SF
			790 SF
A.2M	LEVEL 3	BED 2	131 SF
A.2M	LEVEL 3	BED 3	132 SF
A.2M	LEVEL 3	W/D	33 SF
A.2M	LEVEL 3	CLOSET	13 SF
A.2M	LEVEL 3	CLOSET	12 SF
A.2M	LEVEL 3	BATH	49 SF
A.2M	LEVEL 3	PRIMARY CLOSET	48 SF
A.2M	LEVEL 3	PRIMARY BED	197 SF
A.2M	LEVEL 3	PRIMARY BATH	82 SF
A.2M	LEVEL 3	HALLWAY	93 SF
			790 SF
TOTAL UNIT A.2M GSF			1,877 SF
B.1M	LEVEL 1	BATH	43 SF
B.1M	LEVEL 1	FLEX	121 SF
B.1M	LEVEL 1	MUDROOM/ENTRY	104 SF
B.1M	LEVEL 1	CLOSET	10 SF
			279 SF
B.1M	LEVEL 2	LIVING / DINING / KITCHEN	624 SF
B.1M	LEVEL 2	PANTRY	44 SF
B.1M	LEVEL 2	POWDER	32 SF
B.1M	LEVEL 2	OFFICE	54 SF
			754 SF
B.1M	LEVEL 3	BED 2	127 SF
B.1M	LEVEL 3	BED 3	127 SF
B.1M	LEVEL 3	W/D	34 SF
B.1M	LEVEL 3	CLOSET	13 SF
B.1M	LEVEL 3	CLOSET	13 SF
B.1M	LEVEL 3	BATH	50 SF
B.1M	LEVEL 3	PRIMARY CLOSET	44 SF
B.1M	LEVEL 3	PRIMARY BED	156 SF
B.1M	LEVEL 3	PRIMARY BATH	95 SF
B.1M	LEVEL 3	HALLWAY	96 SF
			754 SF
TOTAL UNIT B.1M GSF			1,786 SF
B.2	LEVEL 1	BATH	44 SF
B.2	LEVEL 1	FLEX	125 SF
B.2	LEVEL 1	MUDROOM/ENTRY	101 SF
B.2	LEVEL 1	CLOSET	11 SF
			282 SF
B.2	LEVEL 2	LIVING / DINING / KITCHEN	639 SF
B.2	LEVEL 2	PANTRY	44 SF
B.2	LEVEL 2	POWDER	32 SF
B.2	LEVEL 2	OFFICE	54 SF
			770 SF
B.2	LEVEL 3	BED 2	132 SF
B.2	LEVEL 3	BED 3	127 SF
B.2	LEVEL 3	W/D	36 SF
B.2	LEVEL 3	CLOSET	14 SF
B.2	LEVEL 3	CLOSET	13 SF
B.2	LEVEL 3	BATH	50 SF
B.2	LEVEL 3	PRIMARY CLOSET	46 SF
B.2	LEVEL 3	PRIMARY BED	161 SF
B.2	LEVEL 3	PRIMARY BATH	95 SF
B.2	LEVEL 3	HALLWAY	96 SF
			770 SF
TOTAL UNIT B.2 GSF			1,821 SF
TOTAL 4-PACK GSF			7,395 SF

BLDG 5-PACK

UNIT	LEVEL	NAME	AREA
A.1	LEVEL 1	BATH	51 SF
A.1	LEVEL 1	FLEX	132 SF
A.1	LEVEL 1	MUDROOM/ENTRY	104 SF
A.1	LEVEL 1	CLOSET	14 SF
			301 SF
A.1	LEVEL 2	LIVING / DINING / KITCHEN	667 SF
A.1	LEVEL 2	PANTRY	43 SF
A.1	LEVEL 2	POWDER	36 SF
A.1	LEVEL 2	OFFICE	61 SF
			807 SF
A.1	LEVEL 3	BED 2	137 SF
A.1	LEVEL 3	BED 3	131 SF
A.1	LEVEL 3	LAUNDRY	27 SF
A.1	LEVEL 3	CLOSET	14 SF
A.1	LEVEL 3	CLOSET	13 SF
A.1	LEVEL 3	BATH	49 SF
A.1	LEVEL 3	PRIMARY CLOSET	55 SF
A.1	LEVEL 3	PRIMARY BED	201 SF
A.1	LEVEL 3	PRIMARY BATH	83 SF
A.1	LEVEL 3	HALLWAY	97 SF
			807 SF
TOTAL UNIT A.1 GSF			1,914 SF
A.1M	LEVEL 1	BATH	51 SF
A.1M	LEVEL 1	FLEX	132 SF
A.1M	LEVEL 1	MUDROOM/ENTRY	104 SF
A.1M	LEVEL 1	CLOSET	14 SF
			301 SF
A.1M	LEVEL 2	LIVING / DINING / KITCHEN	667 SF
A.1M	LEVEL 2	PANTRY	46 SF
A.1M	LEVEL 2	POWDER	33 SF
A.1M	LEVEL 2	OFFICE	61 SF
			807 SF
A.1M	LEVEL 3	BED 2	137 SF
A.1M	LEVEL 3	BED 3	131 SF
A.1M	LEVEL 3	W/D	27 SF
A.1M	LEVEL 3	CLOSET	14 SF
A.1M	LEVEL 3	CLOSET	13 SF
A.1M	LEVEL 3	BATH	49 SF
A.1M	LEVEL 3	PRIMARY CLOSET	55 SF
A.1M	LEVEL 3	PRIMARY BED	201 SF
A.1M	LEVEL 3	PRIMARY BATH	83 SF
A.1M	LEVEL 3	HALLWAY	97 SF
			807 SF
TOTAL UNIT A.1M GSF			1,914 SF
A.2	LEVEL 1	BATH	49 SF
A.2	LEVEL 1	FLEX	128 SF
A.2	LEVEL 1	MUDROOM/ENTRY	107 SF
A.2	LEVEL 1	CLOSET	14 SF
			298 SF
A.2	LEVEL 2	LIVING / DINING / KITCHEN	649 SF
A.2	LEVEL 2	PANTRY	46 SF
A.2	LEVEL 2	POWDER	33 SF
A.2	LEVEL 2	OFFICE	62 SF
			790 SF
A.2	LEVEL 3	BED 2	132 SF
A.2	LEVEL 3	BED 3	131 SF
A.2	LEVEL 3	W/D	25 SF
A.2	LEVEL 3	CLOSET	13 SF
A.2	LEVEL 3	CLOSET	13 SF
A.2	LEVEL 3	BATH	49 SF
A.2	LEVEL 3	PRIMARY CLOSET	52 SF
A.2	LEVEL 3	PRIMARY BED	195 SF
A.2	LEVEL 3	PRIMARY BATH	83 SF
A.2	LEVEL 3	HALLWAY	97 SF
			790 SF
TOTAL UNIT A.2 GSF			1,878 SF

BLDG 5-PACK

UNIT	LEVEL	NAME	AREA
B.1	LEVEL 1	BATH	43 SF
B.1	LEVEL 1	FLEX	121 SF
B.1	LEVEL 1	MUDROOM/ENTRY	101 SF
B.1	LEVEL 1	CLOSET	12 SF
			276 SF
B.1	LEVEL 2	LIVING / DINING / KITCHEN	624 SF
B.1	LEVEL 2	PANTRY	44 SF
B.1	LEVEL 2	POWDER	32 SF
B.1	LEVEL 2	OFFICE	54 SF
			754 SF
B.1	LEVEL 3	BED 2	127 SF
B.1	LEVEL 3	BED 3	127 SF
B.1	LEVEL 3	W/D	25 SF
B.1	LEVEL 3	CLOSET	13 SF
B.1	LEVEL 3	CLOSET	13 SF
B.1	LEVEL 3	BATH	50 SF
B.1	LEVEL 3	PRIMARY CLOSET	50 SF
B.1	LEVEL 3	PRIMARY BED	156 SF
B.1	LEVEL 3	PRIMARY BATH	95 SF
B.1	LEVEL 3	HALLWAY	98 SF
			754 SF
TOTAL UNIT B.1 GSF			1,784 SF
B.1M	LEVEL 1	BATH	43 SF
B.1M	LEVEL 1	FLEX	121 SF
B.1M	LEVEL 1	MUDROOM/ENTRY	101 SF
B.1M	LEVEL 1	CLOSET	12 SF
			276 SF
B.1M	LEVEL 2	LIVING / DINING / KITCHEN	624 SF
B.1M	LEVEL 2	PANTRY	44 SF
B.1M	LEVEL 2	POWDER	32 SF
B.1M	LEVEL 2	OFFICE	54 SF
			754 SF
B.1M	LEVEL 3	BED 2	127 SF
B.1M	LEVEL 3	BED 3	127 SF
B.1M	LEVEL 3	W/D	25 SF
B.1M	LEVEL 3	CLOSET	13 SF
B.1M	LEVEL 3	CLOSET	13 SF
B.1M	LEVEL 3	BATH	50 SF
B.1M	LEVEL 3	PRIMARY CLOSET	50 SF
B.1M	LEVEL 3	PRIMARY BED	156 SF
B.1M	LEVEL 3	PRIMARY BATH	95 SF
B.1M	LEVEL 3	HALLWAY	98 SF
			754 SF
TOTAL UNIT B.1M GSF			1,784 SF
TOTAL 5-PACK GSF			9,273 SF

LEGEND

PROPOSED CONDITIONED SPACE

PROPOSED UNCONDITIONED SPACE

BLDG PATIO HOME

UNIT	LEVEL	AREA
C.1	LEVEL 1	1,389 SF
C.1	LEVEL 2	826 SF
		2,215 SF
C.1M	LEVEL 1	1,389 SF
C.1M	LEVEL 2	826 SF
		2,215 SF
TOTAL PATIO HOME GSF		4,430 SF

BLDG 2-PACK

UNIT	LEVEL	AREA
A.1	LEVEL 1	303 SF
A.1	LEVEL 2	807 SF
A.1	LEVEL 3	807 SF
		1,916 SF
B.2	LEVEL 1	285 SF
B.2	LEVEL 2	770 SF
B.2	LEVEL 3	773 SF
		1,827 SF
TOTAL 2-PACK GSF		3,744 SF

BLDG 4-PACK

UNIT	LEVEL	AREA
A.1	LEVEL 1	298 SF
A.1	LEVEL 2	807 SF
A.1	LEVEL 3	807 SF
		1,911 SF
A.2M	LEVEL 1	297 SF
A.2M	LEVEL 2	790 SF
A.2M	LEVEL 3	790 SF
		1,877 SF
B.1M	LEVEL 1	279 SF
B.1M	LEVEL 2	754 SF
B.1M	LEVEL 3	754 SF
		1,786 SF
B.2	LEVEL 1	282 SF
B.2	LEVEL 2	770 SF
B.2	LEVEL 3	770 SF
		1,821 SF
TOTAL 4-PACK GSF		7,395 SF

BLDG 5-PACK

UNIT	LEVEL	AREA
A.1	LEVEL 1	301 SF
A.1	LEVEL 2	807 SF
A.1	LEVEL 3	807 SF
		1,914 SF
A.1M	LEVEL 1	301 SF
A.1M	LEVEL 2	807 SF
A.1M	LEVEL 3	807 SF
		1,914 SF
A.2	LEVEL 1	298 SF
A.2	LEVEL 2	790 SF
A.2	LEVEL 3	790 SF
		1,878 SF
B.1	LEVEL 1	276 SF
B.1	LEVEL 2	754 SF
B.1	LEVEL 3	754 SF
		1,784 SF
B.1M	LEVEL 1	276 SF
B.1M	LEVEL 2	754 SF
B.1M	LEVEL 3	754 SF
		1,784 SF
TOTAL 5-PACK GSF		9,273 SF

FAR CALCULATION SUMMARY

PER BMC 20.28.140.C BULK AND MASSING

TOTAL FAR PERMITTED	***0.75***
LOT AREA	179,130 SF
PERMITTED GROSS FLOOR AREA	179,130 SF X 0.75 = ***134,347 SF***
PROPOSED GROSS FLOOR AREA	**126,989 SF**
PROPOSED FLOOR AREA RATIO	126,989 / 179,130 SF = **0.71**

1. FLOOR AREA RATIO (FAR) IS CALCULATED AS THE GROSS SQUARE FOOTAGE OF USABLE SPACE IN A BUILDING, EXCLUDING STRUCTURED PARKING, MECHANICAL EQUIPMENT ROOMS AND ELEVATOR SHAFTS, DIVIDED BY LOT AREA. UNHEATED AREA THAT IS WITHIN OR COVERED BY A STRUCTURE OR PORTION OF A STRUCTURE SHALL BE EXCLUDED IN GROSS FLOOR AREA CALCULATION (GARAGE, EXTERIOR DECK, PORCH ETC.)
2. PER BMC DEFINITION OF GROSS FLOOR AREA. THE GROSS FLOOR AREA DIMENSIONS PROVIDED ARE MEASURED TO THE OUTSIDE FACE OF STUDS OF THE EXTERIOR WALLS

GROSS FLOOR AREA

BUILDING	WHOLE BUILDING GSF (HEATED AREA)	QUANTITY	TOTAL
2 PACK A-B	3,744 SF	1	3,744 SF
4 PACK A-B-A-B	7,395 SF	8	59,160 SF
5 PACK A-B-A-B-A	9,273 SF	5	46,365 SF
PATIO HOME C-C	4,430 SF	4	17,720 SF
TOTAL SITE GROSS FLOOR AREA			**126,989 SF**

Board & Vellum
ARCHITECTURE AND DESIGN
115 15th Ave E. Suite 100 Seattle, WA 98112
info@boardandvellum.com | 206.707.8895

9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM TOWNHOMES

PROJECT ADDRESS:
3,609 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER:
STREAM REAL ESTATE

REVISION	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
7/29/2022	LAND USE APPLICATION
1/13/2023	LAND USE APP RESUBMITTAL
4/14/2023	LAND USE APP RESUBMITTAL

COPYRIGHT BOARD AND VELLUM LLC. ALL RIGHTS RESERVED.
ORIGINAL SHEET SIZE IS 24"x36"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

FAR CALCULATION

SHEET NO.:

G1.05

PROJECT INFORMATION

ASSESSOR PARCEL NO: APN 380213 546133 000

LEGAL DESCRIPTION: PER CHICAGO TITLE COMPANY ORDER NO. 245444100 UPDATE #3 COMMITMENT DATE: SEPTEMBER 27, 2022.

LOT 2, AS DELINEATED ON BG & CC SHORT PLAT, ACCORDING TO THE PLAT THEREOF, RECORDED UNDER AUDITOR'S FILE NO. 2022-0800206, RECORDS OF WHATCOM COUNTY, WASHINGTON.

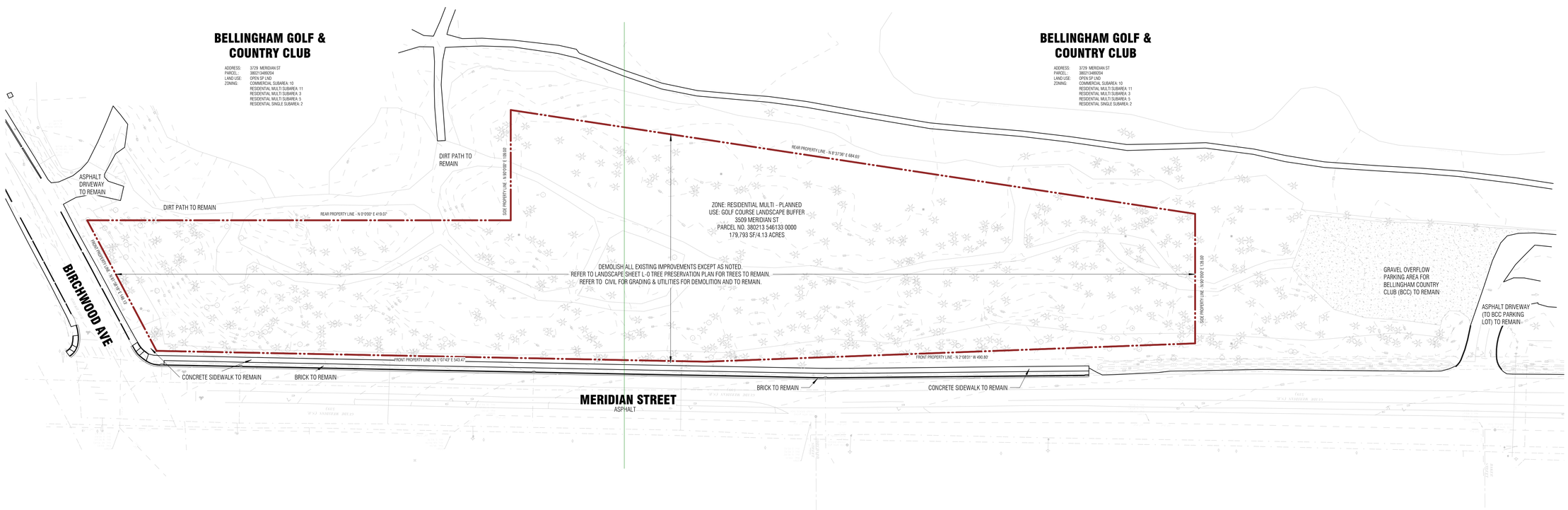
SITUATE IN WHATCOM COUNTY, WASHINGTON.

DEMO SITE PLAN KEY

PROPERTY LINE

GENERAL NOTES - SITE PLAN

1. SITE INFORMATION CONTAINED HEREIN IS BASED ON A SURVEY BY LAND DEVELOPMENT ENGINEERING & SURVEYING, DATED 02/02/2022, GATHERED BY FIELD TRAVERSE UTILIZING ELECTRONIC DATA COLLECTION IN APRIL, MAY, & OCTOBER, 2021.
2. INSTALLATION OF EROSION CONTROL MEASURES IS REQUIRED PRIOR TO ANY GROUND DISTURBANCE PER CIVIL DRAWINGS.
3. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A 'FIRST GROUND DISTURBANCE INSPECTION' AFTER THE BUILDING PERMIT IS ISSUED TO MEET WITH THE SITE INSPECTOR.
4. REFER TO CIVIL FOR ALL WORK PROPOSED IN THE RIGHT OF WAY.
5. REFER TO LANDSCAPE FOR TREE PRESERVATION AND RETENTION PLAN.



1 **DEMOLITION SITE PLAN**
1" = 50'-0"

0' 25' 50' 100' 200'

Board & Vellum
ARCHITECTURE AND DESIGN
115 15th Ave E. Suite 100 Seattle, WA 98112
info@boardandvellum.com | 206.707.8895

9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM - SITE

PROJECT ADDRESS: 3509 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER: STREAM REAL ESTATE

REVISION	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
7/29/2022	LAND USE APPLICATION
1/13/2023	LAND USE APP RESUBMITTAL
4/14/2023	LAND USE APP RESUBMITTAL

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ORIGINAL SHEET SIZE IS 22"x34"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

DEMOLITION SITE PLAN

SHEET NO.:

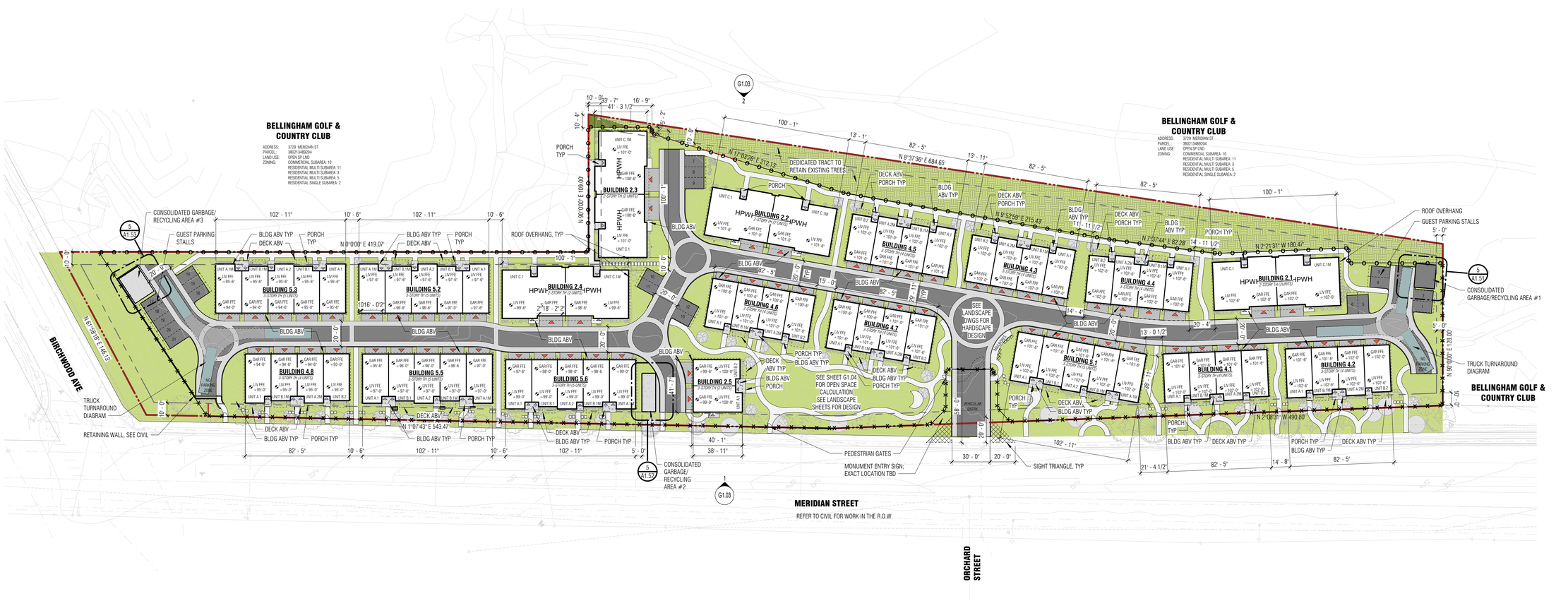
A1.01

GENERAL NOTES - SITE PLAN

1. SITE INFORMATION CONTAINED HEREIN IS BASED ON A SURVEY BY LAND DEVELOPMENT ENGINEERING & SURVEYING, DATED 02/02/2022, GATHERED BY FIELD TRAVERSE UTILIZING ELECTRONIC DATA COLLECTION IN APRIL, MAY, & OCTOBER, 2021.
2. INSTALLATION OF EROSION CONTROL MEASURES IS REQUIRED PRIOR TO ANY GROUND DISTURBANCE PER CIVIL DRAWINGS.
3. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A "FIRST GROUND DISTURBANCE INSPECTION" AFTER THE BUILDING PERMIT IS ISSUED TO MEET WITH THE SITE INSPECTOR.
4. REFER TO CIVIL FOR ALL WORK PROPOSED IN THE RIGHT OF WAY.
5. REFER TO LANDSCAPE FOR TREE PRESERVATION AND RETENTION PLAN.

SITE PLAN KEY

- PROPERTY LINE
- LINE OF SETBACK
- 42" HIGH PERIMETER FENCE
- 60" HIGH PERIMETER FENCE
- BUILDING/ROOF OVERHANG
- CONCRETE PEDESTRIAN WALKWAY
- PERMEABLE PAVEMENT
- CONCRETE DRIVEWAY
- DEDICATED OPEN SPACE TRACT
- BUILDING ENTRY
- GARAGE ENTRY



1 **PROPOSED ARCHITECTURAL SITE PLAN**
1" = 40'-0"

Board & Vellum
ARCHITECTURE AND DESIGN
115 15th Ave E. Suite 100 Seattle, WA 98112
info@boardandvellum.com | 206.707.8895

9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM - SITE

PROJECT ADDRESS:
3309 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER:
STREAM REAL ESTATE

REVISION	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
7/29/2022	LAND USE APPLICATION
1/13/2023	LAND USE APP RESUBMITTAL
4/14/2023	LAND USE APP RESUBMITTAL

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ORIGINAL SHEET SIZE IS 22"x34"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

SITE PLAN

SHEET NO.:

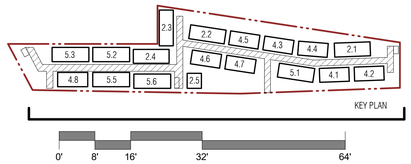
A1.11

1 **EAST SITE ELEVATION - NORTH**
1/16" = 1'-0"

2 **EAST SITE ELEVATION - CENTRAL**
1/16" = 1'-0"

3 **EAST SITE ELEVATION - SOUTH**
1/16" = 1'-0"

4 **EAST SITE ELEVATION - OVERALL**
1" = 40'-0"



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9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM - SITE

PROJECT ADDRESS:
3309 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER:
STREAM REAL ESTATE

REVISION	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
7/29/2022	LAND USE APPLICATION
1/13/2023	LAND USE APP RESUBMITTAL
4/14/2023	LAND USE APP RESUBMITTAL

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ORIGINAL SHEET SIZE IS 22"x34"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

SITE ELEVATIONS

SHEET NO.:

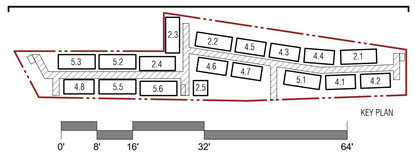
A1.31

1 **WEST SITE ELEVATION - NORTH**
1/16" = 1'-0"

2 **WEST SITE ELEVATION - CENTRAL**
1/16" = 1'-0"

3 **WEST SITE ELEVATION - SOUTH**
1/16" = 1'-0"

4 **WEST SITE ELEVATION - OVERALL**
1" = 40'-0"



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PLOT DATE: 04.12.2023

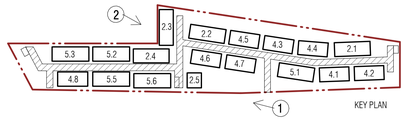
SITE ELEVATIONS

SHEET NO.:

A1.32

1 **PERSPECTIVE LOOKING SOUTH FROM DEVELOPMENT ENTRY ON MERIDIAN**

2 **PERSPECTIVE LOOKING SOUTH FROM GOLF COURSE TOWARD BLDGS 2.3 AND 2.4**



KEY PLAN

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SITE PERSPECTIVES

SHEET NO.:

A1.41

1 **PERSPECTIVE AT 5-HOME BUILDINGS FRONTING MERIDIAN AVENUE**

2 **PERSPECTIVE AT 4-HOME BUILDINGS FRONTING MERIDIAN AVENUE**

3 **PERSPECTIVE AT 4-HOME BUILDINGS FRONTING GOLF COURSE**

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PLOT DATE: 04.12.2023

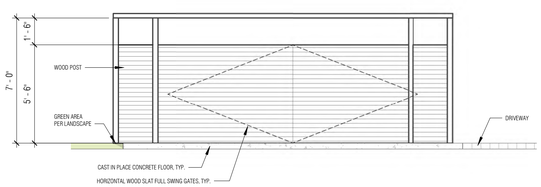
SITE PERSPECTIVES

SHEET NO.:

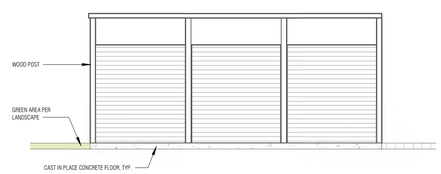
A1.42

SOLID WASTE ENCLOSURE			
LOCATION	CAPACITY	BUILDING	NO. OF UNITS
CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #1	2-YD GARBAGE 3-YD GARBAGE 4-YD CARDBOARD 5 90 GAL PAPER 5 90 GAL BOTTLE / CAN 3 60 GAL F+	2.1, 4.1, 4.2, 4.3, 4.4, 5.1	23
CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #2	4-YD GARBAGE 4-YD CARDBOARD 4 90 GAL PAPER 4 90 GAL BOTTLE / CAN 3 60 GAL F+	2.2, 2.3, 2.5, 4.5, 4.6, 4.7	18
CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #3	3-YD GARBAGE 3-YD GARBAGE 3-YD CARDBOARD 6 90 GAL PAPER 6 90 GAL BOTTLE / CAN 4 60 GAL F+	2.4, 5.2, 5.3, 5.4, 5.5, 5.6	27
			68 (TOTAL)

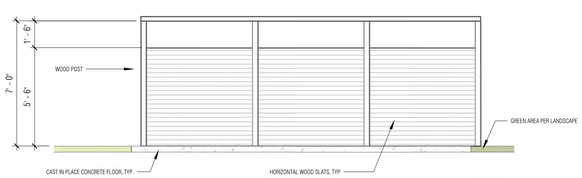
NOTE:
REFER TO SITE PLAN A1.11 FOR BUILDING NUMBER DESIGNATION.



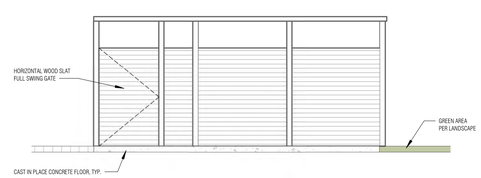
1 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #1 - W ELEVATION**
1/4" = 1'-0"



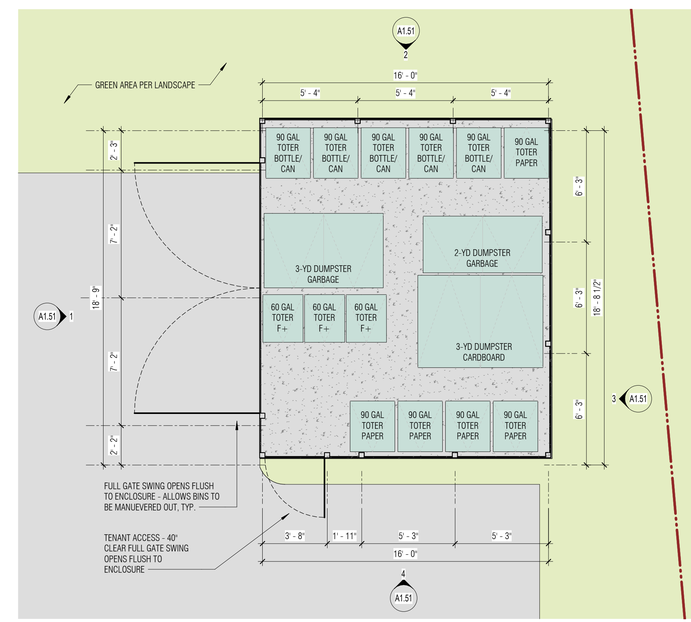
2 **CONSOLIDATED GARBAGE/RECYCLINGENCLOSURE #1 - N ELEVATION**
1/4" = 1'-0"



3 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #1 - E ELEVATION**
1/4" = 1'-0"



4 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #1 - S ELEVATION**
1/4" = 1'-0"



5 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #1**
1/4" = 1'-0"

KEY PLAN

0' 2' 4' 8' 16'

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9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM - SITE

PROJECT ADDRESS:
3309 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER:
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ORIGINAL SHEET SIZE IS 22"x34"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

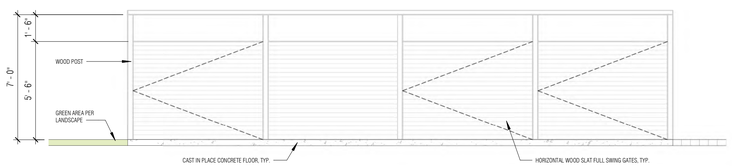
CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #1

SHEET NO.:

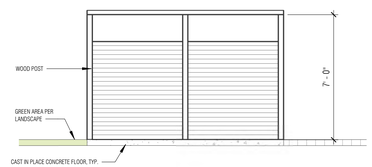
A1.51

SOLID WASTE ENCLOSURE			
LOCATION	CAPACITY	BUILDING	NO. OF UNITS
CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #1	2-YD GARBAGE 3-YD GARBAGE 4-YD CARDBOARD 5 90 GAL PAPER 5 90 GAL BOTTLE / CAN 3 60 GAL F+	2.1, 4.1, 4.2, 4.3, 4.4, 5.1	23
CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #2	4-YD GARBAGE 4-YD CARDBOARD 4 90 GAL PAPER 4 90 GAL BOTTLE / CAN 3 60 GAL F+	2.2, 2.3, 2.5, 4.5, 4.6, 4.7	18
CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #3	3-YD GARBAGE 3-YD GARBAGE 3-YD CARDBOARD 6 90 GAL PAPER 6 90 GAL BOTTLE / CAN 4 60 GAL F+	2.4, 5.2, 5.3, 5.4, 5.5, 5.6	27
			68 (TOTAL)

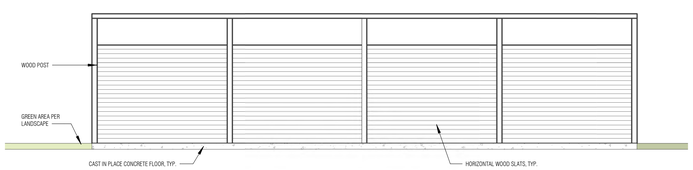
NOTE:
REFER TO SITE PLAN A1.11 FOR BUILDING NUMBER DESIGNATION.



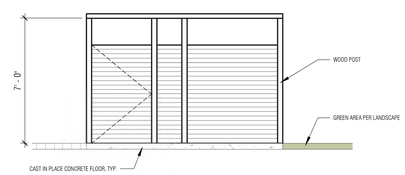
1 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #2 - E ELEVATION**
1/4" = 1'-0"



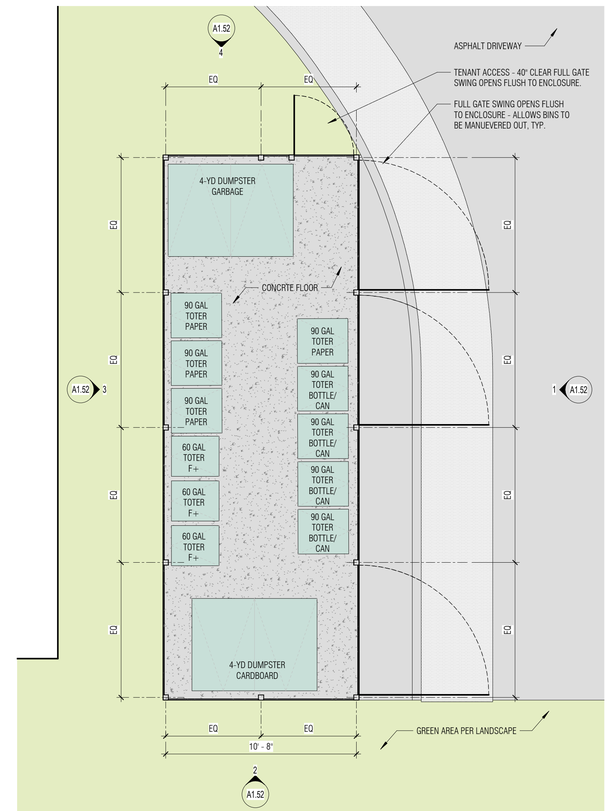
2 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #2 - S ELEVATION**
1/4" = 1'-0"



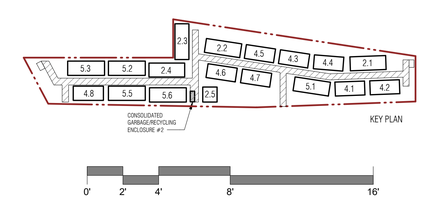
3 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #2 - W ELEVATION**
1/4" = 1'-0"



4 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #2 - N ELEVATION**
1/4" = 1'-0"



5 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #2**
1/4" = 1'-0"



0' 2' 4' 8' 16'

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9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM - SITE

PROJECT ADDRESS:
3.509 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER:
STREAM REAL ESTATE

REVISION	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
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4/14/2023	LAND USE APP RESUBMITTAL

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ORIGINAL SHEET SIZE IS 22"x34"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023
CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #2

SHEET NO.:
A1.52

SOLID WASTE ENCLOSURE			
LOCATION	CAPACITY	BUILDING	NO. OF UNITS
CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #1	2-YD GARBAGE 3-YD GARBAGE 4-YD CARDBOARD 5 90 GAL PAPER 5 90 GAL BOTTLE / CAN 3 60 GAL F+	2.1, 4.1, 4.2, 4.3, 4.4, 5.1	23
CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #2	4-YD GARBAGE 4-YD CARDBOARD 4 90 GAL PAPER 4 90 GAL BOTTLE / CAN 3 60 GAL F+	2.2, 2.3, 2.5, 4.5, 4.6, 4.7	18
CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #3	3-YD GARBAGE 3-YD GARBAGE 3-YD CARDBOARD 6 90 GAL PAPER 6 90 GAL BOTTLE / CAN 4 60 GAL F+	2.4, 5.2, 5.3, 5.4, 5.5, 5.6	27
			68 (TOTAL)

NOTE:
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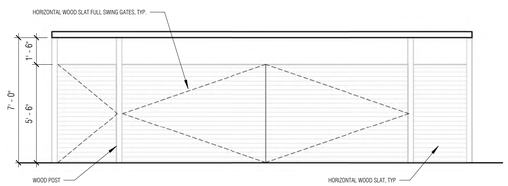
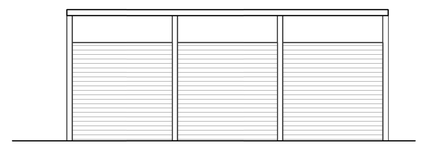
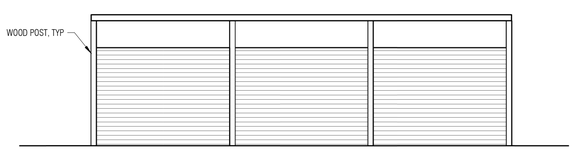


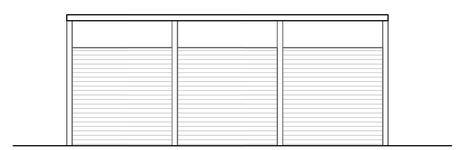
1 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #3 - NE ELEVATION**
1/4" = 1'-0"



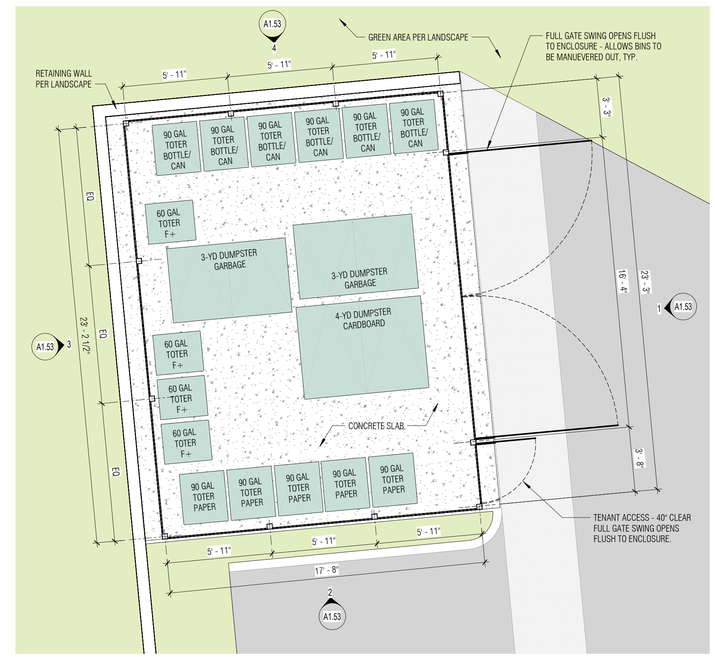
2 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #3 - E ELEVATION**
1/4" = 1'-0"



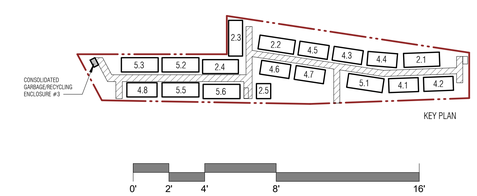
3 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #3 - W ELEVATION**
1/4" = 1'-0"



4 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #3- N ELEVATION**
1/4" = 1'-0"



5 **CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #3**
1/4" = 1'-0"



KEY PLAN

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CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM - SITE

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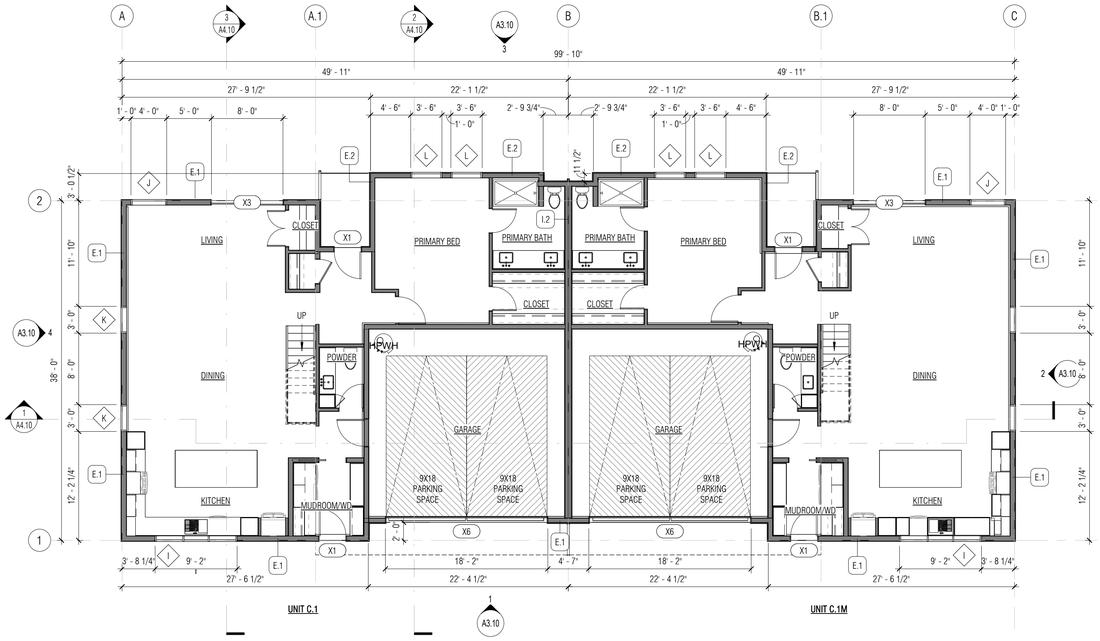
CONSOLIDATED GARBAGE/RECYCLING ENCLOSURE #3

SHEET NO.:

A1.53



2 2-PACK TOWNHOUSE (C-C) FLOOR PLAN - LEVEL 1

1/8" = 1'-0"

GENERAL NOTES - FLOOR PLANS

1. ALL INTERIOR WALLS ARE I.0 UNO. PROVIDE 3-1/2" SOUND INSULATION IN COMMON PARTY WALLS.
2. ALL EXTERIOR WALLS ARE E.1 UNO.
3. ALL EXTERIOR DIMENSIONS ARE MEASURED FROM GRID LINE TO GRID LINE OR FACE OF FRAMING. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD.
4. GRIDS ARE ALIGNED WITH THE EXTERIOR FACE OF FRAMING AT EXTERIOR WALLS AND ALIGNED WITH THE CENTER OF THE PARTY WALLS.
5. DIMENSIONS AT POSTS ARE TO CENTERLINES UNO - VERIFY ALL STRUCTURAL LOCATIONS WITH FRAMING PLANS
6. WINDOW DIMENSIONS ARE GIVEN AS NOMINAL MEASUREMENTS.
7. DOOR ROUGH OPENINGS ARE 4" OFF STUD FACE OF PERP. WALL (TO HINGED SIDE OF THE DOOR) UNO
8. ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH
9. SEE GENERAL SHEETS FOR CODE, DIMENSIONING AND GENERAL NOTES
10. SEE SHEETS A5.11 TO A5.14 FOR ENLARGED 1/4" = 1'-0" PLANS

FLOOR PLAN KEY

- WALL
- CONC. WALL
- 1-HR RATED WALL
- 1-HR RATED FLOOR OR ROOF AREA
- STRIP VENT
- SOLAR READY ZONE

KEY PLAN

0' 2' 4' 8' 16'

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CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM TOWNHOMES

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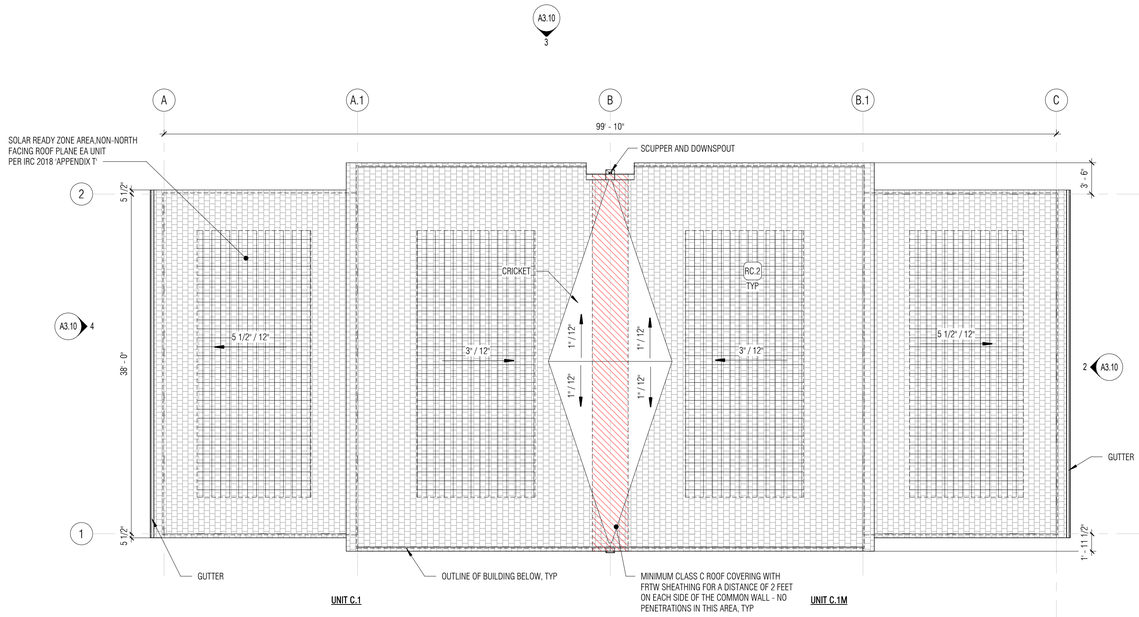
FLOOR PLANS - FDN & FIRST FLOOR - 2-PACK TH "C-C" UNITS

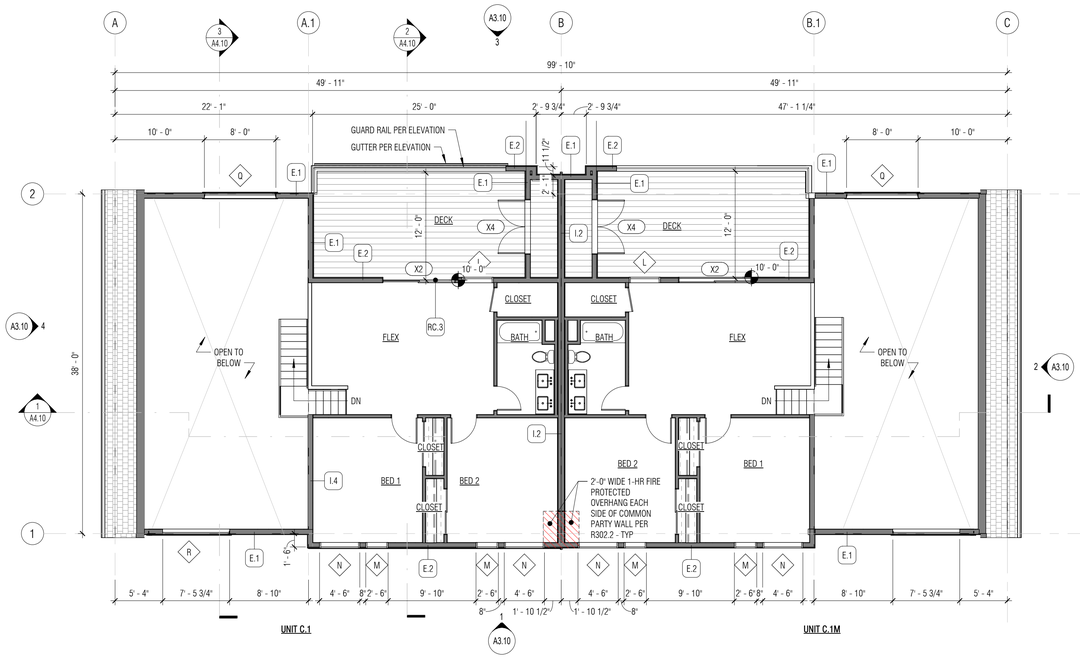
SHEET NO.:

A2.10



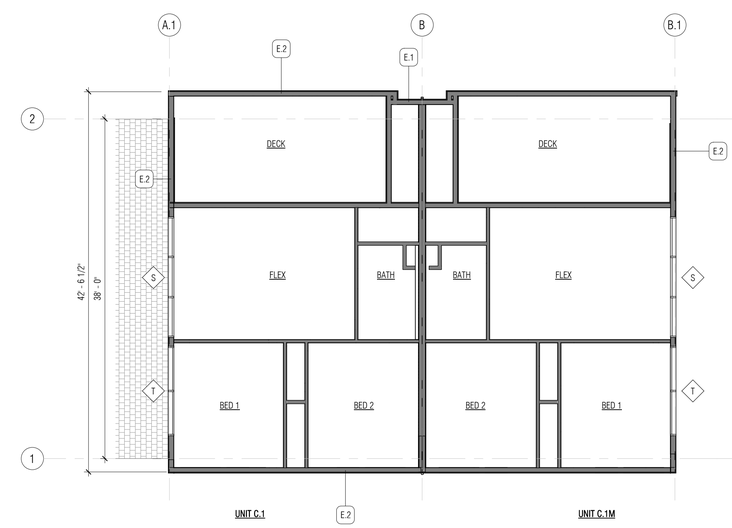
2 2-PACK TOWNHOUSE (C-C) ROOF PLAN

1/8" = 1'-0"



1 2-PACK TOWNHOUSE (C-C) FLOOR PLAN - LEVEL 2

1/8" = 1'-0"



3 2-PACK TOWNHOUSE (C-C) PARTIAL LEVEL 2 PLAN

1/8" = 1'-0"

GENERAL NOTES - FLOOR PLANS

1. ALL INTERIOR WALLS ARE I.0 UNO. PROVIDE 3-1/2" SOUND INSULATION IN COMMON PARTY WALLS.
2. ALL EXTERIOR WALLS ARE E.1 UNO.
3. ALL EXTERIOR DIMENSIONS ARE MEASURED FROM GRID LINE TO GRID LINE OR FACE OF FRAMING. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD.
4. GRIDS ARE ALIGNED WITH THE EXTERIOR FACE OF FRAMING AT EXTERIOR WALLS AND ALIGNED WITH THE CENTER OF THE PARTY WALLS.
5. DIMENSIONS AT POSTS ARE TO CENTERLINES UNO - VERIFY ALL STRUCTURAL LOCATIONS WITH FRAMING PLANS
6. WINDOW DIMENSIONS ARE GIVEN AS NOMINAL MEASUREMENTS.
7. DOOR ROUGH OPENINGS ARE 4" OFF STUD FACE OF PERP. WALL (TO HINGED SIDE OF THE DOOR) UNO
8. ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH
9. SEE GENERAL SHEETS FOR CODE, DIMENSIONING AND GENERAL NOTES
10. SEE SHEETS A5.11 TO A5.14 FOR ENLARGED 1/4" = 1'-0" PLANS

FLOOR PLAN KEY

- WALL
- CONC. WALL
- 1-HR RATED WALL
- 1-HR RATED FLOOR OR ROOF AREA
- STRIP VENT
- SOLAR READY ZONE

Board & Vellum
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info@boardandvellum.com | 206.707.8895

9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM TOWNHOMES

PROJECT ADDRESS:
3309 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER:
STREAM REAL ESTATE

REVISION	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
7/29/2022	LAND USE APPLICATION
1/13/2023	LAND USE APP RESUBMITTAL
4/14/2023	LAND USE APP RESUBMITTAL

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ORIGINAL SHEET SIZE IS 24"x36"

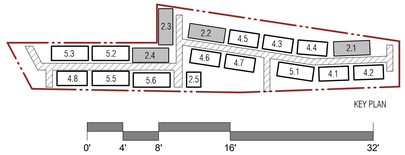
BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

FLOOR PLANS - SECOND FLOOR & ROOF - 2-PACK TH "C-C" UNITS

SHEET NO.:

A2.11



GENERAL NOTES - FLOOR PLANS

1. ALL INTERIOR WALLS ARE I.0 UNO. PROVIDE 3-1/2" SOUND INSULATION IN COMMON PARTY WALLS.
2. ALL EXTERIOR WALLS ARE E.1 UNO.
3. ALL EXTERIOR DIMENSIONS ARE MEASURED FROM GRID LINE TO GRID LINE OR FACE OF FRAMING. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD.
4. GRIDS ARE ALIGNED WITH THE EXTERIOR FACE OF FRAMING AT EXTERIOR WALLS AND ALIGNED WITH THE CENTER OF THE PARTY -WALLS.
5. DIMENSIONS AT POSTS ARE TO CENTERLINES UNO - VERIFY ALL STRUCTURAL LOCATIONS WITH FRAMING PLANS
6. WINDOW DIMENSIONS ARE GIVEN AS NOMINAL MEASUREMENTS.
7. DOOR ROUGH OPENINGS ARE 4" OFF STUD FACE OF PERP. WALL (TO HINGED SIDE OF THE DOOR) UNO
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FLOOR PLAN KEY

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- CONC. WALL
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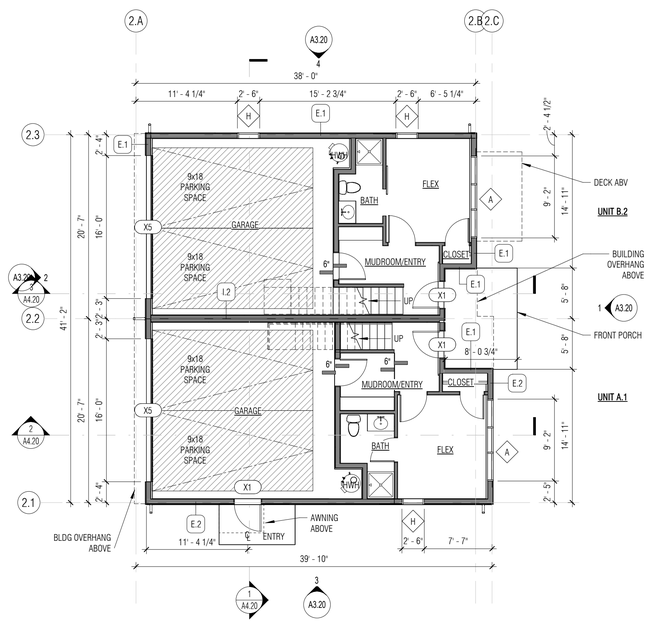
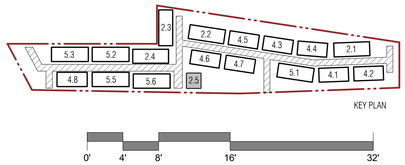
- 1-HR RATED FLOOR OR ROOF AREA
- STRIP VENT
- SOLAR READY ZONE



2 2-PACK TOWNHOUSE (A-B) FLOOR PLAN - LEVEL 1

1/8" = 1'-0"



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ORIGINAL SHEET SIZE IS 24"x36"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

FLOOR PLANS - FDN & FIRST FLOOR - 2-PACK TH "A-B" UNITS

SHEET NO.:

A2.20

ROOF VENTILATION CALCULATIONS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R806

1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW.
2. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH WITH 1/8 INCH MINIMUM TO 1/4 INCH MAXIMUM OPENINGS.
3. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, BUT MAY BE REDUCED TO 1/300, PROVIDED THAT AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
4. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM-IN-THE-WINTER SIDE OF THE CEILING.
5. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

UNIT	AREA OF VENTED ATTIC (SF)	TOTAL REQ. VENT AREA = 1/300 OF AREA	VENTS PROVIDED	NET FREE OPENING AREA PER LINEAL FOOT (SI)	AREA PROVIDED (SI)	% OF REQ'D	
A.1 / A.1M / A.2	767	368 SI	RIDGE VENT: (1) 20' LONG	10	200	50%	UPPER
			STRIP VENT: (1) 20' LONG	10	200	50%	LOWER
MIN. REQ'D NET FREE AREA		368 SI		PROVIDED NET FREE AREA	400 SI		

UNIT	AREA OF VENTED ATTIC (SF)	TOTAL REQ. VENT AREA = 1/300 OF AREA	VENTS PROVIDED	NET FREE OPENING AREA PER LINEAL FOOT (SI)	AREA PROVIDED (SI)	% OF REQ'D	
B.1 / B.1M / B.2	730	351 SI	RIDGE VENT: (1) 20' LONG	10	200	50%	UPPER
			STRIP VENT: (1) 20' LONG	10	200	50%	LOWER
MIN. REQ'D NET FREE AREA		351 SI		PROVIDED NET FREE AREA	400 SI		

UNIT NUMBER	AREA OF VENTED ATTIC SPACE (SF)	REQUIRED 1/300 (SI)
UNIT A.1 / A.1M	767 SF	368 SI
UNIT A.2	764 SF	367 SI
UNIT B.1 / B.1M	728 SF	350 SI
UNIT B.2	730 SF	351 SI

GENERAL NOTES - FLOOR PLANS

1. ALL INTERIOR WALLS ARE I.0 UNO. PROVIDE 3-1/2" SOUND INSULATION IN COMMON PARTY WALLS.
2. ALL EXTERIOR WALLS ARE E.1 UNO.
3. ALL EXTERIOR DIMENSIONS ARE MEASURED FROM GRID LINE TO GRID LINE OR FACE OF FRAMING. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD.
4. GRIDS ARE ALIGNED WITH THE EXTERIOR FACE OF FRAMING AT EXTERIOR WALLS AND ALIGNED WITH THE CENTER OF THE PARTY WALLS.
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6. WINDOW DIMENSIONS ARE GIVEN AS NOMINAL MEASUREMENTS.
7. DOOR ROUGH OPENINGS ARE 4" OFF STUD FACE OF PERP. WALL (TO HINGED SIDE OF THE DOOR) UNO
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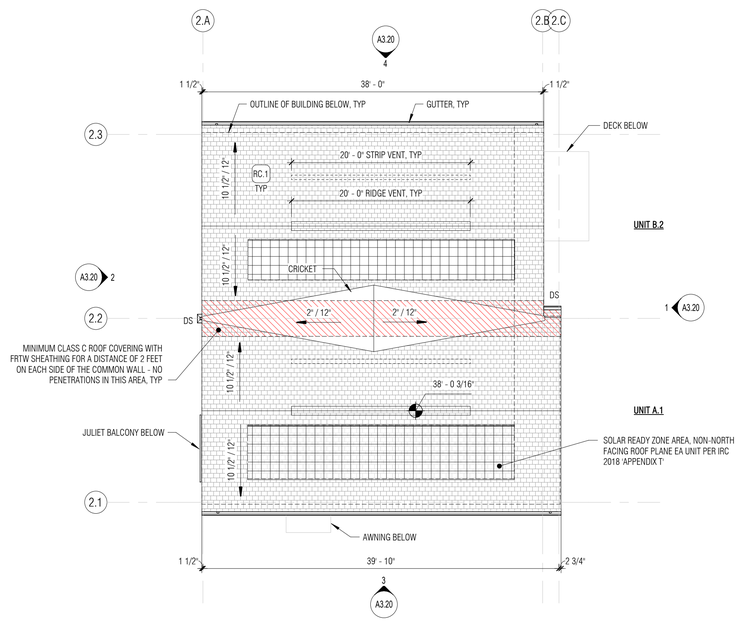
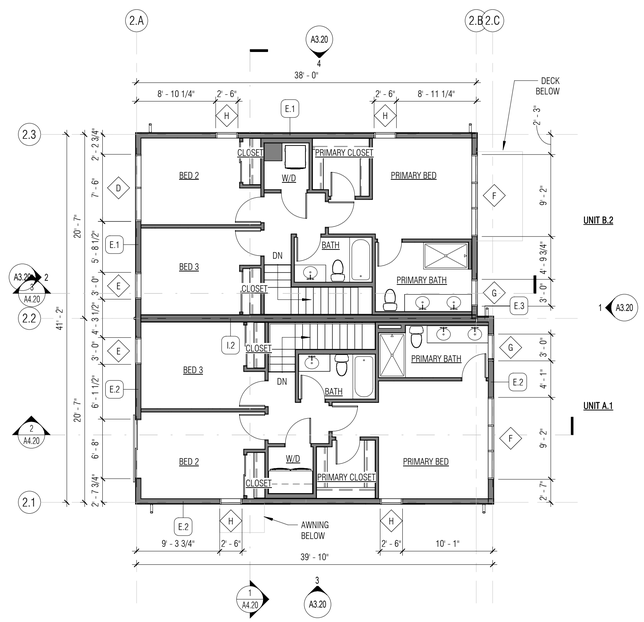
FLOOR PLAN KEY

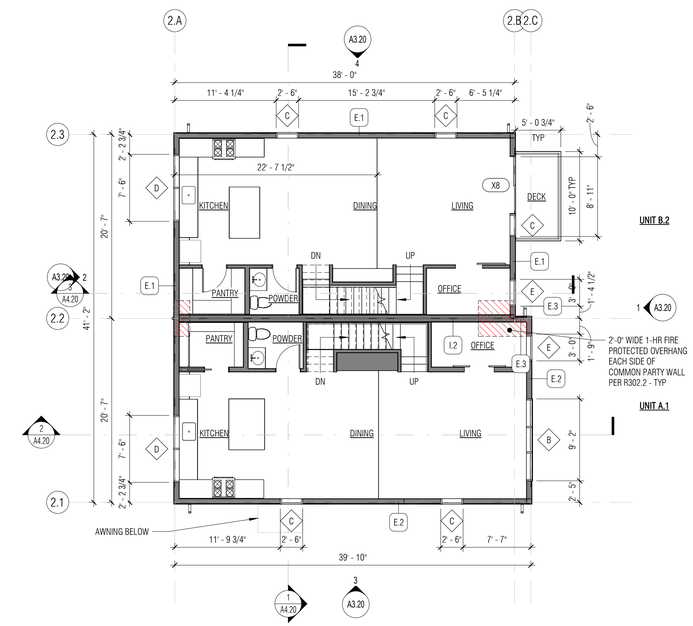
- WALL
- CONC. WALL
- 1-HR RATED WALL
- 1-HR RATED FLOOR OR ROOF AREA
- STRIP VENT
- SOLAR READY ZONE



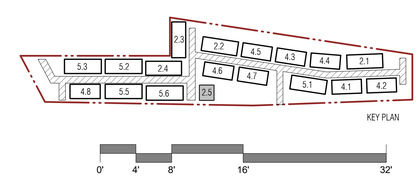
3 **2-PACK TOWNHOUSE (A-B) ROOF PLAN**
1/8" = 1'-0"



2 **2-PACK TOWNHOUSE (A-B) FLOOR PLAN - LEVEL 3**
1/8" = 1'-0"



1 **2-PACK TOWNHOUSE (A-B) FLOOR PLAN - LEVEL 2**
1/8" = 1'-0"



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ORIGINAL SHEET SIZE IS 24"x36"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

FLOOR PLANS - SECOND, THIRD FLOOR & ROOF - 2-PACK TH "A-B" UNITS

SHEET NO.:

A2.21

GENERAL NOTES - FLOOR PLANS

1. ALL INTERIOR WALLS ARE I.0 UNO. PROVIDE 3-1/2" SOUND INSULATION IN COMMON PARTY WALLS.
2. ALL EXTERIOR WALLS ARE E.1 UNO.
3. ALL EXTERIOR DIMENSIONS ARE MEASURED FROM GRID LINE TO GRID LINE OR FACE OF FRAMING. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD.
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6. WINDOW DIMENSIONS ARE GIVEN AS NOMINAL MEASUREMENTS.
7. DOOR ROUGH OPENINGS ARE 4" OFF STUD FACE OF PERP. WALL (TO HINGED SIDE OF THE DOOR) UNO
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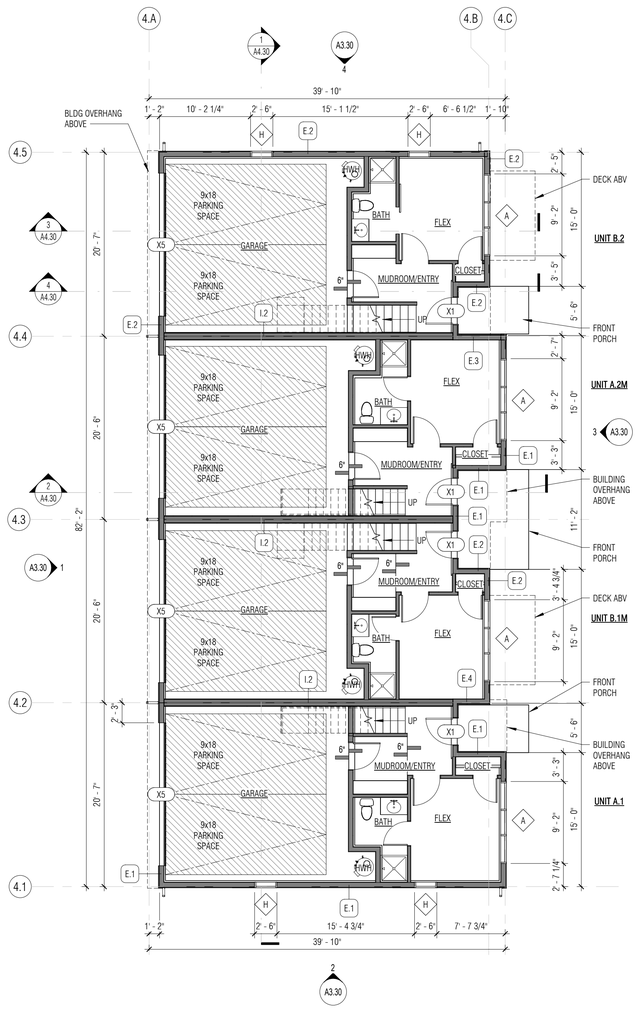
10. SEE SHEETS A5.11 TO A5.14 FOR ENLARGED 1/4" = 1'-0" PLANS

FLOOR PLAN KEY

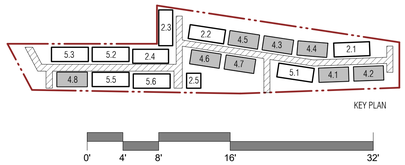
- WALL
- CONC. WALL
- 1-HR RATED WALL
- 1-HR RATED FLOOR OR ROOF AREA
- STRIP VENT
- SOLAR READY ZONE



2 **4-PACK TOWNHOUSE "A-B-A-B" FLOOR PLAN - LEVEL 1**

1/8" = 1'-0"

FLOOR PLAN - LEVEL 1 FOR BLDGS 4.2, 4.7: SEE A2.31
FLOOR PLAN - LEVEL 1 FOR BLDG 4.5: SEE A2.32



KEY PLAN

Board & Vellum
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CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM TOWNHOMES

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ORIGINAL SHEET SIZE IS 24"x36"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

FLOOR PLANS - FDN & FIRST FLR - 4-PACK TH "A-B-A-B" UNITS (4.1, 4.3, 4.4, 4.6)

SHEET NO.:

A2.30

ROOF VENTILATION CALCULATIONS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R806

1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW.
2. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH WITH 1/8 INCH MINIMUM TO 1/4 INCH MAXIMUM OPENINGS.
3. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, BUT MAY BE REDUCED TO 1/300, PROVIDED THAT AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
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UNIT	AREA OF VENTED ATTIC (SF)	TOTAL REQ. VENT AREA = 1/300 OF AREA	VENTS PROVIDED	NET FREE OPENING AREA PER LINEAL FOOT (SI)	AREA PROVIDED (SI)	% OF REQ'D	
A.1 / A.1M / A.2	767	368 SI	RIDGE VENT: (1) 20' LONG	10	200	50%	UPPER
			STRIP VENT: (1) 20' LONG	10	200	50%	LOWER
MIN. REQ'D NET FREE AREA		368 SI		PROVIDED NET FREE AREA	400 SI		

UNIT	AREA OF VENTED ATTIC (SF)	TOTAL REQ. VENT AREA = 1/300 OF AREA	VENTS PROVIDED	NET FREE OPENING AREA PER LINEAL FOOT (SI)	AREA PROVIDED (SI)	% OF REQ'D	
B.1 / B.1M / B.2	730	351 SI	RIDGE VENT: (1) 20' LONG	10	200	50%	UPPER
			STRIP VENT: (1) 20' LONG	10	200	50%	LOWER
MIN. REQ'D NET FREE AREA		351 SI		PROVIDED NET FREE AREA	400 SI		

UNIT NUMBER	AREA OF VENTED ATTIC SPACE (SF)	REQUIRED 1/300 (SI)
UNIT A.1 / A.1M	767 SF	368 SI
UNIT A.2	764 SF	367 SI
UNIT B.1 / B.1M	728 SF	350 SI
UNIT B.2	730 SF	351 SI

GENERAL NOTES - FLOOR PLANS

1. ALL INTERIOR WALLS ARE I.0 UNO. PROVIDE 3-1/2" SOUND INSULATION IN COMMON PARTY WALLS.
2. ALL EXTERIOR WALLS ARE E.1 UNO.
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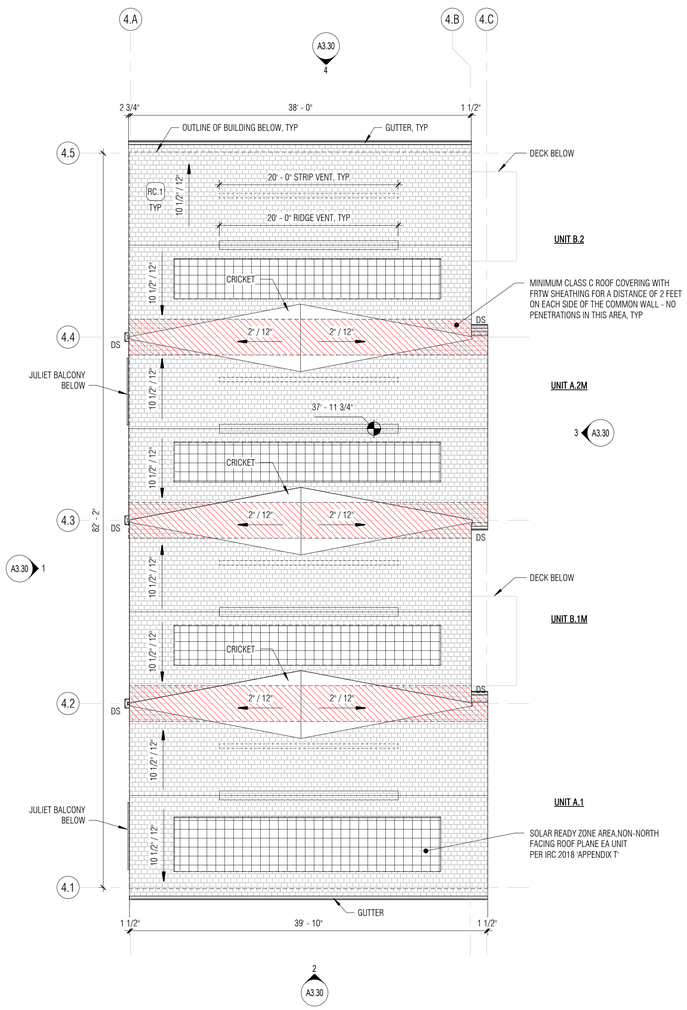
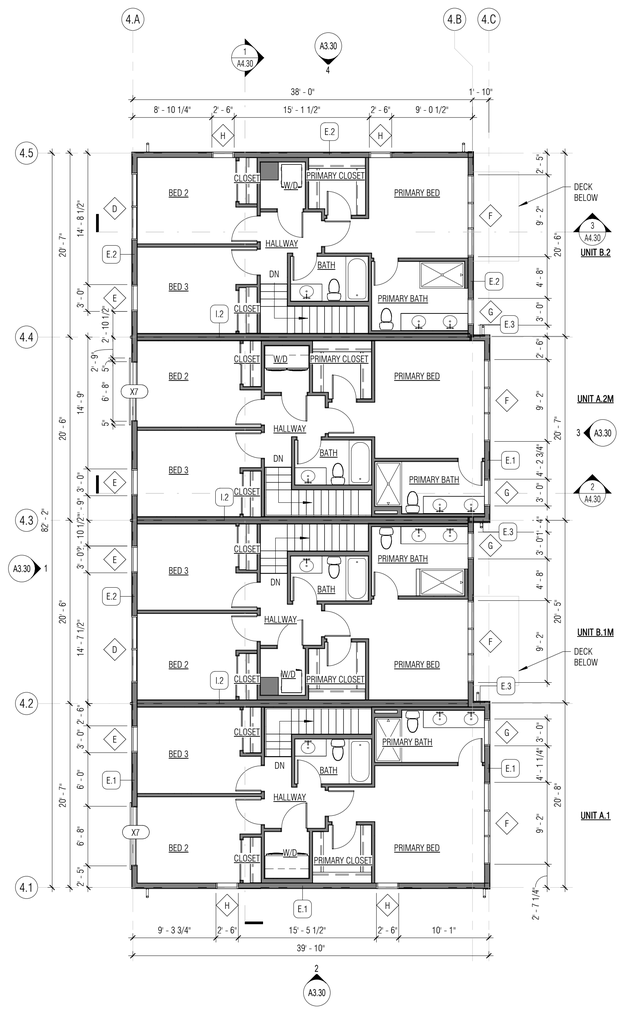
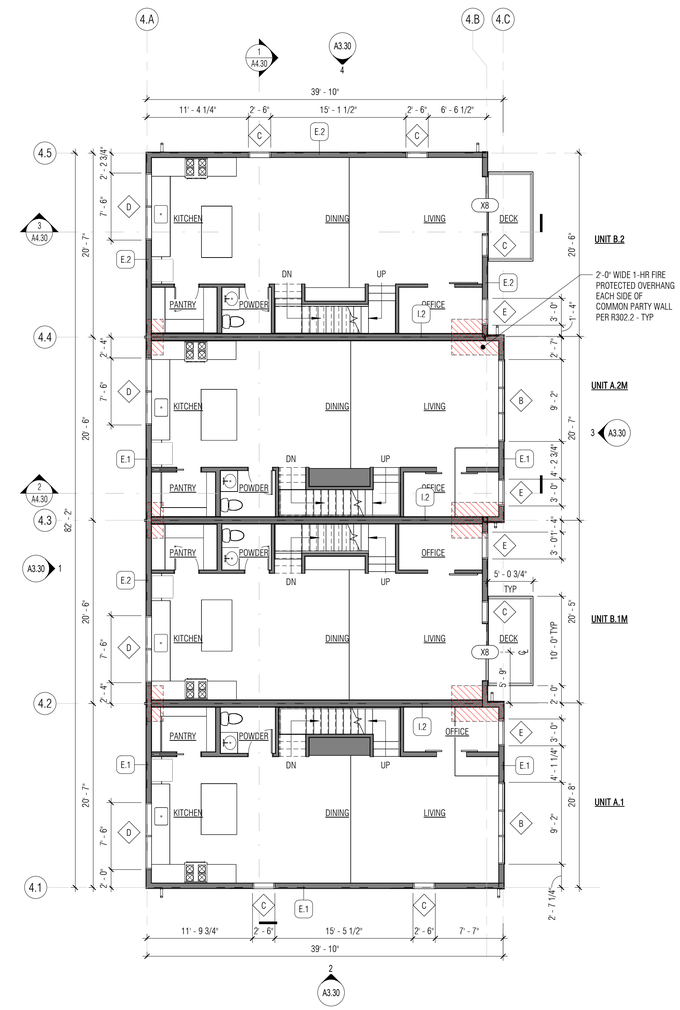


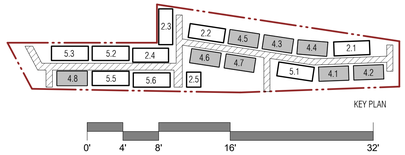
3 **4-PACK TOWNHOUSE "A-B-A-B" ROOF PLAN**
1/8" = 1'-0"



2 **4-PACK TOWNHOUSE "A-B-A-B" FLOOR PLAN - LEVEL 3**
1/8" = 1'-0"



1 **4-PACK TOWNHOUSE "A-B-A-B" FLOOR PLAN - LEVEL 2**
1/8" = 1'-0"



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FLOOR PLANS - SECOND, THIRD FLOOR & ROOF - 4-PACK TH "A-B-A-B" UNITS

SHEET NO.:

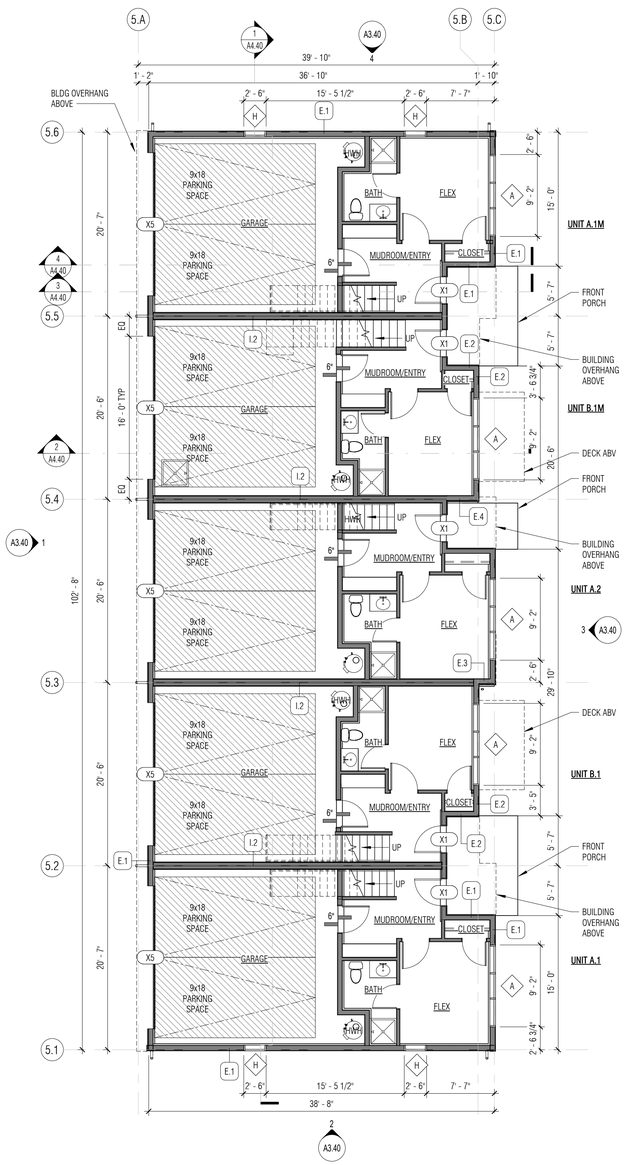
A2.33

GENERAL NOTES - FLOOR PLANS

1. ALL INTERIOR WALLS ARE I.0 UNO. PROVIDE 3-1/2" SOUND INSULATION IN COMMON PARTY WALLS.
2. ALL EXTERIOR WALLS ARE E.1 UNO.
3. ALL EXTERIOR DIMENSIONS ARE MEASURED FROM GRID LINE TO GRID LINE OR FACE OF FRAMING. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD.
4. GRIDS ARE ALIGNED WITH THE EXTERIOR FACE OF FRAMING AT EXTERIOR WALLS AND ALIGNED WITH THE CENTER OF THE PARTY -WALLS.
5. DIMENSIONS AT POSTS ARE TO CENTERLINES UNO - VERIFY ALL STRUCTURAL LOCATIONS WITH FRAMING PLANS
6. WINDOW DIMENSIONS ARE GIVEN AS NOMINAL MEASUREMENTS.
7. DOOR ROUGH OPENINGS ARE 4" OFF STUD FACE OF PERP. WALL (TO HINGED SIDE OF THE DOOR) UNO
8. ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH
9. SEE GENERAL SHEETS FOR CODE, DIMENSIONING AND GENERAL NOTES
10. SEE SHEETS A5.11 TO A5.14 FOR ENLARGED 1/4" = 1'-0" PLANS

FLOOR PLAN KEY

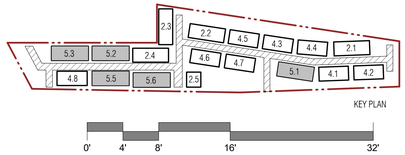
- WALL
- CONC. WALL
- 1-HR RATED WALL
- 1-HR RATED FLOOR OR ROOF AREA
- STRIP VENT
- SOLAR READY ZONE



1 **5-PACK TOWNHOUSE "A-B-A-B-A" FLOOR PLAN - LEVEL 1**

1/8" = 1'-0"

FLOOR PLAN - LEVEL 1 FOR BLDGS 5.2, 5.3: SEE A2.41
FLOOR PLAN - LEVEL 1 FOR BLDGS 5.4, 5.5, 5.6: SEE A2.42



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9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM TOWNHOMES

PROJECT ADDRESS:
3309 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER:
STREAM REAL ESTATE

REVISION	DATE	DESCRIPTION

ISSUANCES

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7/29/2022	LAND USE APPLICATION
1/13/2023	LAND USE APP RESUBMITTAL
4/14/2023	LAND USE APP RESUBMITTAL

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ORIGINAL SHEET SIZE IS 24"x36"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

FLOOR PLANS - FDN & FIRST FLR - 5-PACK TH "A-B-A-B-A" UNITS (5.1)

SHEET NO.:

A2.40

ROOF VENTILATION CALCULATIONS

REFERENCE: 2018 INTERNATIONAL RESIDENTIAL CODE SECTION R806

1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW.
2. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH WITH 1/8 INCH MINIMUM TO 1/4 INCH MAXIMUM OPENINGS.
3. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, BUT MAY BE REDUCED TO 1/300, PROVIDED THAT AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
4. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A VAPOR BARRIER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM-IN-THE-WINTER SIDE OF THE CEILING.
5. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

UNIT	AREA OF VENTED ATTIC (SF)	TOTAL REQ. VENT AREA = 1/300 OF AREA	VENTS PROVIDED	NET FREE OPENING AREA PER LINEAL FOOT (SI)	AREA PROVIDED (SI)	% OF REQ'D	
A.1 / A.1M / A.2	767	368 SI	RIDGE VENT: (1) 20' LONG	10	200	50%	UPPER
			STRIP VENT: (1) 20' LONG	10	200	50%	LOWER
MIN. REQ'D NET FREE AREA		368 SI	PROVIDED NET FREE AREA		400 SI		

UNIT	AREA OF VENTED ATTIC (SF)	TOTAL REQ. VENT AREA = 1/300 OF AREA	VENTS PROVIDED	NET FREE OPENING AREA PER LINEAL FOOT (SI)	AREA PROVIDED (SI)	% OF REQ'D	
B.1 / B.1M / B.2	730	351 SI	RIDGE VENT: (1) 20' LONG	10	200	50%	UPPER
			STRIP VENT: (1) 20' LONG	10	200	50%	LOWER
MIN. REQ'D NET FREE AREA		351 SI	PROVIDED NET FREE AREA		400 SI		

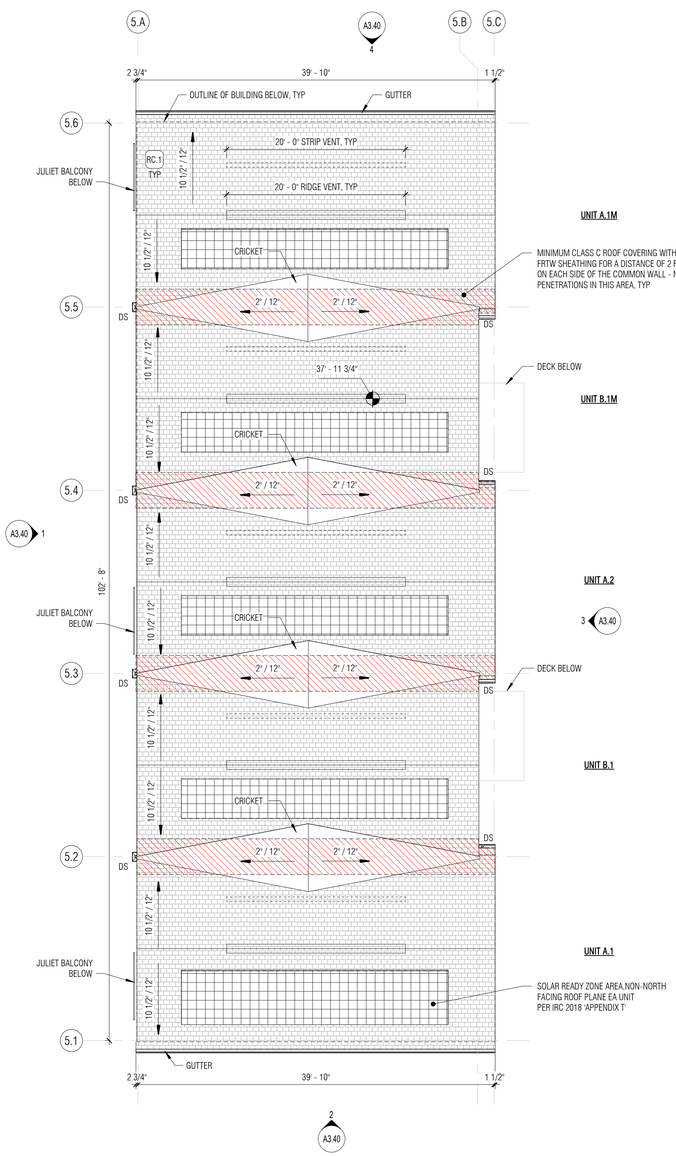
UNIT NUMBER	AREA OF VENTED ATTIC SPACE (SF)	REQUIRED 1/300 (SI)
UNIT A.1 / A.1M	767 SF	368 SI
UNIT A.2	764 SF	367 SI
UNIT B.1 / B.1M	728 SF	350 SI
UNIT B.2	730 SF	351 SI

GENERAL NOTES - FLOOR PLANS

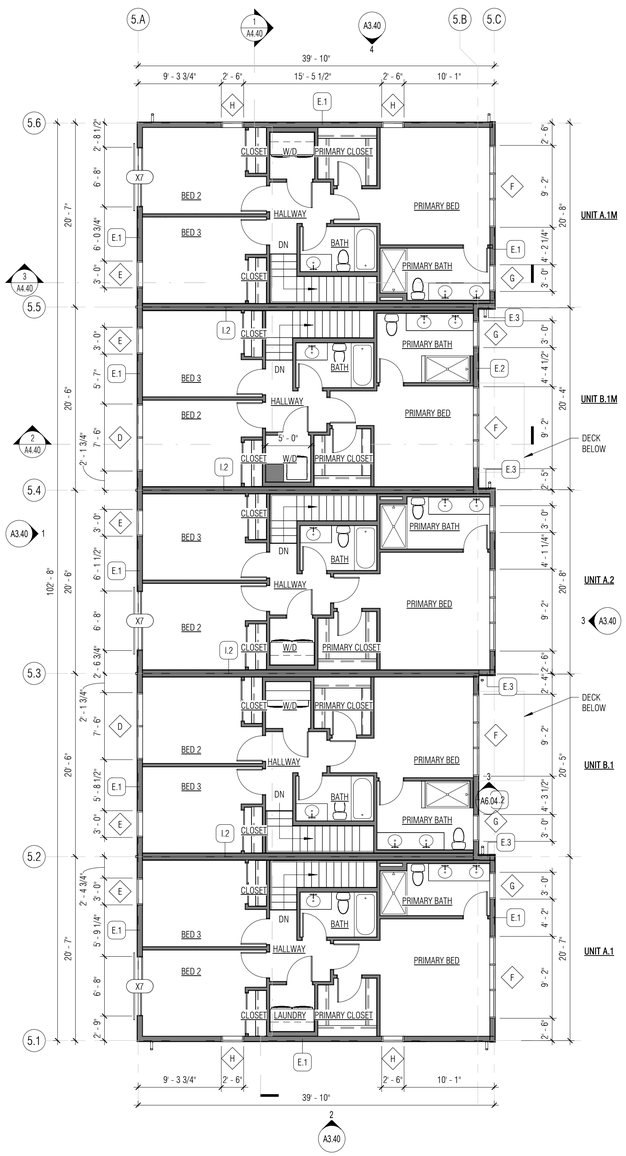
1. ALL INTERIOR WALLS ARE I.0 UNO. PROVIDE 3-1/2" SOUND INSULATION IN COMMON PARTY WALLS.
2. ALL EXTERIOR WALLS ARE E.1 UNO.
3. ALL EXTERIOR DIMENSIONS ARE MEASURED FROM GRID LINE TO GRID LINE OR FACE OF FRAMING. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD.
4. GRIDS ARE ALIGNED WITH THE EXTERIOR FACE OF FRAMING AT EXTERIOR WALLS AND ALIGNED WITH THE CENTER OF THE PARTY-WALLS.
5. DIMENSIONS AT POSTS ARE TO CENTERLINES UNO - VERIFY ALL STRUCTURAL LOCATIONS WITH FRAMING PLANS
6. WINDOW DIMENSIONS ARE GIVEN AS NOMINAL MEASUREMENTS.
7. DOOR ROUGH OPENINGS ARE 4" OFF STUD FACE OF PERP. WALL (TO HINGED SIDE OF THE DOOR) UNO
8. ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH
9. SEE GENERAL SHEETS FOR CODE, DIMENSIONING AND GENERAL NOTES
10. SEE SHEETS A5.11 TO A5.14 FOR ENLARGED 1/4" = 1'-0" PLANS

FLOOR PLAN KEY

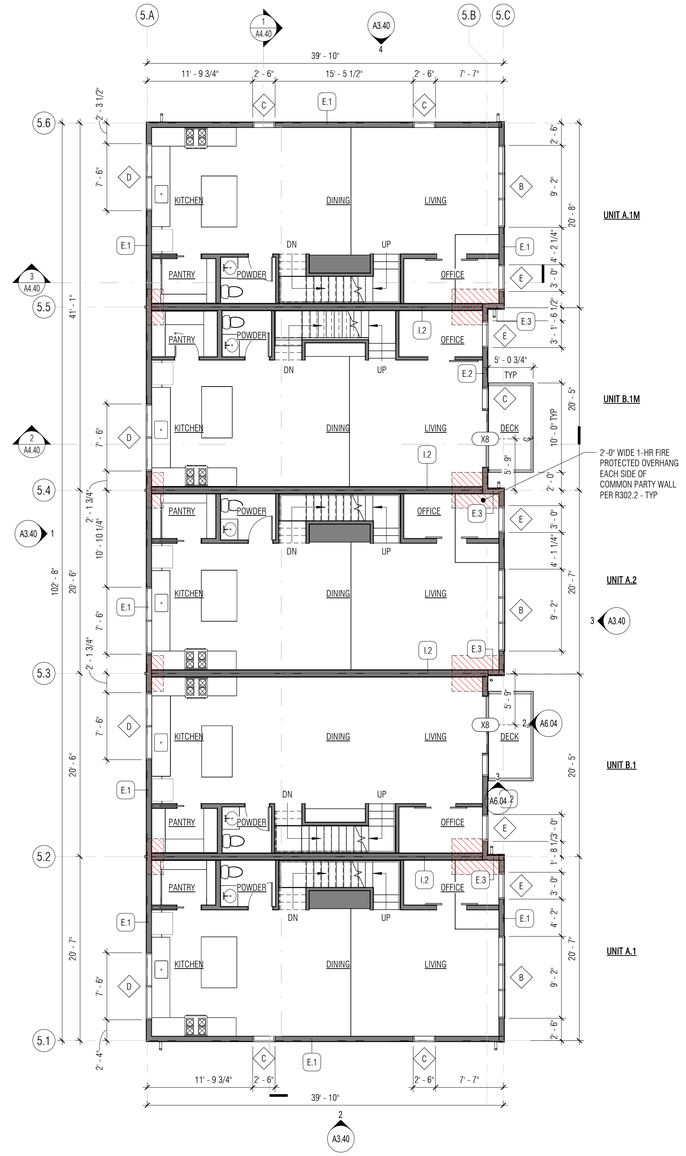
- WALL
- CONC. WALL
- 1-HR RATED WALL
- 1-HR RATED FLOOR OR ROOF AREA
- STRIP VENT
- SOLAR READY ZONE



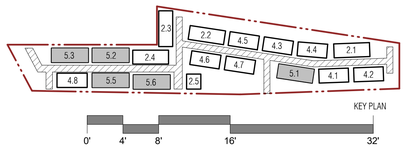
3 **5-PACK TOWNHOUSE "A-B-A-B-A" ROOF PLAN**
1/8" = 1'-0"



2 **5-PACK TOWNHOUSE "A-B-A-B-A" FLOOR PLAN - LEVEL 3**
1/8" = 1'-0"



1 **5-PACK TOWNHOUSE "A-B-A-B-A" FLOOR PLAN - LEVEL 2**
1/8" = 1'-0"



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STATE OF WASHINGTON

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STREAM BELLINGHAM TOWNHOMES

PROJECT ADDRESS:
3009 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER:
STREAM REAL ESTATE

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4/14/2023	LAND USE APP RESUBMITTAL

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COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

FLOOR PLANS - SECOND, THIRD FLR & ROOF - 5-PACK TH "A-B-A-B-A" UNITS

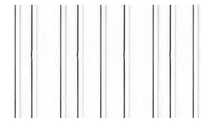
SHEET NO.:

A2.43

EXTERIOR MATERIAL SCHEDULE

1 ASPHALT SHINGLE ROOFING
CHARCOAL GRAY

2 FIBER CEMENT SIDING -
VERTICAL BOARD AND BATTEN
5/16" FIBER CEMENT PANEL WITH BATTENS
2-1/2" WIDE X 3/4" DEEP
RANDOMIZE BATTEN SPACING PER
PAINT COLOR: SW6252 ICE CUBE



3 FIBER CEMENT SIDING -
VERTICAL BOARD AND BATTEN
5/16" FIBER CEMENT PANEL WITH BATTENS
2-1/2" WIDE X 3/4" DEEP
RANDOMIZE BATTEN SPACING PER
PAINT COLOR: SW6991 BLACK MAGIC

4 FIBER CEMENT SIDING - WOOD LOOK
5/16" FIBER CEMENT PANEL

5 NOT USED

6 FASCIA - BLACK METAL

7 VINYL WINDOW FRAME - BLACK

8 VINYL DOOR - BLACK

9 VINYL SLIDING DOOR - BLACK

10 METAL RAILING - BLACK

11 GARAGE DOOR - BLACK

12 DOWNSPOUT / GUTTER - BLACK

13 SOLID WASTE ENCLOSURE
HORIZONTAL WOOD SLATS

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PLOT DATE: 04.12.2023

BUILDING ELEVATIONS - MATERIALS

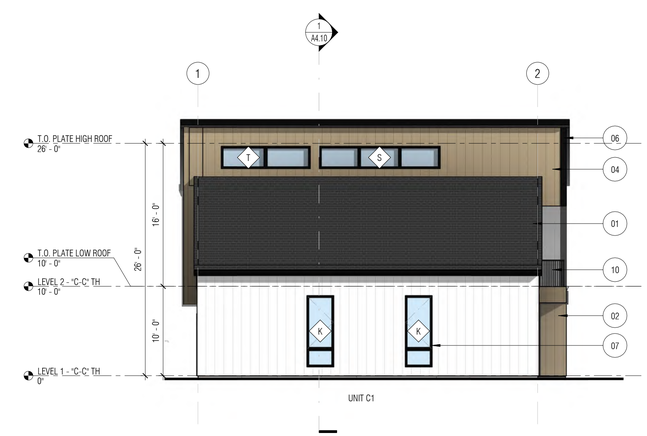
SHEET NO.:

A3.00

3 **2-PACK TOWNHOUSE (C-C) ENTRY ELEVATION**
1/8" = 1'-0"

4 **2-PACK TOWNHOUSE (C-C) LEFT ELEVATION**
1/8" = 1'-0"

1 **2-PACK TOWNHOUSE (C-C) GARAGE ELEVATION**
1/8" = 1'-0"



2 **2-PACK TOWNHOUSE (C-C) RIGHT ELEVATION**
1/8" = 1'-0"

GENERAL NOTES

1. REFER TO SHEET A2.00 FOR EXTERIOR BUILDING PRODUCT IMAGES.
2. REFER TO SHEET G1.02 FOR ZONING HEIGHT LIMIT AND GRADE INFORMATION.
3. REFER TO ENLARGED SITE PLAN A1.21 AND A1.22 FOR UNIT FINISH FLOOR ELEVATIONS.
4. EXHAUST DUCTS AND OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM OPERABLE WINDOWS, OPENINGS INTO THE BUILDNG AND FROM THE PROPERYT LINE AND FIRE SPEARATION LINES.

EXTERIOR MATERIAL SCHEDULE

1. ASPHALT SHINGLE ROOFING - CHARCOAL GRAY
2. FIBER CEMENT SIDING -
   VERTICAL BOARD AND BATTEN
   5/16" FIBER CEMENT PANEL WITH BATTENS 2-1/2" WIDE X 3/4" DEEP
   RANDOMIZE BATTEN SPACING PER
   PAINT COLOR: SW6252 ICE CUBE
3. FIBER CEMENT SIDING -
   VERTICAL BOARD AND BATTEN
   5/16" FIBER CEMENT PANEL WITH BATTENS 2-1/2" WIDE X 3/4" DEEP
   RANDOMIZE BATTEN SPACING PER
   PAINT COLOR: SW6991 BLACK MAGIC
4. FIBER CEMENT SIDING - WOOD LOOK
   5/16" FIBER CEMENT PANEL
5. NOT USED
6. FASCIA - BLACK METAL
7. VINYL WINDOW FRAME - BLACK
8. VINYL DOOR - BLACK
9. VINYL SLIDING DOOR - BLACK
10. METAL RAILING - BLACK
11. GARAGE DOOR - BLACK
12. DOWNSPOUT / GUTTER - BLACK

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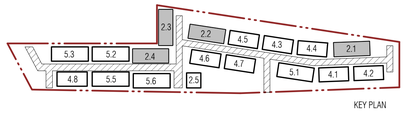
PLOT DATE: 04.12.2023

BUILDING ELEVATIONS - 2-PACK TH "C-C" UNITS

SHEET NO.:

A3.10



KEY PLAN

0' 4' 8' 16' 32'

1 **2-PACK TOWNHOUSE "A-B" ENTRY ELEVATION**
1/8" = 1'-0"

3 **2-PACK TOWNHOUSE "A-B" LEFT ELEVATION**
1/8" = 1'-0"

2 **2-PACK TOWNHOUSE "A-B" GARAGE ELEVATION**
1/8" = 1'-0"

4 **2-PACK TOWNHOUSE "A-B" RIGHT ELEVATION**
1/8" = 1'-0"

GENERAL NOTES

1. REFER TO SHEET A2.00 FOR EXTERIOR BUILDING PRODUCT IMAGES.
2. REFER TO SHEET G1.02 FOR ZONING HEIGHT LIMIT AND GRADE INFORMATION.
3. REFER TO ENLARGED SITE PLAN A1.21 AND A1.22 FOR UNIT FINISH FLOOR ELEVATIONS.
4. EXHAUST DUCTS AND OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM OPERABLE WINDOWS, OPENINGS INTO THE BUILDNG AND FROM THE PROPERYT LINE AND FIRE SPEARATION LINES.

EXTERIOR MATERIAL SCHEDULE

1. ASPHALT SHINGLE ROOFING - CHARCOAL GRAY
2. FIBER CEMENT SIDING -
   VERTICAL BOARD AND BATTEN
   5/16" FIBER CEMENT PANEL WITH BATTENS 2-1/2" WIDE X 3/4" DEEP
   RANDOMIZE BATTEN SPACING PER
   PAINT COLOR: SW6252 ICE CUBE
3. FIBER CEMENT SIDING -
   VERTICAL BOARD AND BATTEN
   5/16" FIBER CEMENT PANEL WITH BATTENS 2-1/2" WIDE X 3/4" DEEP
   RANDOMIZE BATTEN SPACING PER
   PAINT COLOR: SW6991 BLACK MAGIC
4. FIBER CEMENT SIDING - WOOD LOOK
   5/16" FIBER CEMENT PANEL
5. NOT USED
6. FASCIA - BLACK METAL
7. VINYL WINDOW FRAME - BLACK
8. VINYL DOOR - BLACK
9. VINYL SLIDING DOOR - BLACK
10. METAL RAILING - BLACK
11. GARAGE DOOR - BLACK
12. DOWNSPOUT / GUTTER - BLACK

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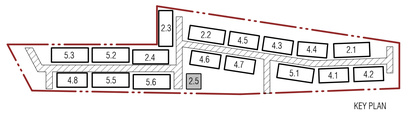
BUILDING ELEVATIONS - 2-PACK TH "A-B" UNITS

SHEET NO.:

A3.20



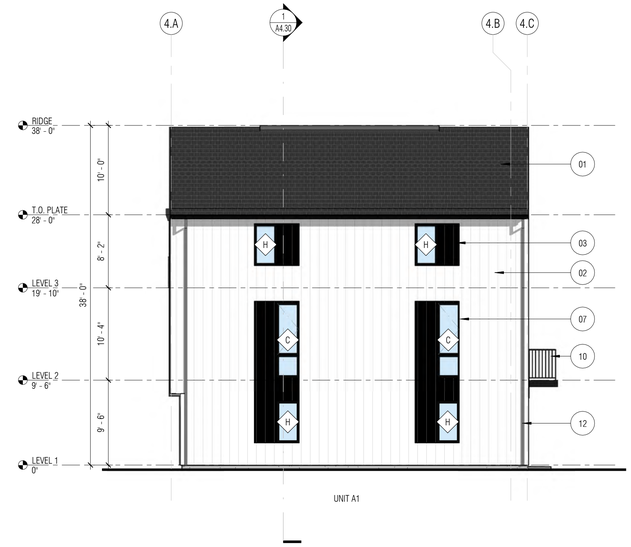
KEY PLAN

0' 4' 8' 16' 32'

3 **4-PACK TOWNHOUSE "A-B-A-B" ENTRY ELEVATION**
1/8" = 1'-0"

4 **4-PACK TOWNHOUSE "A-B-A-B" LEFT ELEVATION**
1/8" = 1'-0"

1 **4-PACK TOWNHOUSE "A-B-A-B" GARAGE ELEVATION**
1/8" = 1'-0"



2 **4-PACK TOWNHOUSE "A-B-A-B" RIGHT ELEVATION**
1/8" = 1'-0"

GENERAL NOTES

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2. REFER TO SHEET G1.02 FOR ZONING HEIGHT LIMIT AND GRADE INFORMATION.
3. REFER TO ENLARGED SITE PLAN A1.21 AND A1.22 FOR UNIT FINISH FLOOR ELEVATIONS.
4. EXHAUST DUCTS AND OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM OPERABLE WINDOWS, OPENINGS INTO THE BUILDNG AND FROM THE PROPERYT LINE AND FIRE SPEARATION LINES.

EXTERIOR MATERIAL SCHEDULE

1. ASPHALT SHINGLE ROOFING - CHARCOAL GRAY
2. FIBER CEMENT SIDING -
   VERTICAL BOARD AND BATTEN
   5/16" FIBER CEMENT PANEL WITH BATTENS 2-1/2" WIDE X 3/4" DEEP
   RANDOMIZE BATTEN SPACING PER
   PAINT COLOR: SW6252 ICE CUBE
3. FIBER CEMENT SIDING -
   VERTICAL BOARD AND BATTEN
   5/16" FIBER CEMENT PANEL WITH BATTENS 2-1/2" WIDE X 3/4" DEEP
   RANDOMIZE BATTEN SPACING PER
   PAINT COLOR: SW6991 BLACK MAGIC
4. FIBER CEMENT SIDING - WOOD LOOK
   5/16" FIBER CEMENT PANEL
5. NOT USED
6. FASCIA - BLACK METAL
7. VINYL WINDOW FRAME - BLACK
8. VINYL DOOR - BLACK
9. VINYL SLIDING DOOR - BLACK
10. METAL RAILING - BLACK
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12. DOWNSPOUT / GUTTER - BLACK

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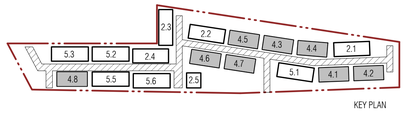
BUILDING ELEVATIONS - 4-PACK TH "A-B-A-B" UNITS

SHEET NO.:

A3.30



KEY PLAN

0' 4' 8' 16' 32'

3 **5-PACK TOWNHOUSE "A-B-A-B-A" ENTRY ELEVATION**
1/8" = 1'-0"

4 **5-PACK TOWNHOUSE "A-B-A-B-A" LEFT ELEVATION**
1/8" = 1'-0"

1 **5-PACK TOWNHOUSE "A-B-A-B-A" GARAGE ELEVATION**
1/8" = 1'-0"

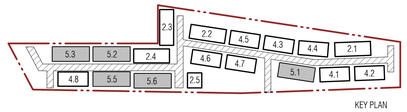
2 **5-PACK TOWNHOUSE "A-B-A-B-A" RIGHT ELEVATION**
1/8" = 1'-0"

GENERAL NOTES

1. REFER TO SHEET A2.00 FOR EXTERIOR BUILDING PRODUCT IMAGES.
2. REFER TO SHEET G1.02 FOR ZONING HEIGHT LIMIT AND GRADE INFORMATION.
3. REFER TO ENLARGED SITE PLAN A1.21 AND A1.22 FOR UNIT FINISH FLOOR ELEVATIONS.
4. EXHAUST DUCTS AND OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM OPERABLE WINDOWS, OPENINGS INTO THE BUILDNG AND FROM THE PROPERYT LINE AND FIRE SPEARATION LINES.

EXTERIOR MATERIAL SCHEDULE

1. ASPHALT SHINGLE ROOFING - CHARCOAL GRAY
2. FIBER CEMENT SIDING -
   VERTICAL BOARD AND BATTEN
   5/16" FIBER CEMENT PANEL WITH BATTENS 2-1/2" WIDE X 3/4" DEEP
   RANDOMIZE BATTEN SPACING PER
   PAINT COLOR: SW6252 ICE CUBE
3. FIBER CEMENT SIDING -
   VERTICAL BOARD AND BATTEN
   5/16" FIBER CEMENT PANEL WITH BATTENS 2-1/2" WIDE X 3/4" DEEP
   RANDOMIZE BATTEN SPACING PER
   PAINT COLOR: SW6991 BLACK MAGIC
4. FIBER CEMENT SIDING - WOOD LOOK
   5/16" FIBER CEMENT PANEL
5. NOT USED
6. FASCIA - BLACK METAL
7. VINYL WINDOW FRAME - BLACK
8. VINYL DOOR - BLACK
9. VINYL SLIDING DOOR - BLACK
10. METAL RAILING - BLACK
11. GARAGE DOOR - BLACK
12. DOWNSPOUT / GUTTER - BLACK



KEY PLAN

0' 4' 8' 16' 32'

Board & Vellum
ARCHITECTURE AND DESIGN
115 15th Ave E. Suite 100 Seattle, WA 98112
info@boardandvellum.com | 206.707.8895

9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM TOWNHOMES

PROJECT ADDRESS:
3309 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER:
STREAM REAL ESTATE

REVISION	DATE	DESCRIPTION

ISSUANCES

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1/13/2023	LAND USE APP RESUBMITTAL
4/14/2023	LAND USE APP RESUBMITTAL

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ORIGINAL SHEET SIZE IS 24"x36"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

BUILDING ELEVATIONS - 5-PACK TH 'A-B-A-B-A" UNITS

SHEET NO.:

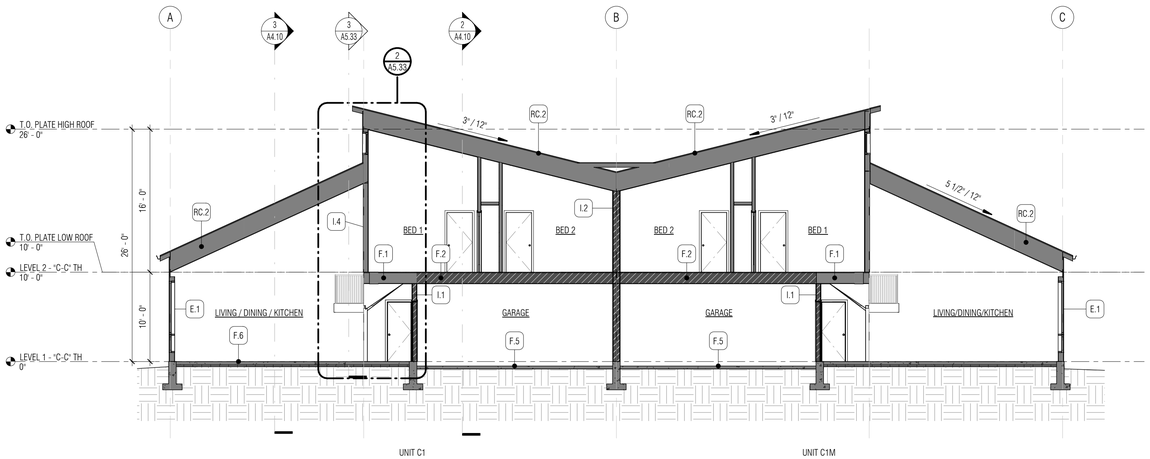
A3.40

GENERAL NOTES - BUILDING SECTIONS

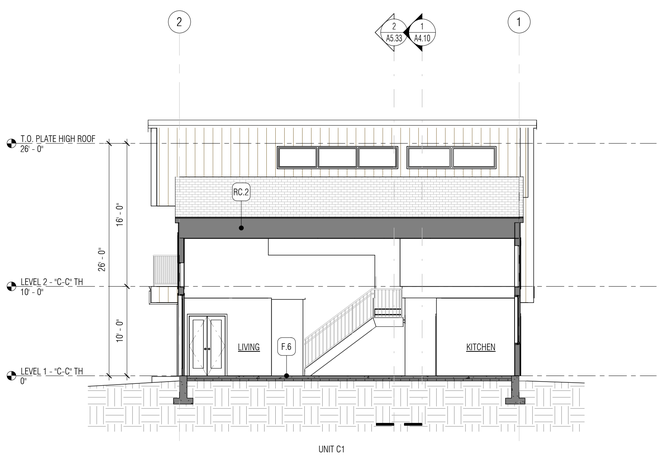
1. SEE SHEET FOR GRADES FOR ALL BUILDINGS.
2. REFER TO ENLARGED SITE PLAN A1.21 AND A1.22 FOR FINISH FLOOR ELEVATIONS.
3. FOR INSULATION VALUES, REFER TO HORIZONTAL ASSEMBLIES SHEET A2.01 AND VERTICAL ASSMEBLIES SHEET A2.02.

WALL LEGEND

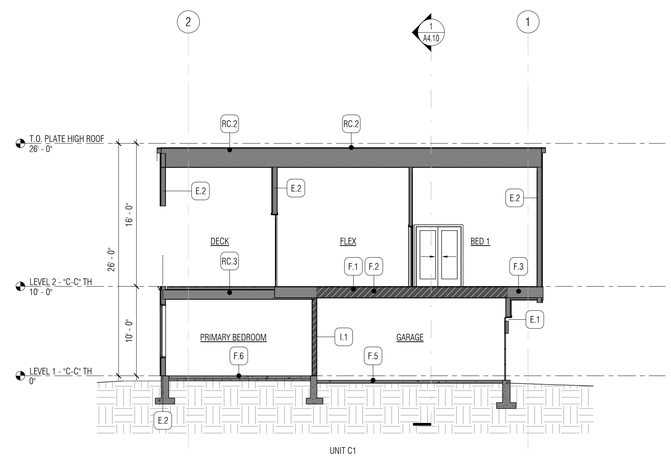
- NEW WALL
- NEW CONC WALL
- 1-HR RATED ASSEMBLY



1 **2-PACK TOWNHOUSE (C-C) - BUILDING SECTION - LONGITUDINAL**
1/8" = 1'-0"



3 **2-PACK TOWNHOUSE (C-C) - BUILDING SECTION THROUGH LIVING**
1/8" = 1'-0"



2 **2-PACK TOWNHOUSE (C-C) - BUILDING SECTION THROUGH GARAGE**
1/8" = 1'-0"

KEY PLAN

Board & Vellum
ARCHITECTURE AND DESIGN
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9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM TOWNHOMES

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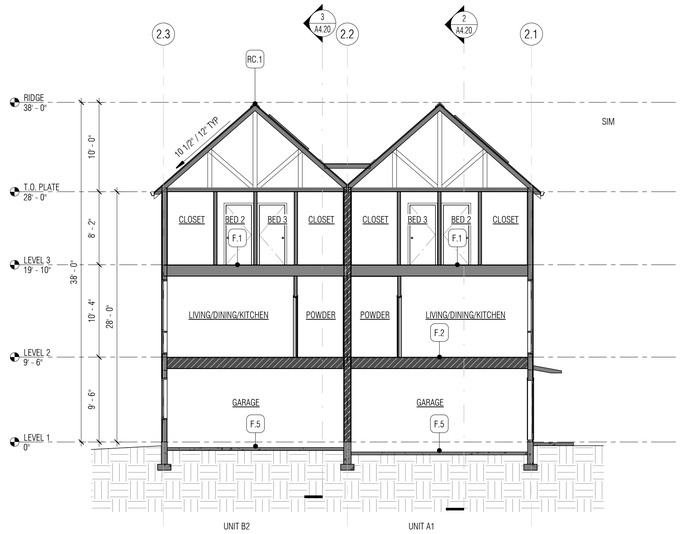
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

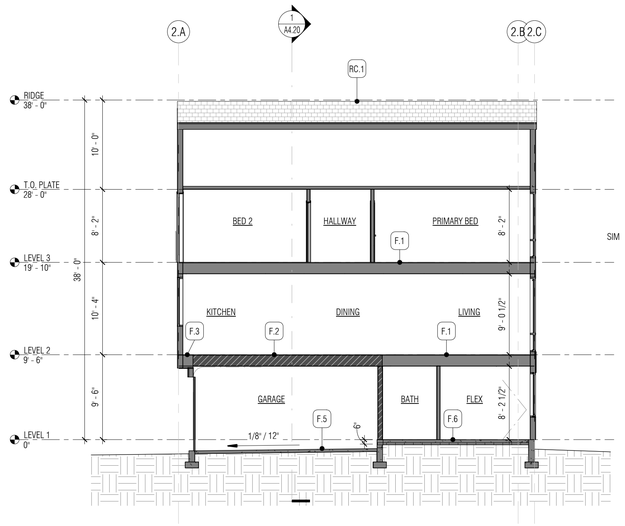
BUILDING SECTIONS - 2-PACK TH "C-C" UNITS

SHEET NO.:

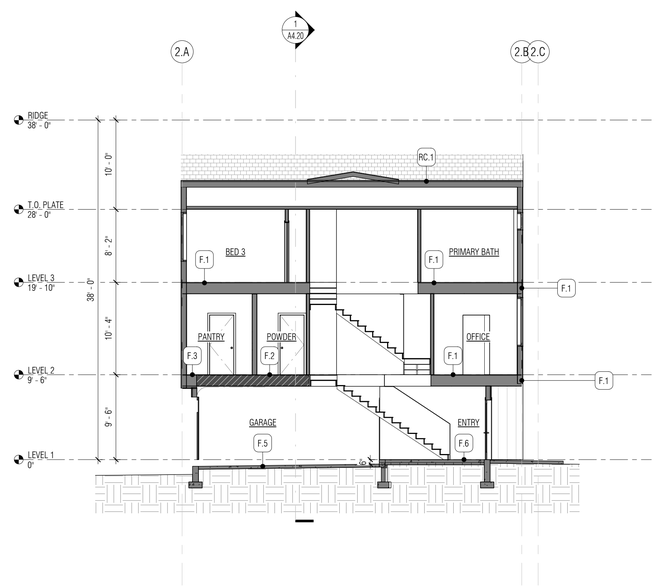
A4.10



1 **2-PACK TOWNHOUSE (A-B) - LONG SECTION**
1/8" = 1'-0"



2 **2-PACK TOWNHOUSE (A-B) - SHORT SECTION THROUGH UNIT A.1**
1/8" = 1'-0"



3 **2-PACK TOWNHOUSE (A-B) - SHORT SECTION THROUGH UNIT B.2**
1/8" = 1'-0"

GENERAL NOTES - BUILDING SECTIONS

1. SEE SHEET FOR GRADES FOR ALL BUILDINGS.
2. REFER TO ENLARGED SITE PLAN A1.21 AND A1.22 FOR FINISH FLOOR ELEVATIONS.
3. FOR INSULATION VALUES, REFER TO HORIZONTAL ASSEMBLIES SHEET A2.01 AND VERTICAL ASSMEBLIES SHEET A2.02.

WALL LEGEND

- NEW WALL
- NEW CONC WALL
- 1-HR RATED ASSEMBLY

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CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM TOWNHOMES

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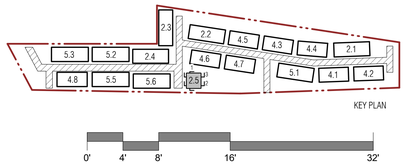
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

BUILDING SECTIONS - 2-PACK TH "A-B" UNITS

SHEET NO.:

A4.20



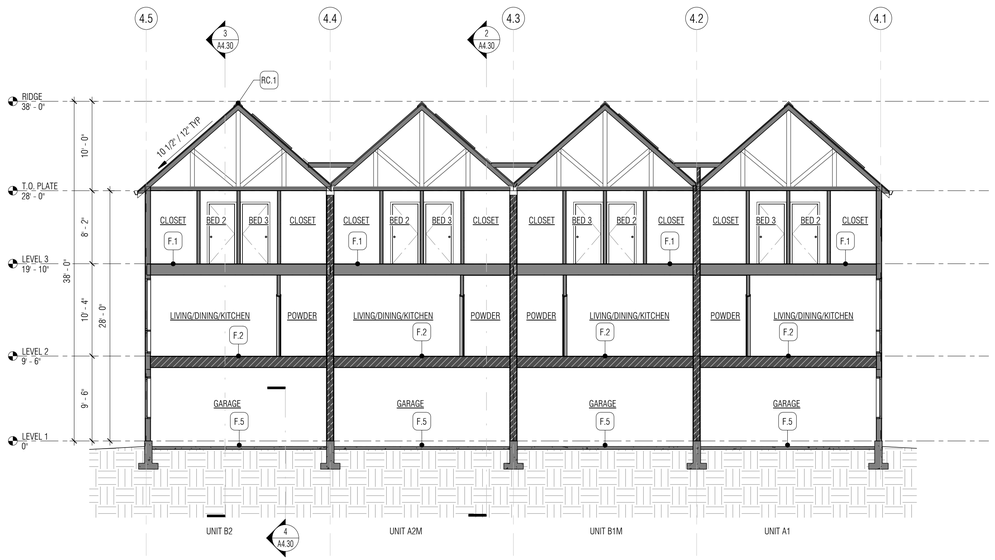
KEY PLAN

GENERAL NOTES - BUILDING SECTIONS

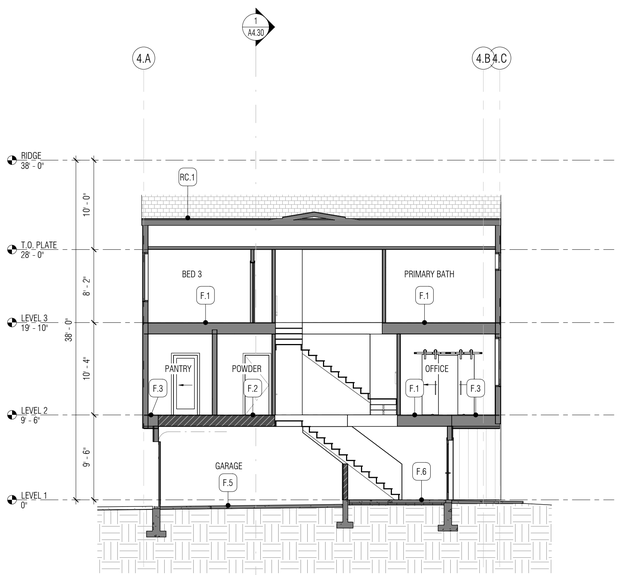
1. SEE SHEET FOR GRADES FOR ALL BUILDINGS.
2. REFER TO ENLARGED SITE PLAN A1.21 AND A1.22 FOR FINISH FLOOR ELEVATIONS.
3. FOR INSULATION VALUES, REFER TO HORIZONTAL ASSEMBLIES SHEET A2.01 AND VERTICAL ASSMEBLIES SHEET A2.02.

WALL LEGEND

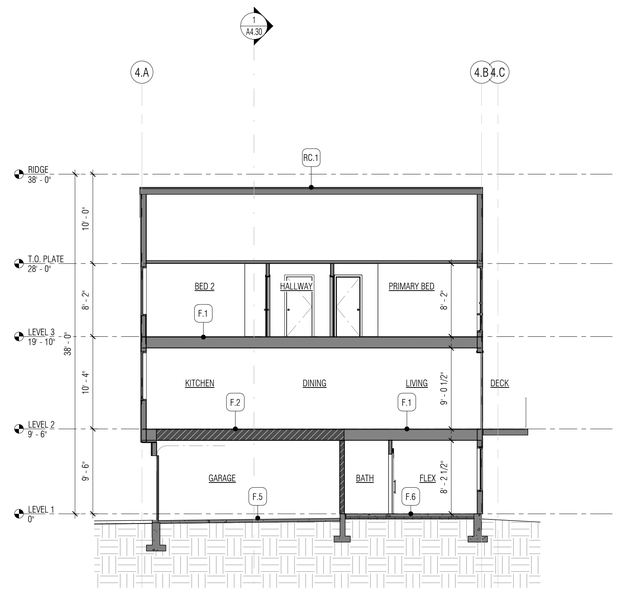
- NEW WALL
- NEW CONC WALL
- 1-HR RATED ASSEMBLY



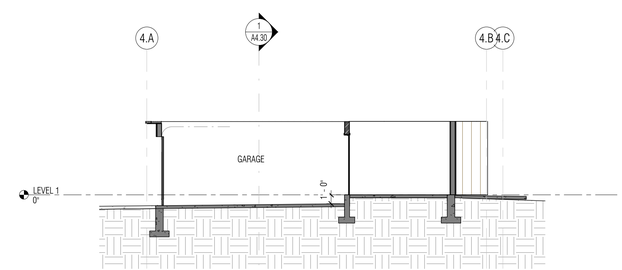
1 **4-PACK TOWNHOUSE "A-B-A-B" - LONG SECTION**
1/8" = 1'-0"



2 **4-PACK TOWNHOUSE "A-B-A-B" - SHORT SECTION THROUGH UNIT A2.M ENTRY**
1/8" = 1'-0"

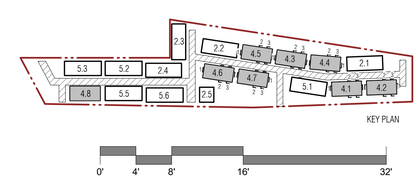


3 **4-PACK TOWNHOUSE "A-B-A-B" - SHORT SECTION THROUGH UNIT B.2**
1/8" = 1'-0"



2-STEP-TRANSITION AT SLAB ON GRADE

4 **4-PACK TOWNHOUSE "A-B-A-B" - SHORT SECTION THRU GARAGE AT INTERIOR TRANSITION**
1/8" = 1'-0"



KEY PLAN

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9858 REGISTERED ARCHITECT
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STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM TOWNHOMES

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ORIGINAL SHEET SIZE IS 24"x36"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

BUILDING SECTIONS - 4-PACK TH "A-B-A-B" UNITS

SHEET NO.:

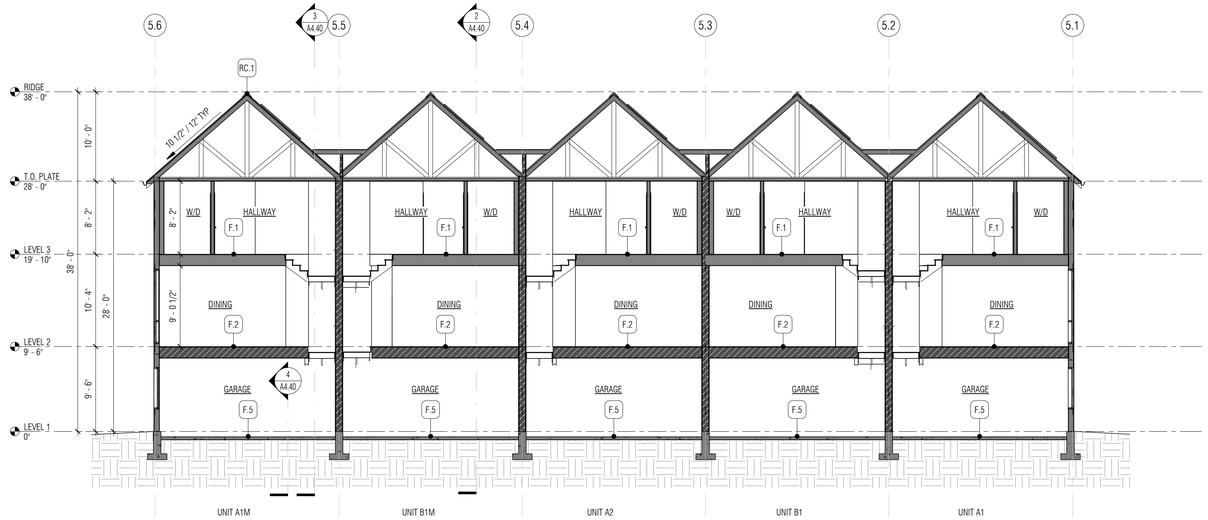
A4.30

GENERAL NOTES - BUILDING SECTIONS

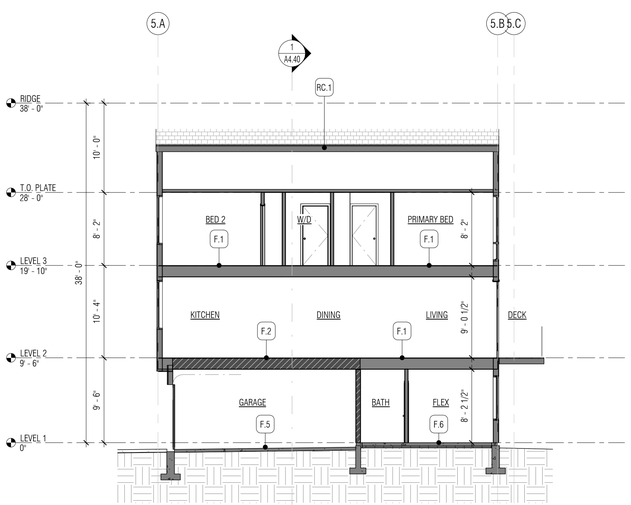
1. SEE SHEET FOR GRADES FOR ALL BUILDINGS.
2. REFER TO ENLARGED SITE PLAN A1.21 AND A1.22 FOR FINISH FLOOR ELEVATIONS.
3. FOR INSULATION VALUES, REFER TO HORIZONTAL ASSEMBLIES SHEET A2.01 AND VERTICAL ASSMEBLIES SHEET A2.02.

WALL LEGEND

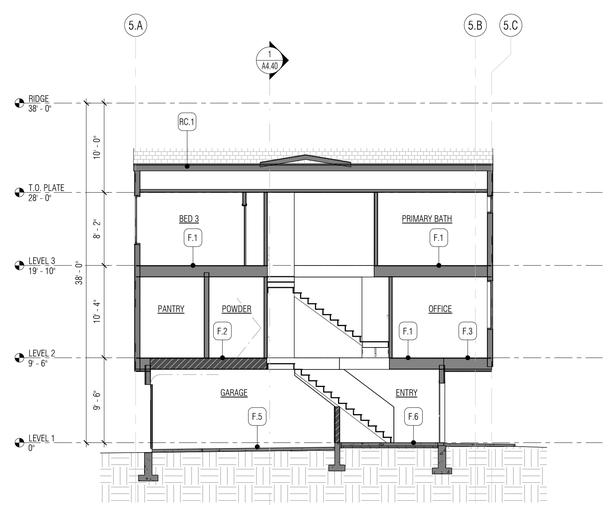
- NEW WALL
- NEW CONC WALL
- 1-HR RATED ASSEMBLY



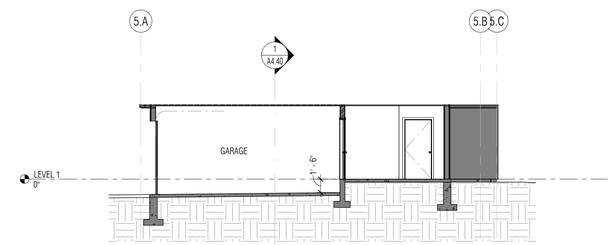
1 **5-PACK TOWNHOUSE "A-B-A-B-A" - LONG SECTION**
1/8" = 1'-0"



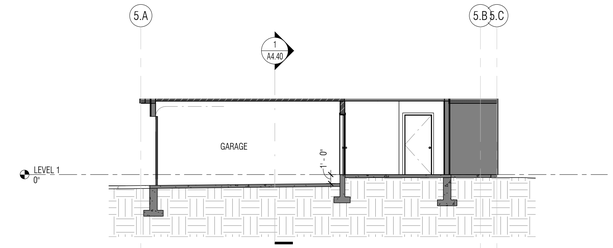
2 **5-PACK TOWNHOUSE "A-B-A-B-A" - SHORT SECTION THROUGH UNIT B.1**
1/8" = 1'-0"



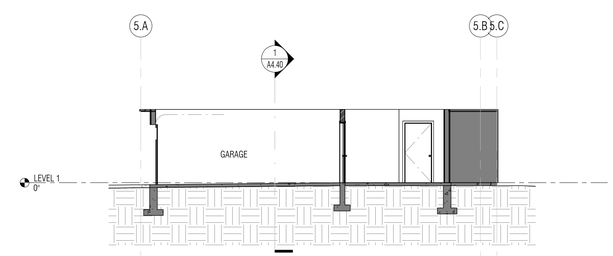
3 **5-PACK TOWNHOUSE "A-B-A-B-A" - SHORT SECTION THROUGH UNIT A1.M**
1/8" = 1'-0"



3-STEP-TRANSITION AT SLAB ON GRADE

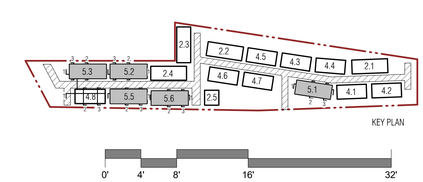


2-STEP-TRANSITION AT SLAB ON GRADE



0-STEP-TRANSITION AT SLAB ON GRADE

5-PACK TOWNHOUSE "A-B-A-B-A" - SHORT SECTION THRU GARAGE AT INTERIOR TRANSITION
4 1/8" = 1'-0"



KEY PLAN

Board & Vellum
ARCHITECTURE AND DESIGN
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9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
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COB PROJECT #: 2021-0105

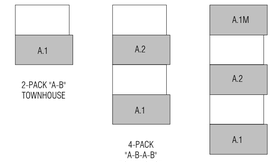
PLOT DATE: 04.12.2023

BUILDING SECTIONS - 5-PACK TH "A-B-A-B-A" UNITS

SHEET NO.:

A4.40

FLOOR PLAN KEY



2-PACK "A-B"
TOWNHOUSE

4-PACK
"A-B-A-B"
TOWNHOUSE

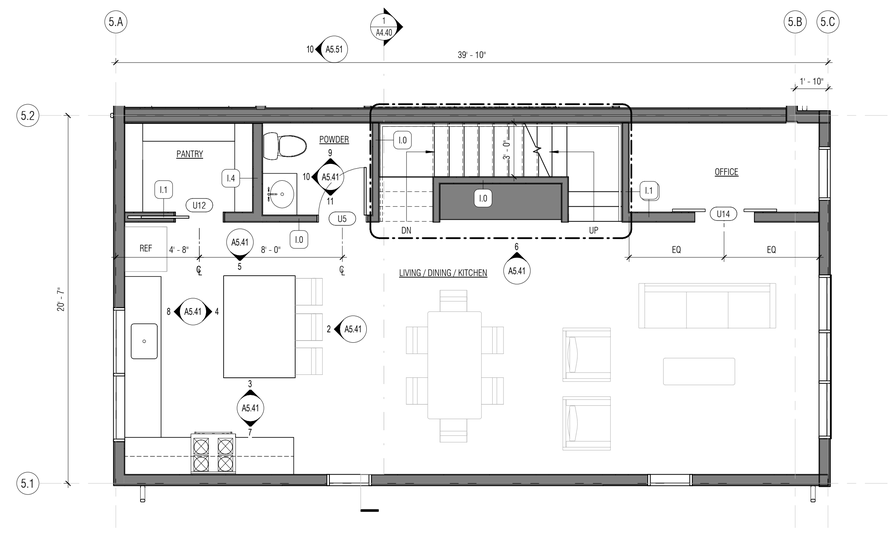
5-PACK
"A-B-A-B-A"
TOWNHOUSE

UNIT PLAN KEY

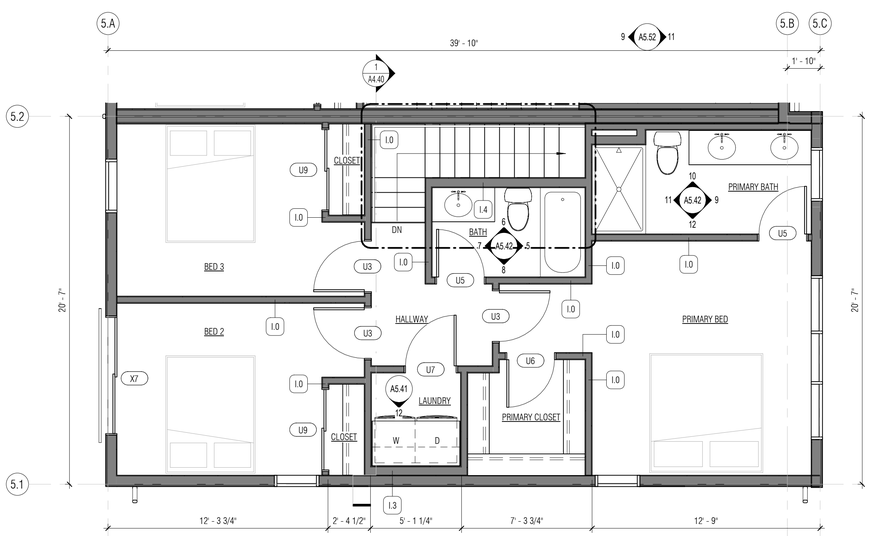
TB	TOWEL BAR
TR	TOWEL RING
RH	ROBE HOOK
TP	TOILET PAPER HOLDER

GENERAL NOTES - UNIT PLANS

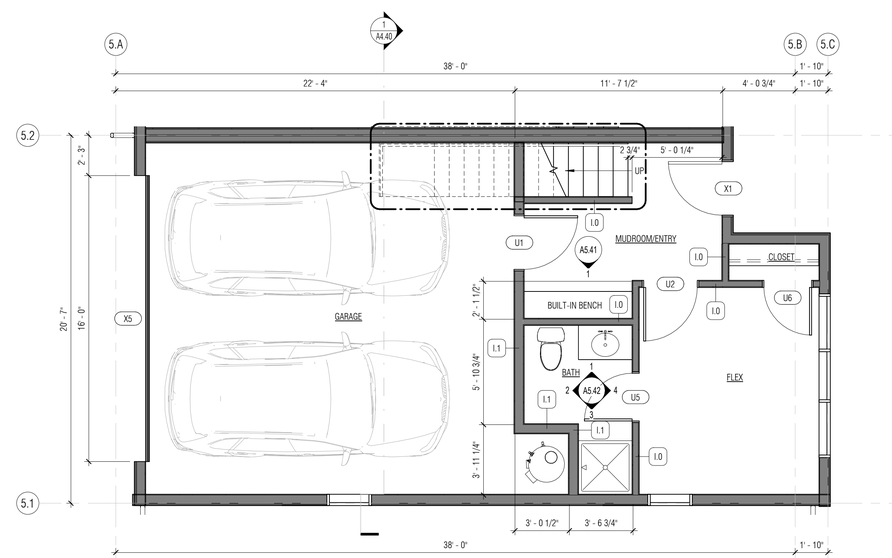
1. ALL INTERIOR WALLS ARE I.0 UNO. PROVIDE 3-1/2" SOUND INSULATION IN COMMON PARTY WALLS.
2. ALL EXTERIOR WALLS ARE E.1 UNO.
3. ALL EXTERIOR DIMENSIONS ARE MEASURED FROM GRID LINE TO GRID LINE OR FACE OF FRAMING. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD.
4. GRIDS ARE ALIGNED WITH THE EXTERIOR FACE OF FRAMING AT EXTERIOR WALLS AND ALIGNED WITH THE CENTER OF THE PARTY-WALLS.
5. WINDOW DIMENSIONS ARE GIVEN AS NOMINAL MEASUREMENTS.
6. DOOR ROUGH OPENINGS ARE 4" OFF STUD FACE OF PERP. WALL (TO HINGED SIDE OF THE DOOR) UNO
7. ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH
8. DIMENSIONS AT POSTS ARE TO CENTERLINES UNO - VERIFY ALL STRUCTURAL LOCATIONS WITH FRAMING PLANS
9. SEE EXTERIOR ELEVATION SHEETS FOR WINDOW TAGS
10. SEE SHEETS GENERAL SHEETS CODE, DIMENSIONING AND GENERAL NOTES
11. SEE SHEET A7.00 SERIES FOR DOOR & WINDOW SCHEDULE.
12. THE MAIN ELECTRICAL SERVICE OR FEEDER PANEL FOR EACH DWELLING UNIT SHALL HAVE A RESERVED SPACE TO ALLOW INSTALLATION OF A DUAL POLE CIRCUIT BREAKER FOR FUTURE SOLAR ELECTRIC INSTALLATION AND SHALL BE LABELED 'FOR FUTURE SOLAR ELECTRIC.
13. A PERMANENT CERTIFICATE, INDICATING THE BOUNDARIES AND STRUCTURAL PROVISIONS OF THE SOLAR-READY ZONE, SHALL BE POSTED NEAR THE ELECTRICAL DISTRIBUTION PANEL, WATER HEATER OF OTHER CONSPICUOUS LOCATION.



2 **FLOOR PLAN - LEVEL 2**
1/4" = 1'-0"



3 **FLOOR PLAN - LEVEL 3**
1/4" = 1'-0"



1 **UNIT PLAN - LEVEL 1**
1/4" = 1'-0"

0' 2' 4' 8' 16'

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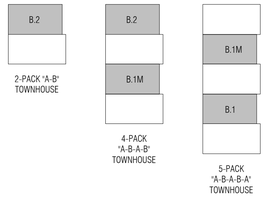
PLOT DATE: 04.12.2023

UNIT PLANS - TYPE A.1 & A.2 (A.1M OPP)

SHEET NO.:

A5.11

FLOOR PLAN KEY

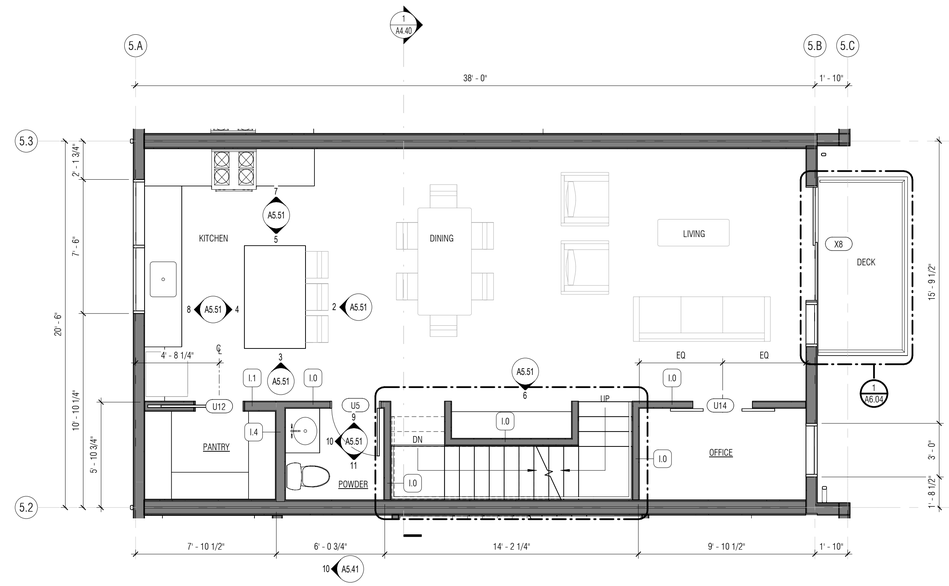


UNIT PLAN KEY

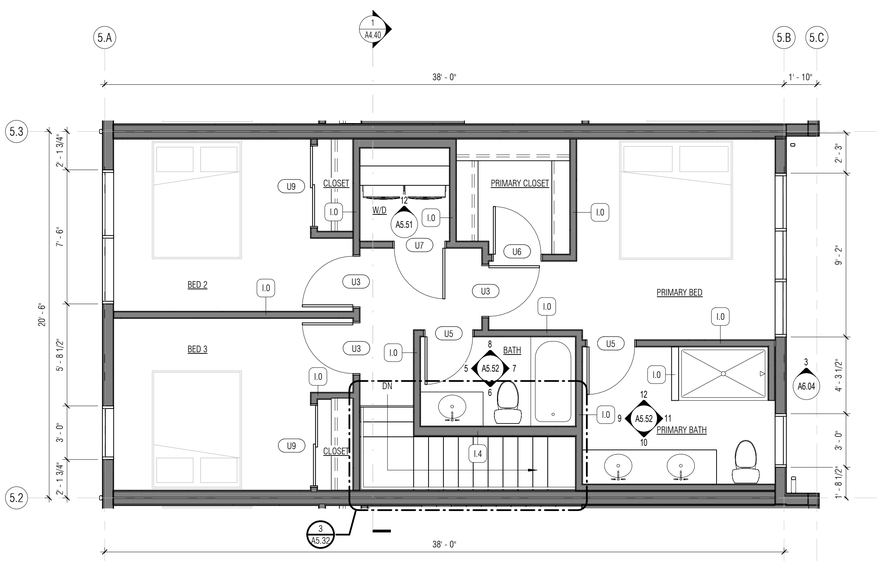
TB	TOWEL BAR
TR	TOWEL RING
RH	ROBE HOOK
TP	TOILET PAPER HOLDER

GENERAL NOTES - UNIT PLANS

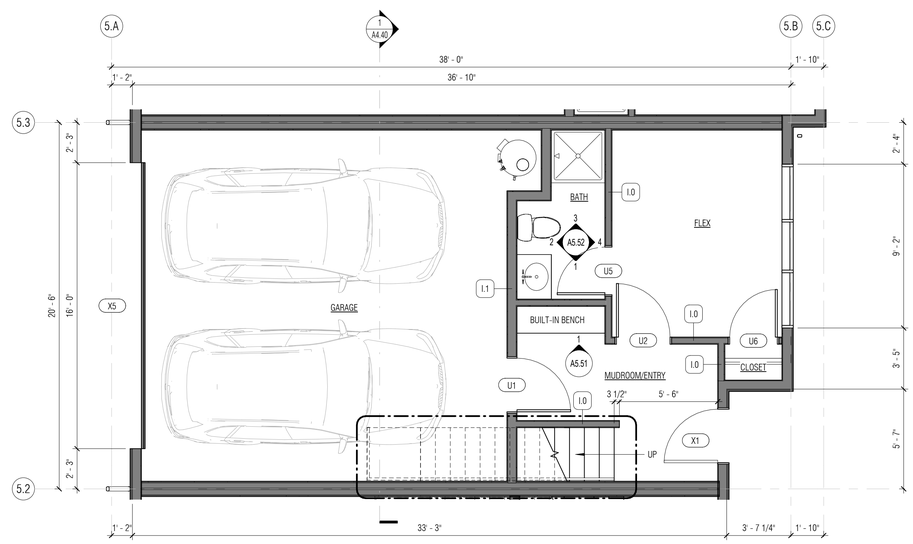
1. ALL INTERIOR WALLS ARE I.0 UNO. PROVIDE 3-1/2" SOUND INSULATION IN COMMON PARTY WALLS.
2. ALL EXTERIOR WALLS ARE E.1 UNO.
3. ALL EXTERIOR DIMENSIONS ARE MEASURED FROM GRID LINE TO GRID LINE OR FACE OF FRAMING. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD.
4. GRIDS ARE ALIGNED WITH THE EXTERIOR FACE OF FRAMING AT EXTERIOR WALLS AND ALIGNED WITH THE CENTER OF THE PARTY-WALLS.
5. WINDOW DIMENSIONS ARE GIVEN AS NOMINAL MEASUREMENTS.
6. DOOR ROUGH OPENINGS ARE 4" OFF STUD FACE OF PERP. WALL (TO HINGED SIDE OF THE DOOR) UNO
7. ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH
8. DIMENSIONS AT POSTS ARE TO CENTERLINES UNO - VERIFY ALL STRUCTURAL LOCATIONS WITH FRAMING PLANS
9. SEE EXTERIOR ELEVATION SHEETS FOR WINDOW TAGS
10. SEE SHEETS GENERAL SHEETS CODE, DIMENSIONING AND GENERAL NOTES
11. SEE SHEET A7.00 SERIES FOR DOOR & WINDOW SCHEDULE.
12. THE MAIN ELECTRICAL SERVICE OR FEEDER PANEL FOR EACH DWELLING UNIT SHALL HAVE A RESERVED SPACE TO ALLOW INSTALLATION OF A DUAL POLE CIRCUIT BREAKER FOR FUTURE SOLAR ELECTRIC INSTALLATION AND SHALL BE LABELED: FOR FUTURE SOLAR ELECTRIC.
13. A PERMANENT CERTIFICATE, INDICATING THE BOUNDARIES AND STRUCTURAL PROVISIONS OF THE SOLAR-READY ZONE, SHALL BE POSTED NEAR THE ELECTRICAL DISTRIBUTION PANEL, WATER HEATER OF OTHER CONSPICUOUS LOCATION.



2 **FLOOR PLAN - LEVEL 2**
1/4" = 1'-0"



3 **FLOOR PLAN - LEVEL 3**
1/4" = 1'-0"



1 **FLOOR PLAN - LEVEL 1**
1/4" = 1'-0"

0' 2' 4' 8' 16'

Board & Vellum
ARCHITECTURE AND DESIGN
115 15th Ave E. Suite 100 Seattle, WA 98112
info@boardandvellum.com | 206.707.8895

9858 REGISTERED ARCHITECT
JEFFREY ALFRED PELLETIER
STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM TOWNHOMES

PROJECT ADDRESS:
3309 MERIDIAN STREET, BELLINGHAM, WA 98225

OWNER:
STREAM REAL ESTATE

REVISION	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
7/29/2022	LAND USE APPLICATION
1/13/2023	LAND USE APP RESUBMITTAL
4/14/2023	LAND USE APP RESUBMITTAL

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ORIGINAL SHEET SIZE IS 24"x36"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

UNIT PLANS - TYPE B.1 & B.2 (B.1M OPP)

SHEET NO.:

A5.12

FLOOR PLAN KEY

2-PACK "C-C"
TOWNHOUSE

UNIT PLAN KEY

TB	TOWEL BAR
TR	TOWEL RING
RH	ROBE HOOK
TP	TOILET PAPER HOLDER

GENERAL NOTES - UNIT PLANS

1. ALL INTERIOR WALLS ARE I.0 UNO. PROVIDE 3-1/2" SOUND INSULATION IN COMMON PARTY WALLS.
2. ALL EXTERIOR WALLS ARE E.1 UNO.
3. ALL EXTERIOR DIMENSIONS ARE MEASURED FROM GRID LINE TO GRID LINE OR FACE OF FRAMING. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD.
4. GRIDS ARE ALIGNED WITH THE EXTERIOR FACE OF FRAMING AT EXTERIOR WALLS AND ALIGNED WITH THE CENTER OF THE PARTY-WALLS.
5. WINDOW DIMENSIONS ARE GIVEN AS NOMINAL MEASUREMENTS.
6. DOOR ROUGH OPENINGS ARE 4" OFF STUD FACE OF PERP. WALL (TO HINGED SIDE OF THE DOOR) UNO
7. ALL FINISH FLOOR MATERIALS TO ALIGN WITH ADJACENT FLOOR FINISH
8. DIMENSIONS AT POSTS ARE TO CENTERLINES UNO - VERIFY ALL STRUCTURAL LOCATIONS WITH FRAMING PLANS
9. SEE EXTERIOR ELEVATION SHEETS FOR WINDOW TAGS
10. SEE SHEETS GENERAL SHEETS CODE, DIMENSIONING AND GENERAL NOTES
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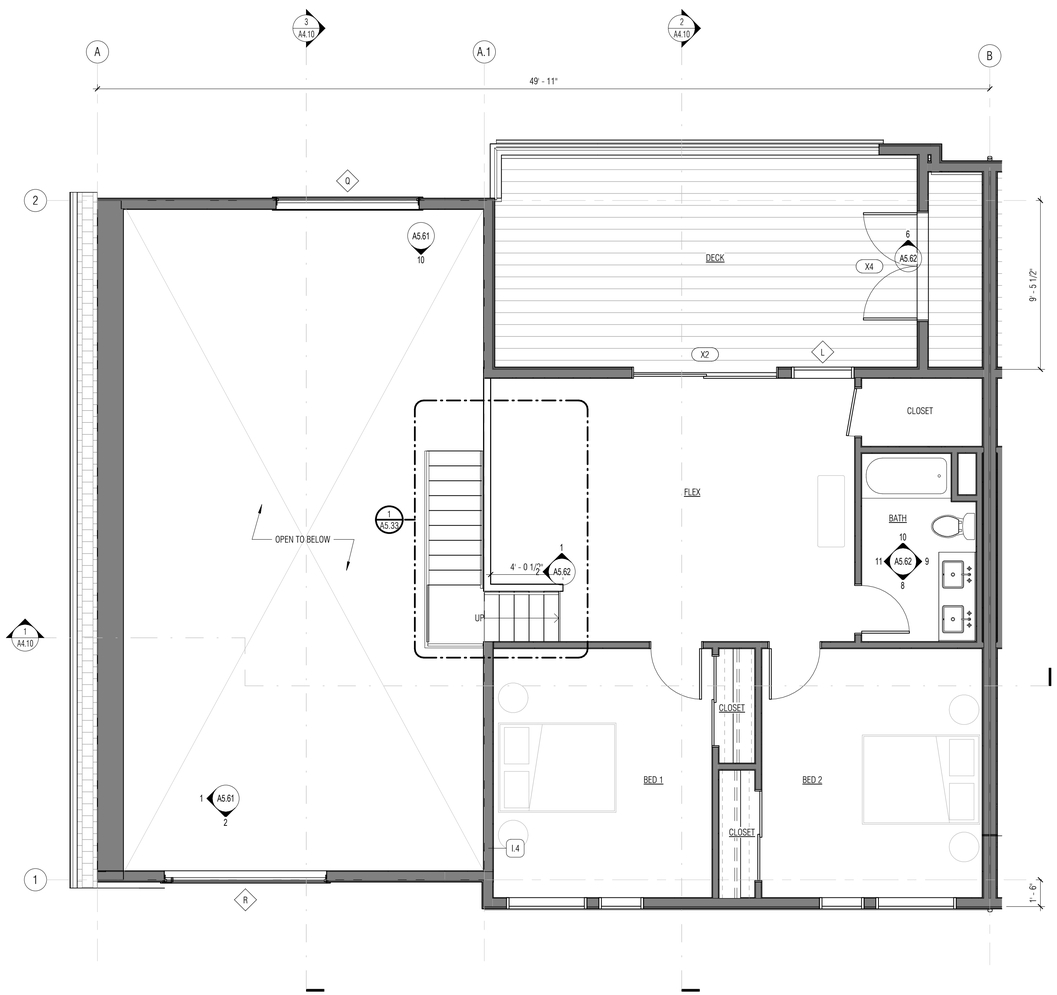

2 **FLOOR PLAN - LEVEL 2**
1/4" = 1'-0"

1 **FLOOR PLAN - LEVEL 1**
1/4" = 1'-0"

0' 2' 4' 8' 16'

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9858 REGISTERED ARCHITECT
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STATE OF WASHINGTON

CITY OF BELLINGHAM STAMP AREA

STREAM BELLINGHAM TOWNHOMES

PROJECT ADDRESS:
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OWNER:
STREAM REAL ESTATE

REVISION	DATE	DESCRIPTION

ISSUANCES

DATE	DESCRIPTION
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ORIGINAL SHEET SIZE IS 24"x36"

BOARD & VELLUM PROJECT #: 2021170.00
COB PROJECT #: 2021-0105

PLOT DATE: 04.12.2023

UNIT PLANS - TYPE C.1 (C.1M OPP)

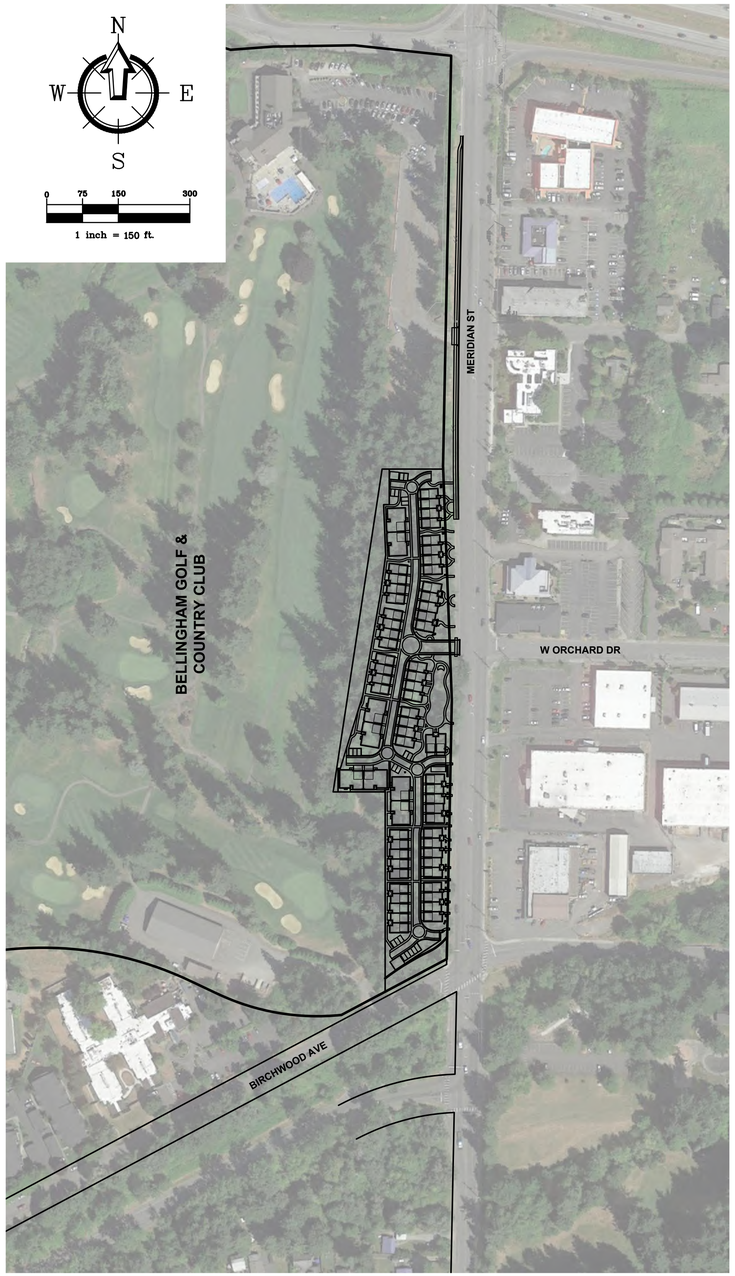
SHEET NO.:

A5.13

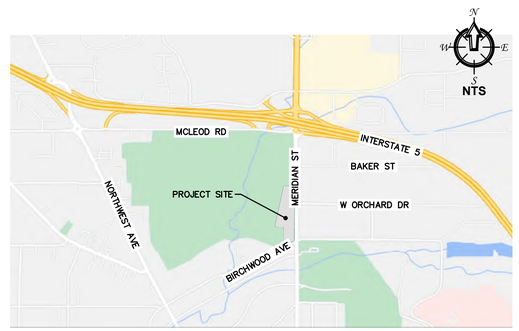
STREAM BELLINGHAM TOWNHOMES

INFILL TOOLKIT LONG PLAT

SITUATED IN A PORTION OF THE SE QUARTER, SECTION 13, TOWNSHIP 38 NORTH, RANGE 2 EAST, W.M., CITY OF BELLINGHAM, WHATCOM COUNTY, WASHINGTON



VICINITY MAP



SHEET INDEX

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C1.2 EXISTING CONDITIONS - NORTH
C2.1 SITE PLAN - SOUTH
C2.2 SITE PLAN - NORTH
C2.3 NORTH FRONTAGE IMPROVEMENTS
C3.1 GRADING & DRAINAGE PLAN - SOUTH
C3.2 GRADING & DRAINAGE PLAN - NORTH
C4.1 UTILITY PLAN - SOUTH
C4.2 UTILITY PLAN - NORTH
C5.1 PLAT MAP - SOUTH
C5.2 PLAT MAP - NORTH
C6.1 TREE & UTILITY PLAN - SOUTH
C6.2 TREE & UTILITY PLAN - NORTH

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KIM ROONEY
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(206) 920-1323
kim@kimrooneyinc.com

LEGEND

- = FOUND BRASS MON
- = FOUND ALUMINUM CAP MON
- = FOUND CONC MON
- = FOUND SQARE CONC MON
- = FOUND REBAR AND CAP
- = SET 1/2" REBAR W/ PLASTIC CAP
- = FOUND IRON PIPE
- = FOUND HUB AND TACK
- = FOUND PK NAIL
- = FOUND PK NAIL AND TAG/SHINER
- = FOUND RR SPIKE
- = EXISTING STORM DRAIN CATCH BASIN (TYPE I)
- = EXISTING STORM DRAIN CATCH BASIN (TYPE 2)
- = EXISTING STORM DRAIN MANHOLE (TYPE 2) (SOLID LID)
- = EXISTING STORM DRAIN AREA DRAIN
- = EXISTING STORM DRAIN CLEANOUT
- = EXISTING STORM DRAIN SERVICE
- = PROPOSED RAINLEADER/DOWNSPOUT
- = PROPOSED AREA DRAIN
- = PROPOSED STORM DRAIN SERVICE
- = PROPOSED STORM DRAIN CLEANOUT
- = PROPOSED STORM DRAIN CATCH BASIN
- = PROPOSED STORM DRAIN MANHOLE (TYPE 2)
- = EXISTING SANITARY SEWER MANHOLE
- = EXISTING SANITARY SEWER CLEANOUT
- = EXISTING SANITARY SEWER SERVICE
- = PROPOSED SANITARY SEWER SERVICE
- = PROPOSED SEWER CLEANOUT
- = PROPOSED SEWER MANHOLE
- = EXISTING WATER SERVICE CONNECT
- = EXISTING FIRE STAND PIPE
- = EXISTING WATER BLOW-OFF VALVE
- = EXISTING WATER METER BOX
- = EXISTING FIRE HYDRANT
- = EXISTING WATER VALVE
- = EXISTING WATER VALVE BOXES
- = PROPOSED WATER SERVICE CONNECT
- = PROPOSED WATER METER BOX
- = PROPOSED WATER VALVE
- = PROPOSED WATER BLOW-OFF
- = PROPOSED FIRE HYDRANT
- = PROPOSED FIRE DEPARTMENT CONNECTION
- = PROPOSED POST INDICATOR VALVE
- = PROPOSED WATER BEND
- = PROPOSED THRUST BLOCK
- = PROPOSED TEE OR CROSS
- = EXISTING POWER/AND OR UTILITY POLE
- = EXISTING POWER/AND OR UTILITY POLE
- = EXISTING GUY POLE
- = EXISTING GUY WIRE
- = EXISTING POWER METER/STRUCTURE
- = EXISTING POWER VAULT
- = EXISTING POWER JBOX/HANDHOLD
- = EXISTING LIGHT POLE
- = PROPOSED LIGHT POLE
- = EXISTING UTILITY POLE
- = EXISTING TV BOX
- = EXISTING TELEPHONE PEDESTAL
- = EXISTING TELEPHONE MANHOLE
- = EXISTING MAIL BOX
- = EXISTING SIGN
- = PROPOSED SIGN
- = EXISTING FLAG POLE
- = EXISTING LANDSCAPING
- = EXISTING GAS METER
- = PROPOSED FLOW DIRECTION ARROW
- = ADA PARKING SPACE
- = PAVEMENT MARKINGS
- = DETAIL CALLOUT

- = EXISTING OVERHEAD ELECTRIC LINES
- = EXISTING FIBER OPTIC LINE
- = EXISTING UNDERGROUND POWER
- = EXISTING OVERHEAD PHONE
- = EXISTING UNDERGROUND PHONE
- = EXISTING OVERHEAD UTILITES (UNKNOWN)
- = EXISTING UNDERGROUND TV CABLE
- = EXISTING GAS MAIN
- = PROPOSED GAS LINE
- = EXISTING WATER LINE
- = EXISTING FIRE MAIN
- = PROPOSED WATER LINE
- = PROPOSED IRRIGATION LINE
- = EXISTING SANITARY SEWER LINE
- = EXISTING SEWER FORCE MAIN
- = PROPOSED SANITARY SEWER LINE
- = PROPOSED SANITARY SEWER FORCE LINE
- = EXISTING FLOW LINE & DIRECTION
- = EXISTING STORM DRAIN LINE
- = PROPOSED STORM DRAIN LINE (SOLID WALL)
- = PROPOSED STORM DRAIN LINE (PERFORATED)
- = PROPOSED FOUNDATION DRAIN
- = PROPOSED ROOF DRAIN
- = EXISTING CHAIN LINK FENCE
- = PROPOSED CHAIN LINK FENCE
- = EXISTING BARBED WIRE FENCE
- = PROPOSED BARBED WIRE FENCE
- = EXISTING FENCE TYPE:
- = EXISTING FENCE TYPE:
- = EXISTING CONC. FENCE OR RET. WALL
- = EXISTING STONE WALL
- = EXISTING ORDINARY HIGH WATER LINE
- = EXISTING TOP OF BANK
- = EXISTING TOE OF BANK
- = PROPOSED TOP OF BANK
- = PROPOSED TOE OF BANK
- = EXISTING CONTOUR (INDEX)
- = EXISTING CONTOUR (NORMAL)
- = PROPOSED CONTOUR (INDEX)
- = PROPOSED CONTOUR (NORMAL)
- = PROPOSED DAYLIGHT FILL LINE
- = PROPOSED DAYLIGHT CUT LINE
- = EXISTING SPOT ELEV @ TOP OF PAVEMENT
- = EXISTING SPOT ELEV @ EDGE OF PAVEMENT
- = EXISTING SPOT ELEV @ EDGE OF CONC WALK
- = EXISTING SPOT ELEV @ TOP OF GROUND
- = EXISTING SPOT ELEV @ EDGE OF GRAVEL
- = EXISTING SPOT ELEV @ FACE OF CURB
- = EXISTING SPOT ELEV @ TOP BACK OF SIDEWALK
- = EXISTING SPOT ELEV @ TOP OF CONC WALK OR WALL
- = PROPOSED SPOT ELEV @ TOP OF SIDEWALK
- = PROPOSED SPOT ELEV @ TOP OF PAVEMENT
- = PROPOSED SPOT ELEV @ TOP OF CURB
- = PROPOSED SPOT ELEV @ TOP OF FINISHED GRADE
- = PROPOSED ASPHALT PAVEMENT
- = PROPOSED PAVEMENT REPAIR
- = PROPOSED CONCRETE
- = PROPOSED GRAVEL SURFACING
- = PROPOSED GRASSCRETE

220 West Champion Street, Suite 200 t: 360.650.1408
Bellingham, WA 98225 f: 360.650.1401
FREELAND & ASSOCIATES

REV:	DATE:	DESCRIPTION:	BY:

CLIENT:
STREAM REAL ESTATE DEVELOPMENT & INVESTMENT
999 N NORTHLAKE WAY SUITE 200
SEATTLE, WA 98103

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FOR BURIED UTILITY LOCATIONS
1-800-424-5555

PROJECT LOCATION:
STREAM BELLINGHAM TOWNHOMES
3729 MERIDIAN ST
BELLINGHAM, WA 98225

DRAWING #: 21185SP7.DWG
DRAWN BY: NSP
DESIGNED BY: NSP
CHECKED BY: JPS

SHEET CONTENTS:
COVER SHEET

NICHOLAS SLADEK
STATE OF WASHINGTON
56442
REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY
4/13/2023

JOB #: 21185
DATE: 4-15-2023
SHEET: C1

SURVEYORS NOTES:

1. DATA FOR THIS SURVEY WAS GATHERED BY FIELD TRAVERSE UTILIZING ELECTRONIC DATA COLLECTION IN APRIL, MAY, & OCTOBER, 2021.
2. EQUIPMENT USED: LEICA MS60: 00"01" ±1 MM, ±1.5 PPM.
3. RELATIVE ACCURACY AND FIELD TRAVERSE CLOSURE EXCEEDS THE REQUIREMENTS OF WAC 332-130-085 AND WAC 332-130-090.
4. HORIZONTAL DATUM: NAD 83/98 AS PER CITY OF BELLINGHAM MONUMENTS
   VERTICAL DATUM: NAVD 88 CITY BENCHMARK #5835
5. PURPOSE OF SURVEY: TOPOGRAPHIC AS-BUILT SURVEY.
6. CONTOUR INTERVALS ARE 1 FOOT AND ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY UTILIZING ELECTRONIC DATA COLLECTION.
7. ELEVATION ACCURACY OF SURVEYED POINTS AND DIGITAL TERRAIN MODELS EXCEEDS THE STANDARDS PUT FORTH BY THE US ARMY CORPS OF ENGINEERS FOR CONSTRUCTION LAYOUT: 0.10 FEET IN ELEVATION MULTIPLIED BY THE DISTANCE FROM BENCHMARK TRAVERSED IN MILES, SQUARE-ROOTED, AND FOR WELL-DEFINED POINTS IN THE DIGITAL TERRAIN MODEL, PLUS OR MINUS HALF THE CONTOUR INTERVAL (0.5 FEET).

LEGAL DESCRIPTION:

PER CHICAGO TITLE COMPANY ORDER NO. 245444100

BEGINNING AT A POINT ON THE SOUTH LINE OF THE MCLEOD ROAD, 1242 FEET EAST OF THE POINT OF INTERSECTION OF SAID SOUTH LINE WITH THE NORTHEASTERLY LINE OF THE NORTHWEST DIAGONAL ROAD IN SECTION 13, TOWNSHIP 38 NORTH, RANGE 2 EAST OF WILLAMETTE MERIDIAN; THENCE SOUTH 200 FEET;
THENCE WEST 440 FEET; THENCE SOUTH 740 FEET; THENCE EAST 100 FEET; THENCE SOUTH 400 FEET;
THENCE EAST 300 FEET; THENCE SOUTH 320 FEET; THENCE EAST 40 FEET;
THENCE SOUTH 236.59 FEET; THENCE SOUTH 63°25' WEST 280.15 FEET TO THE NORTHEASTERLY LINE OF THE NORTHWEST DIAGONAL ROAD; THENCE SOUTH 26°07' EAST ALONG THE NORTHEASTERLY LINE OF SAID ROAD 80 FEET;
THENCE NORTH 63°25' EAST 240.8 FEET; THENCE SOUTH 26°35' EAST 597.1 FEET; THENCE NORTH 63°16' EAST 458.2 FEET; THENCE NORTH 53°48' EAST 304.14 FEET;
THENCE 63°16' EAST, 500 FEET; THENCE SOUTH 57°03' EAST, 151.03 FEET TO BEGINNING OF CURVE;
THENCE CURVING TO THE RIGHT 169.92 FEET RADIUS 480 FEET, ABOUT A CENTER LOCATED SOUTH 26°44' EAST AND 480
FEET DISTANT FROM THE BEGINNING OF CURVE; THENCE COMPOUNDING CURVING TO THE RIGHT 386.49 FEET, RADIUS 721.7 FEET, ABOUT A CENTER LOCATED 6°27' EAST
721.7 FEET DISTANT FROM THE POINT OF COMPOUND CURVE; THENCE SOUTH 65°46' EAST 63.3 FEET;
THENCE TANGENTIALLY CURVING TO THE LEFT, RADIUS 488 FEET, A DISTANCE OF 272.27 FEET TO A POINT 120 FEET DISTANT
AND NORTHWESTERLY AT RIGHT ANGLES FROM THE CENTER LINE OF THE BELLINGHAM AND NORTHERN RAILROAD;

THENCE NORTH 60°53' EAST 271.25 FEET TO THE WEST LINE OF THE GUIDE MERIDIAN ROAD, ALONG A LINE PARALLEL TO THE RAILROAD LINE AND 120 FEET DISTANT AND NORTHEASTERLY THEREFROM; THENCE NORTH 0°1' EAST ALONG THE WESTERLY LINE OF THE GUIDE MERIDIAN ROAD 1934.82 FEET TO THE SOUTH LINE OF THE MCLEOD ROAD; THENCE WEST ALONG THE SOUTH LINE OF THE MCLEOD ROAD, 2594.2 FEET TO THE POINT OF BEGINNING. IN THIS DESCRIPTION, THE MCLEOD ROAD IS ASSUMED TO BE AN EAST AND WEST LINE AND NORTH AND SOUTH TO BE EXACTLY AT RIGHT ANGLES TO SAID MCLEOD ROAD;

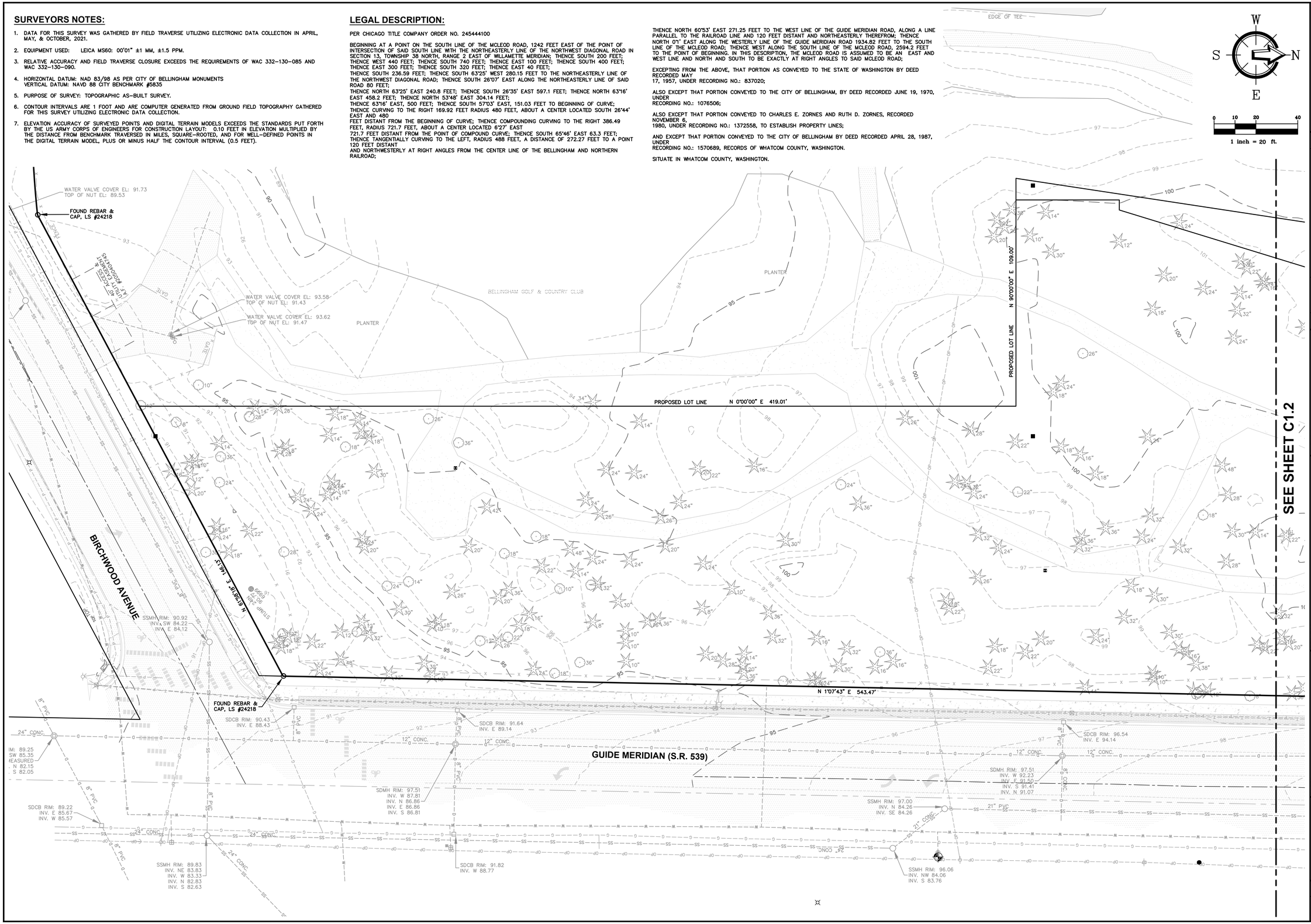
EXCEPTING FROM THE ABOVE, THAT PORTION AS CONVEYED TO THE STATE OF WASHINGTON BY DEED RECORDED MAY
17, 1957, UNDER RECORDING NO.: 837020;

ALSO EXCEPT THAT PORTION CONVEYED TO THE CITY OF BELLINGHAM, BY DEED RECORDED JUNE 19, 1970, UNDER
RECORDING NO.: 1076506;

ALSO EXCEPT THAT PORTION CONVEYED TO CHARLES E. ZORNES AND RUTH D. ZORNES, RECORDED NOVEMBER 6,
1980, UNDER RECORDING NO.: 1372558, TO ESTABLISH PROPERTY LINES;

AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF BELLINGHAM BY DEED RECORDED APRIL 28, 1987, UNDER
RECORDING NO.: 1570689, RECORDS OF WHATCOM COUNTY, WASHINGTON.

SITUATE IN WHATCOM COUNTY, WASHINGTON.



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Bellingham, WA 98225 f: 360.650.1401
FREELAND & ASSOCIATES

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999 N NORTHLAKE WAY SUITE 200
SEATTLE, WA 98103

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3729 MERIDIAN ST
BELLINGHAM, WA 98225

DRAWING #: 21185SP7.DWG
DRAWN BY: NSP
DESIGNED BY: NSP
CHECKED BY: JPS

SHEET CONTENTS:
EXISTING CONDITIONS SOUTH

NICHOLAS SLADEK
STATE OF WASHINGTON
56442
REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY
4/15/2023

JOB #: 21185
DATE: 4-15-2023
SHEET: C1.1

W
S
N
E

0 10 20 40
1 inch = 20 ft.

220 West Champion Street, Suite 200 t: 360.650.1408
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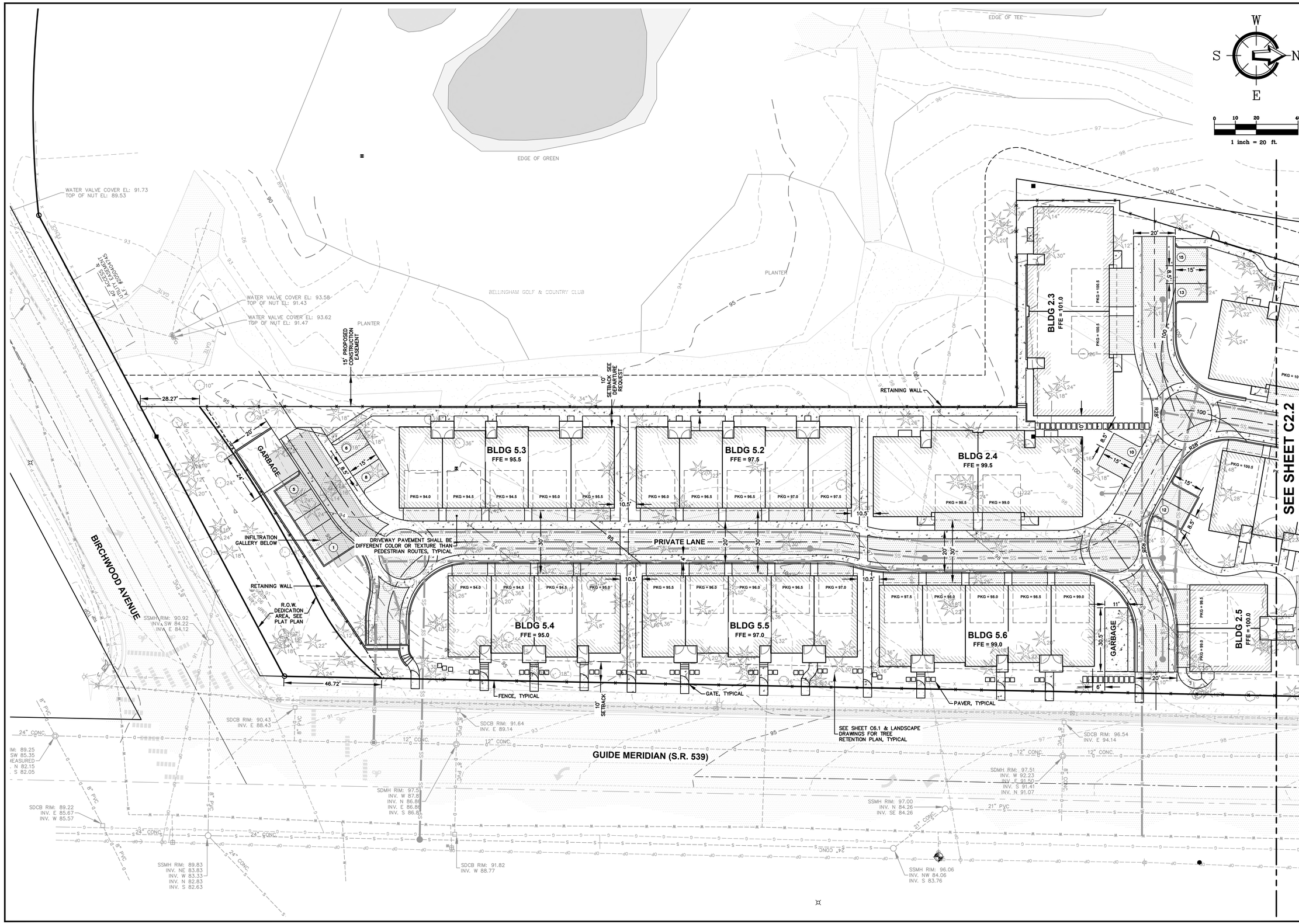
STREAM BELLINGHAM TOWNHOMES
3729 MERIDIAN ST
BELLINGHAM, WA 98225

DRAWING #: 21185SSP7.DWG
DRAWN BY: NSP
DESIGNED BY: NSP
CHECKED BY: JPS

SHEET CONTENTS:
EXISTING CONDITIONS NORTH

NICHOLAS SLADEK
STATE OF WASHINGTON
56442
REGISTERED PROFESSIONAL ENGINEER
4/15/2023
PRELIMINARY

JOB #: 21185
DATE: 4-15-2023
SHEET: C1.2



220 West Champion Street, Suite 200 t: 360.650.1408
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FREELAND & ASSOCIATES

REV:	DATE:	DESCRIPTION:	BY:

CLIENT:
STREAM REAL ESTATE DEVELOPMENT & INVESTMENT
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FOR BURIED UTILITY LOCATIONS
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PROJECT LOCATION:
STREAM BELLINGHAM TOWNHOMES
3729 MERIDIAN ST
BELLINGHAM, WA 98225

DRAWING #: 21185SP7.DWG
DRAWN BY: NSP
CHECKED BY: JPS
DESIGNED BY: NSP

SHEET CONTENTS:
SITE PLAN SOUTH

NICHOLAS SLADEK
STATE OF WASHINGTON
56442
REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY
4/15/2023

JOB #: 21185
DATE: 4-15-2023
SHEET: C2.1

220 West Champion Street, Suite 200 t: 360.650.1408
Bellingham, WA 98225 f: 360.650.1401
FREELAND & ASSOCIATES

REV:	DATE:	DESCRIPTION:	BY:

CLIENT:
STREAM REAL ESTATE DEVELOPMENT & INVESTMENT
999 N NORTHLAKE WAY SUITE 200
SEATTLE, WA 98103

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1-800-424-5555

PROJECT LOCATION:
STREAM BELLINGHAM TOWNHOMES
3729 MERIDIAN ST
BELLINGHAM, WA 98225

DRAWING #: 21185SP7.DWG
DRAWN BY: NSP
DESIGNED BY: NSP
CHECKED BY: JPS

SHEET CONTENTS:
SITE PLAN
NORTH

NICHOLAS SLADEK
STATE OF WASHINGTON
56442
REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY
4/15/2023

JOB #: 21185
DATE: 4-15-2023
SHEET: **C2.2**

220 West Champion Street, Suite 200 t: 360.650.1408
Bellingham, WA 98225 f: 360.650.1401
FREELAND & ASSOCIATES

REV:	DATE:	DESCRIPTION:	BY:

CLIENT:
STREAM REAL ESTATE DEVELOPMENT & INVESTMENT
999 N NORTHLAKE WAY SUITE 200
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CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS 1-800-424-5555

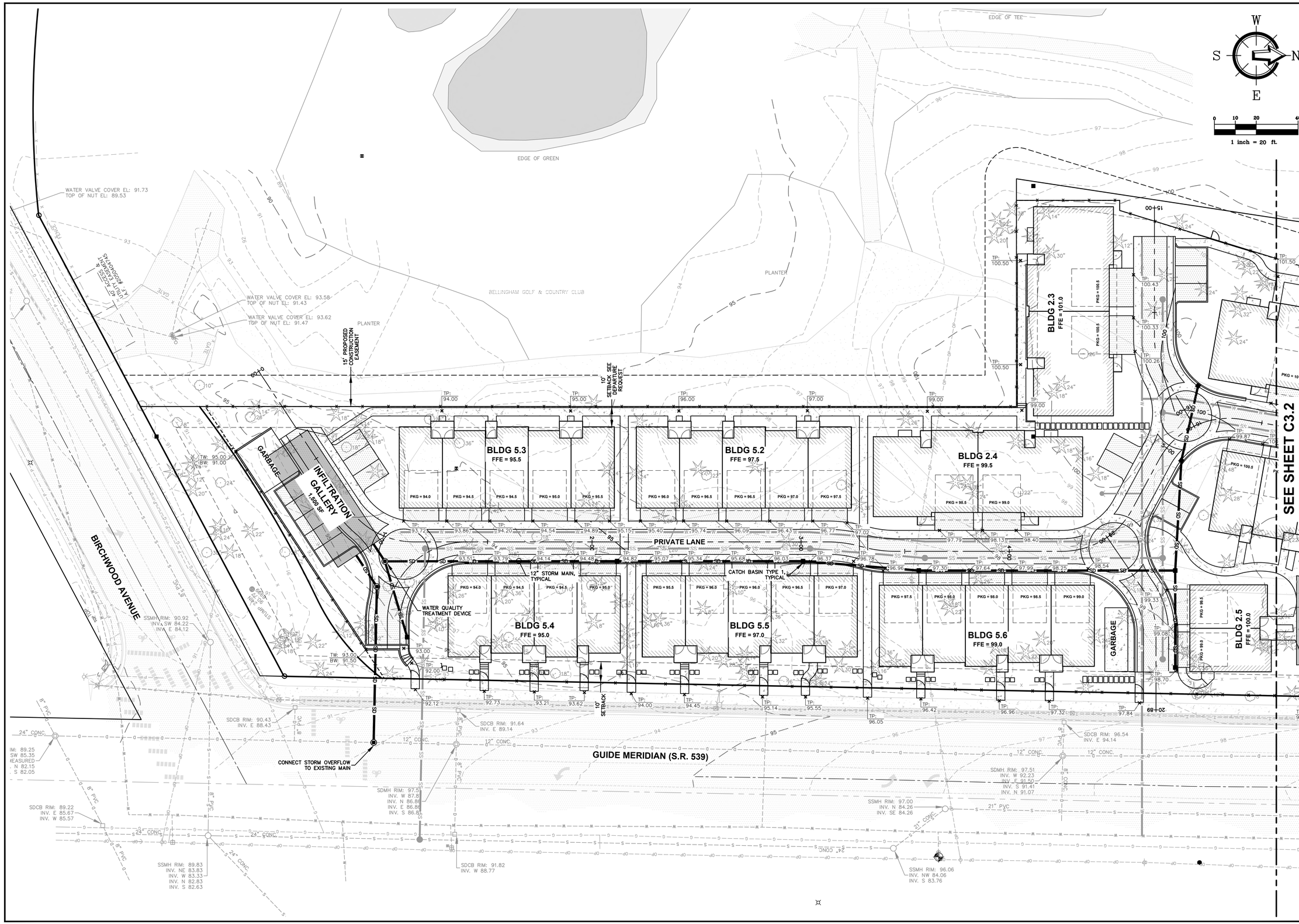
PROJECT LOCATION:
STREAM BELLINGHAM TOWNHOMES
3729 MERIDIAN ST
BELLINGHAM, WA 98225

DRAWING #: 21185SP7.DWG
DRAWN BY: NSP
DESIGNED BY: NSP
CHECKED BY: JPS

SHEET CONTENTS:
NORTH FRONTAGE IMPROVEMENTS

NICHOLAS SLADEK
STATE OF WASHINGTON
56448
REGISTERED PROFESSIONAL ENGINEER
4/15/2023
PRELIMINARY

JOB #: 21185
DATE: 4-15-2023
SHEET: C2.3



220 West Champion Street, Suite 200 t: 360.650.1408
Bellingham, WA 98225 f: 360.650.1401
FREELAND & ASSOCIATES

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SHEET CONTENTS:
GRADING & DRAINAGE PLAN
SOUTH

NICHOLAS SLADEK
STATE OF WASHINGTON
56442
REGISTERED PROFESSIONAL ENGINEER
4/13/2023
PRELIMINARY

JOB #: 21185
DATE: 4-15-2023
SHEET: C3.1

220 West Champion Street, Suite 200 t: 360.650.1408
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BELLINGHAM, WA 98225

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SHEET CONTENTS:
GRADING & DRAINAGE PLAN NORTH

NICHOLAS SLADEK
STATE OF WASHINGTON
56442
REGISTERED PROFESSIONAL ENGINEER
4/15/2023

PRELIMINARY

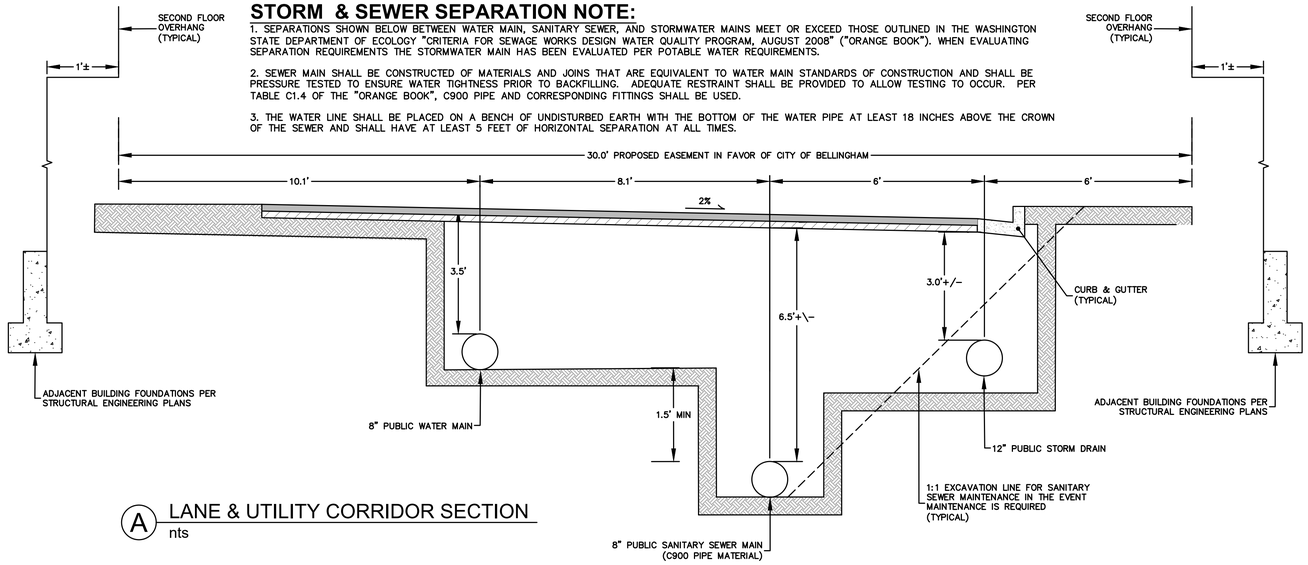
JOB #: 21185
DATE: 4-15-2023
SHEET: **C3.2**

STORM & SEWER SEPARATION NOTE:

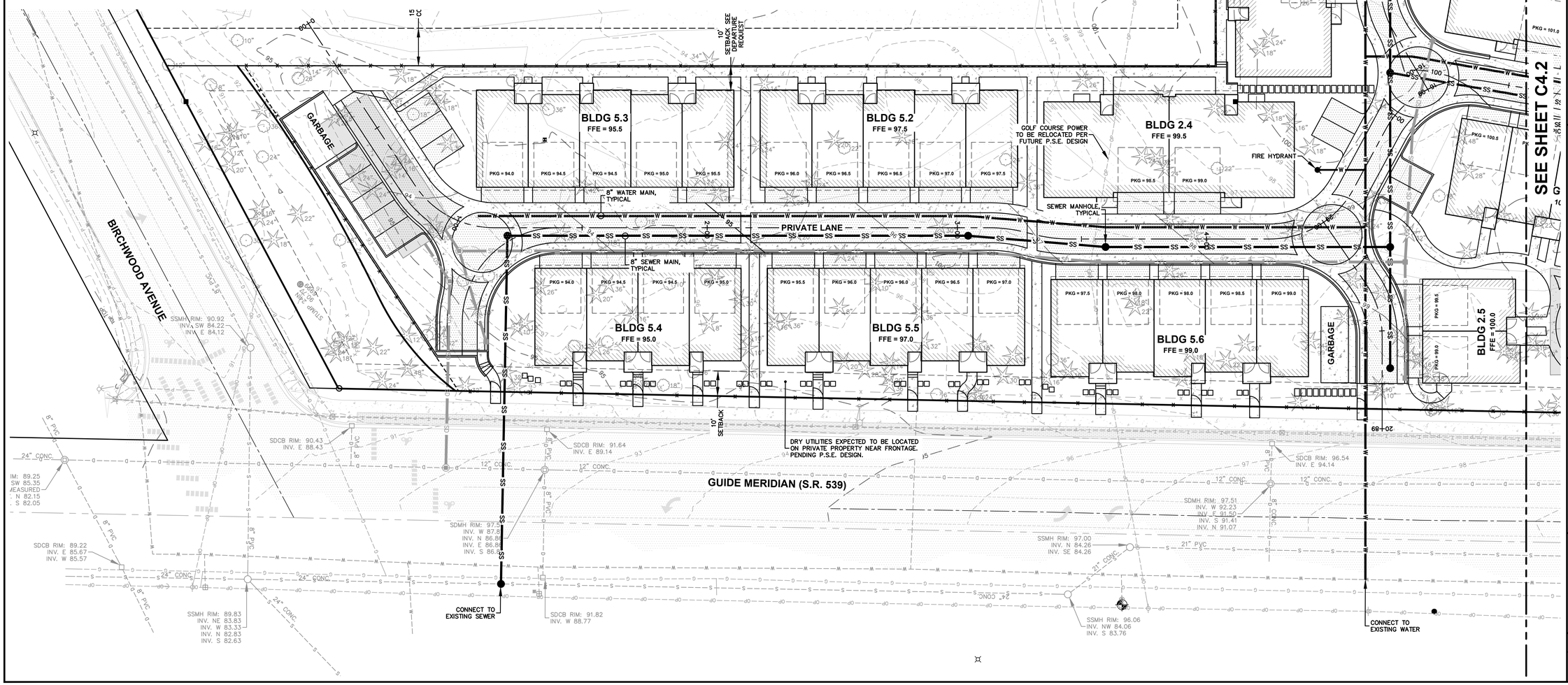
1. SEPARATIONS SHOWN BELOW BETWEEN WATER MAIN, SANITARY SEWER, AND STORMWATER MAINS MEET OR EXCEED THOSE OUTLINED IN THE WASHINGTON STATE DEPARTMENT OF ECOLOGY "CRITERIA FOR SEWAGE WORKS DESIGN WATER QUALITY PROGRAM, AUGUST 2008" ("ORANGE BOOK"). WHEN EVALUATING SEPARATION REQUIREMENTS THE STORMWATER MAIN HAS BEEN EVALUATED PER POTABLE WATER REQUIREMENTS.

2. SEWER MAIN SHALL BE CONSTRUCTED OF MATERIALS AND JOINS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION AND SHALL BE PRESSURE TESTED TO ENSURE WATER TIGHTNESS PRIOR TO BACKFILLING. ADEQUATE RESTRAINT SHALL BE PROVIDED TO ALLOW TESTING TO OCCUR. PER TABLE C1.4 OF THE "ORANGE BOOK", C900 PIPE AND CORRESPONDING FITTINGS SHALL BE USED.

3. THE WATER LINE SHALL BE PLACED ON A BENCH OF UNDISTURBED EARTH WITH THE BOTTOM OF THE WATER PIPE AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER AND SHALL HAVE AT LEAST 5 FEET OF HORIZONTAL SEPARATION AT ALL TIMES.



A LANE & UTILITY CORRIDOR SECTION
nts



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3729 MERIDIAN ST
BELLINGHAM, WA 98225

DRAWING #: 21185SP7.DWG
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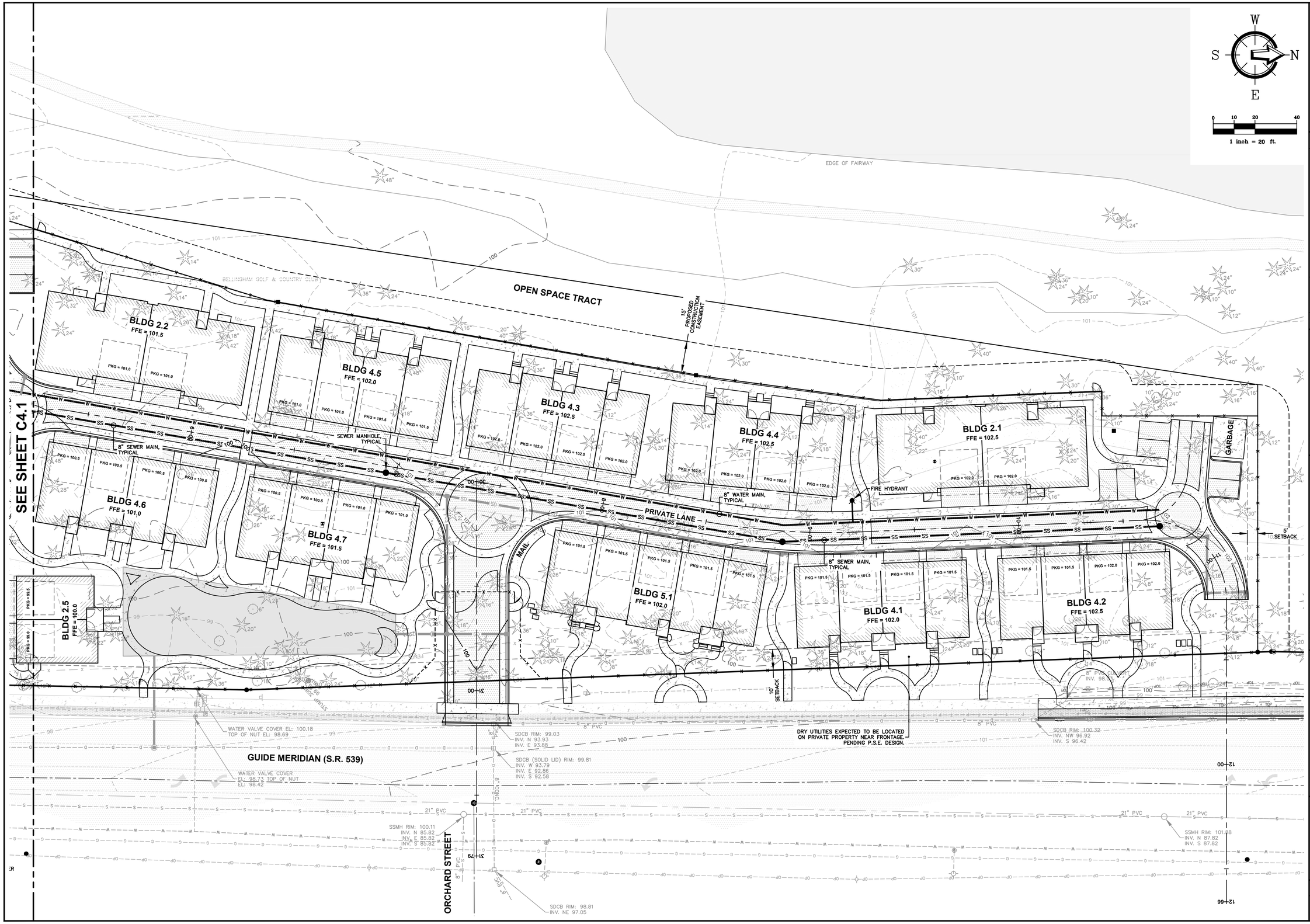
SHEET CONTENTS:
UTILITY PLAN SOUTH

NICHOLAS SLADEK
STATE OF WASHINGTON
56442
REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY
4/15/2023

JOB #: 21185
DATE: 4-15-2023
SHEET: C4.1



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BELLINGHAM, WA 98225

DRAWING #: 21185SSP7.DWG
DRAWN BY: NSP
DESIGNED BY: NSP
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SHEET CONTENTS:
UTILITY PLAN NORTH

NICHOLAS SLADEK
STATE OF WASHINGTON
56442
REGISTERED PROFESSIONAL ENGINEER
4/15/2023
PRELIMINARY

JOB #: 21185
DATE: 4-15-2023
SHEET: **C4.2**

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PROJECT LOCATION:
STREAM BELLINGHAM TOWNHOMES
3729 MERIDIAN ST
BELLINGHAM, WA 98225

DRAWN BY: NSP
CHECKED BY: JPS
DRAWING #: 21185SP7.DWG
DESIGNED BY: NSP

SHEET CONTENTS:
PRELIMINARY PLAT MAP SOUTH

NICHOLAS SLADEK
STATE OF WASHINGTON
56442
REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY
4/15/2023

JOB #: 21185
DATE: 4-15-2023
SHEET: C5.1

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0 10 20 40
1 inch = 20 ft.

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REV:	DATE:	DESCRIPTION:	BY:

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PROJECT LOCATION:
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BELLINGHAM, WA 98225

DRAWING #: 21185SP7.DWG
DRAWN BY: NSP
DESIGNED BY: NSP
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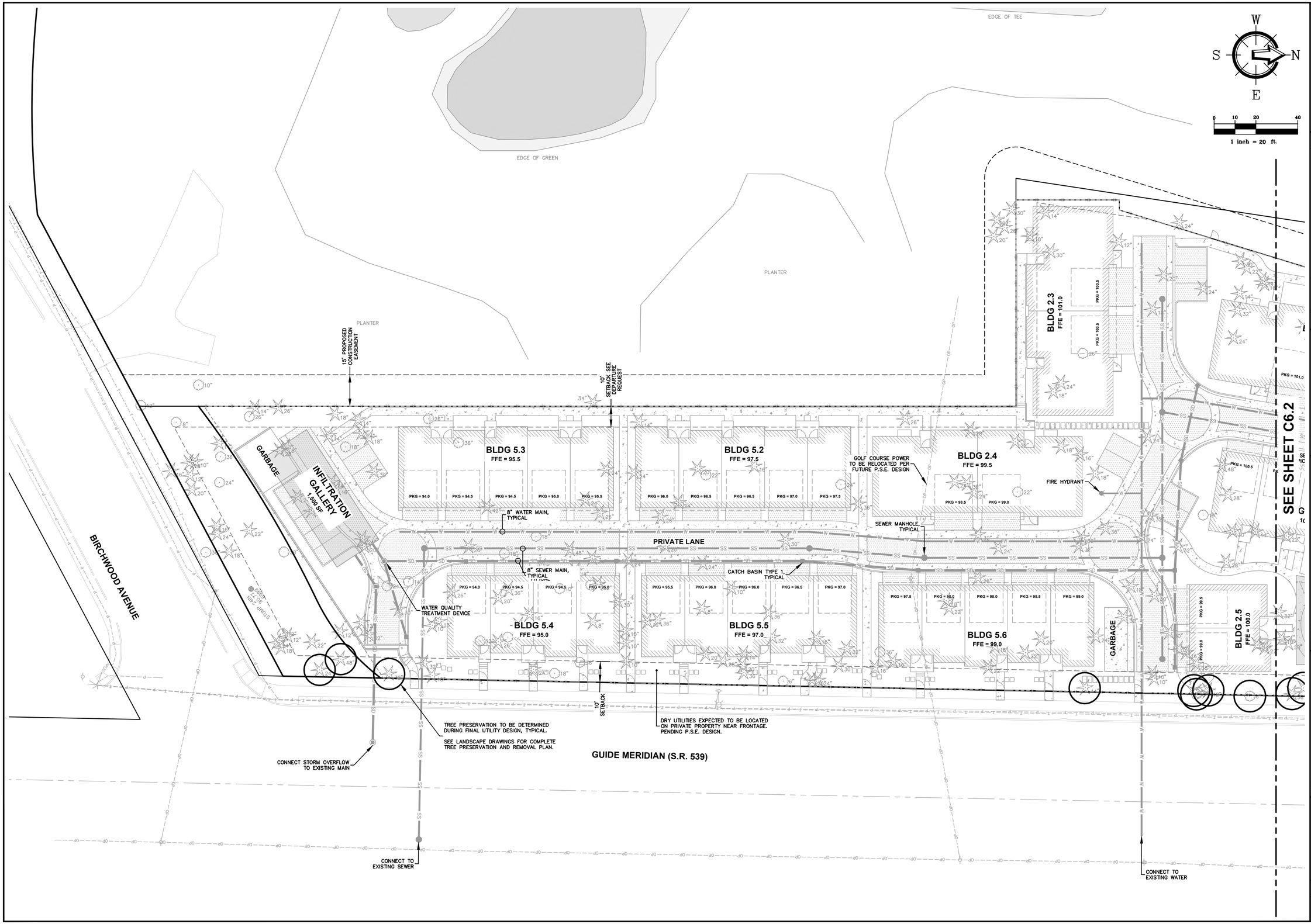
SHEET CONTENTS:
PRELIMINARY PLAT MAP NORTH

NICHOLAS SLADEK
STATE OF WASHINGTON
56448
REGISTERED PROFESSIONAL ENGINEER
4/13/2023
PRELIMINARY

JOB #: 21185
DATE: 4-15-2023
SHEET: C5.2



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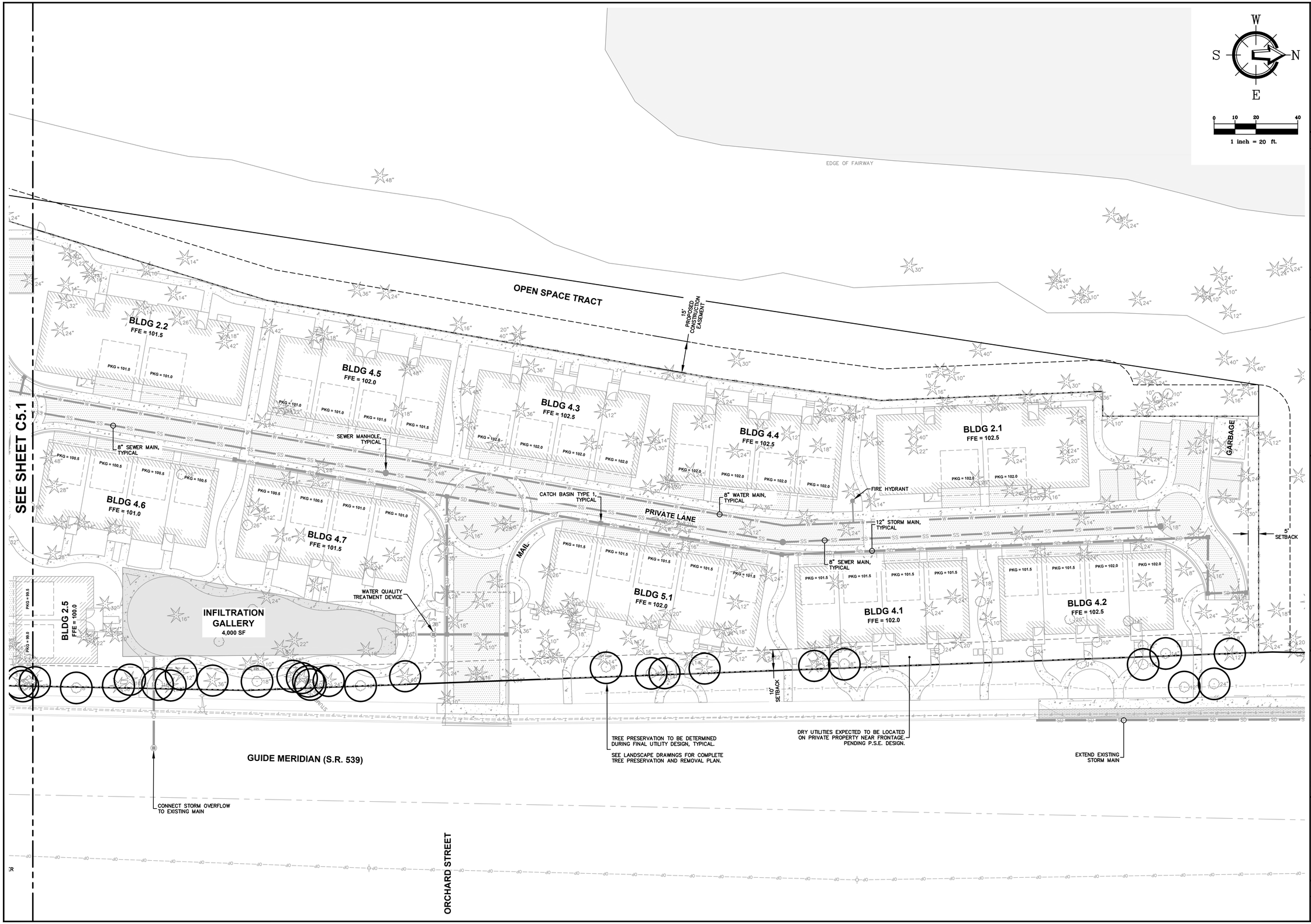
SHEET CONTENTS:
TREE & UTILITY PLAN SOUTH

NICHOLAS SLADEK
STATE OF WASHINGTON
56442
REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY
4/15/2023

JOB #: 21185
DATE: 4-15-2023
SHEET: C6.1



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BELLINGHAM, WA 98225

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SHEET CONTENTS:
TREE & UTILITY PLAN NORTH

NICHOLAS SLADEK
STATE OF WASHINGTON
56442
REGISTERED PROFESSIONAL ENGINEER
4/13/2023
PRELIMINARY

JOB #: 21185
DATE: 4-15-2023
SHEET:
C6.2

REMOVED + RETENTION TREE CALCULATIONS / LEGEND					
TREE SYMBOL					
	EVERGREEN TO REMAIN	EVERGREEN REMOVED	DECIDOUS TO REMAIN	DECIDUOUS REMOVED	TOTALS
ON PROPERTY	51	295	12	36	394
ROW- MERIDIAN	1	1	1	3	**6**
TOTALS	52	296	13	39	400

1 ALL EXISTING TREES ON SITE
Scale: 1" = 40'-0"

LEGEND:

	FURURE ROUNDABOUT IMPROVEMENT AREA
	IN PROPERTY
	ROW

NET SUMMARY REMOVED + REMAIN + PROPOSED					
	EVERGREEN 6"-30"	DECIDUOUS 6"-30"	EVERGREEN + 30"	DECIDUOUS + 30"	**TOTALS**
REMOVED	-228	-36	-68	-3	-335
TO REMAIN	35	11	17	2	65
PROPOSED	2+6*	72			80
NET LOSS/GAIN	-185	50	-51	-1	-187

NOTE: 6* PROPOSED NARROW EVERGREEN TREES CALCULATED AS PLANTS 2' AND TALLER. NOT CALCULATED AS TREES IN GREEN FACTOR. IN GREEN FACTOR CALCULATION TOTAL PROPOSED TREE AMOUNT IS 74.

LEGEND:

	Proposed LargeTree
	Proposed Medium Street Tree
	Proposed Midium Tree
	Proposed Small Decidous Tree

2 PROPOSED TREES + EXISTING TREES TO REMAIN
Scale: 1" = 40'-0"

KIM ROONEY
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Seattle, Wa. 98199
office: 206-920-1323

STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
KIM E. ROONEY
CERTIFICATE NO. 958

ISSUE DATE: 07/29/22
REISSUE DATE: 01/13/23
REISSUE DATE: 04/17/23
REISSUE DATE: 09/13/23

PROJECT NAME:

STREAM BELLINGHAM TOWNHOMES
3726 Meridian Street
Bellingham, Washington 98225

SHEET NAME:

TREE CALCULATIONS - REMOVED/ REMAIN/ PROPOSED

SCALE:
1"=40'-0"

SHEET NUMBER:
L-0.TC

Oregon White Oak
Quercus garryana

Japanese Zelkova
Zelkova serrata

COMMON AREA TREES - POSSIBLE TREE LIST

Eddie's White Wonder Dogwood
Cornus 'Eddie's White Wonder'

Japanese snowdrop
Styrax japonica

Autumn Brilliance Serviceberry
Amelanchier x grandiflora 'Autumn Brilliance'

Saucer Magnolia
Magnolia x Soulangiana

Little Gem Magnolia
Magnolia grandiflora "Little Gem"

Claim Jumper Kasura Tree
Cercidiphyllum japonicum
'Claim Jumper'

Slender Hinoki Cypress
Chamaecyparis obtusa
'Gracilis'

Weeping Alaska Cedar
Chamaecyparis nootkatensis

Hoopsii Blue Spruce
Picea pungens 'Hoopsii'

1 LARGE TREE (Canopy Spread 30') GREEN FACTOR AREA=100 SF

Proposed at Pocket Park Entrance

Botaninc Name	Common Name	Size/ Space
Quercus garryana	Oregon White Oak	2.5" min/50' oc
Zelkova serrata	Japanese Zelkova	2.5" min/50'oc

10 MEDIUM TREES (Canopy Spread 25') GREEN FACTOR AREA=300 SF

Proposed along Driveways and Common Areas by Parking and Garbage Enclosure

Botaninc Name	Common Name	Size/ Space
Cornus "Eddies White Wonder"	Eddie's White Wonder Dogwood	2.5"/25'oc
Styrax japonica	Japanese Snowball	2.5"/25'oc
Amelancier canadensis	Apple Serviceberry	2.5"/25'oc
Cratagus phaenopyrum	Washington Hawthorn	2.5"/25'oc

42 SMALL TREES (Canopy Spread 15') GREEN FACTOR AREA=630 SF

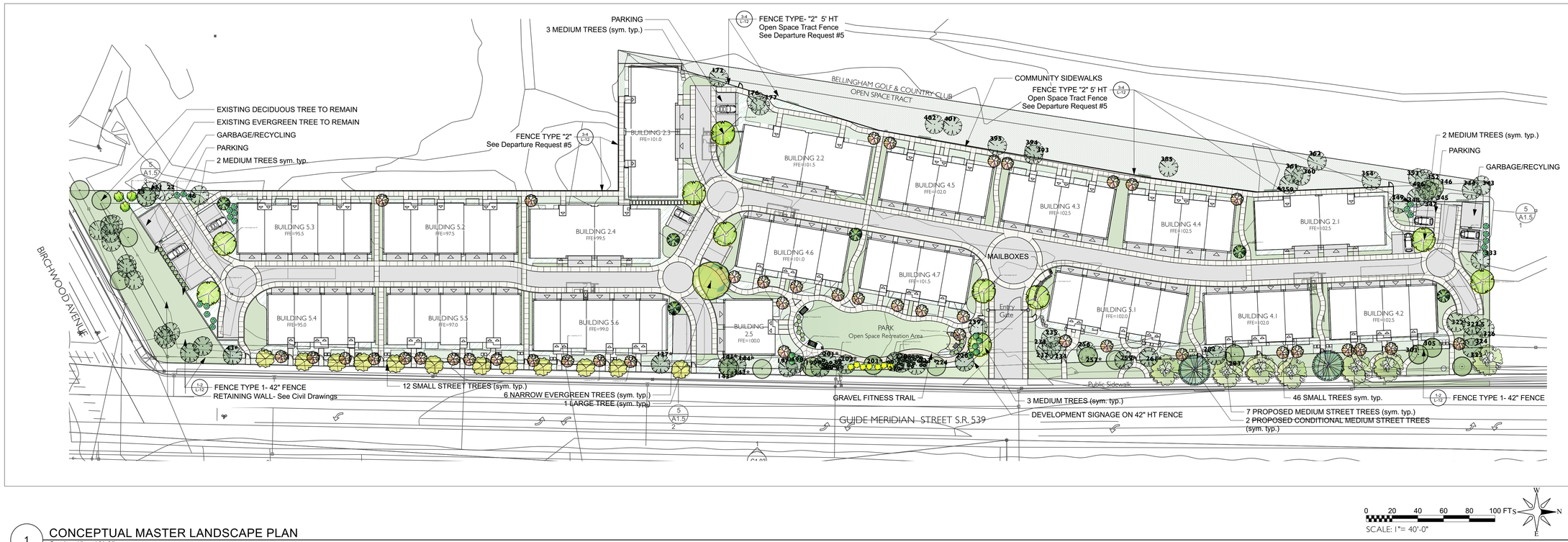
No less than 6' ht. at time of installation with min. 1" caliper measured one foot above grade
Proposed within or Near Private Yard Spaces

Botaninc Name	Common Name	Space
Acer palmutum	Upright Japanese Maple	12'-15'oc
Magnolia x Soulangiana	Saucer Magnolia	15'oc
Magnolia	Little Gem Magnolia Tree	10-15'oc
Malus adirondack	Adirocdack Crabapple	12'-15'oc
Prunus x hilleri Spire	Spire Cherry Tree	12'-15'oc
Cercidiphyllum japon. 'Claim Jumper'	Claim Jumper' Katsura Tree	15'oc

6-NARROW EVERGREEN TREES (Plants 2' or taller) GREEN FACTOR=34 SF

Proposed between building where space allows

Botaninc Name	Common Name	Size/ Space
Chamaecyparis obtusa 'Gracilis'	Slender Hinoki Cypress	6'-8'/ 10' oc
Cupressus nootkatensis 'Van den Akker'	Van den Akker Weeping Alaska Cedar	6'-8' ht /15' oc
Picea pungens 'Hoopsii'	Hoopsii Blue Spruce	6'-8' ht/10'oc-20'oc
Picea abies 'Cupressina'	Columnar Norway Spruce	6'-8' ht/ 10'oc



1 CONCEPTUAL MASTER LANDSCAPE PLAN
Scale: 1" = 40'-0"

0 20 40 60 80 100 FT
SCALE: 1"= 40'-0"

21 RIGHT OF WAY PLANTING -POSSIBLE TREE LIST

Required: 1tree per every 50 lin.ft. = 20 Required / 21 Proposed - PER CODE: STREET TREES SHALL BE NO LESS THAN 10' HT AND HAVE A MIN. CALIPER OF 2.5" MEASURED 1' ABOVE GRADE

12- SMALL STREET TREES 2.5" min cal. GREEN FACTOR AREA=180 SF

Possible columnar and/or narrow City of Bellingham Approved Street trees for the South end of project site

Botanic Name	Common Name	Space
Carpinus japonica	Japanese Hornbeam	20' w
Gingko biloba 'Princeton Sentry'	Princeton Sentry Maiden Hair Tree	15' w
Quercus robur 'Crimson Spire'	Crimson Spire Oak	15' w

Japanese Hornbeam
Cercidphyllum japonicum

Princeton Sentry Gingko
Gingko biloba
'Princeton Sentry'

Crimson Spire Oak
Quercus robur 'Crimson Spire'

2- CONDITIONAL MEDIUM STREET TREES GREEN FACTOR AREA=120SF

Proposed between building for screening of Meridian

Botanic Name	Common Name	Size / Space
Thuja plicata var. Excelsa	Excelsa Western Red Cedar	10'/ 20'oc
Pseudotsuga menziesii	Douglas Fir	10' 20-25'oc

Excelsa Western Red Cedar
Thuja plicata var. Excelsa

Douglas Fir
Pseudotsuga menziessii

7- MEDIUM STREET TREES GREENFACTOR AREA =420 SF

Proposed in areas with planting strip greater than 5' wide

Botanic Name	Common Name	Size / Space
Carpinus betulus	European Hornbeam	2.5"min/25-30'
Fraxinus pennsylvanicq 'Patmore'	Patmore Ash	2.5"min/30-35'
Koelreuteria paniculata	Golden Rain Tree	2.5 "min/30-35'

European hornbeam
Carpinus betulus

Patmore Ash
Fraxinus pennsylvanica "Patmore"

Golden Rain Tree
Koelreuteria paniculata

SEE SHEET L-11 FOR GREENFACTOR TOTAL SCORE

GENERAL NOTES:
1. No landscape bed shall have artificial impervious materials underneath the surface bed
2. Provisions should be taken to ensure proper drainage.
3. All trees over 8' should be staked for less than one year.
4. No fencing shall be placed between units.

LEGEND :

	Existing Deciduous Tree to Remain as possible
	Existing Evergreen Tree to Remain as possible
	Proposed Planting Areas
	Proposed Concrete Sidewalks, Road Pavement Details, + Driveways
	Proposed Common Area Lawn
	Proposed Private Lawn
	Proposed Open Space Easement
	Asphalt- Road- Drive lane, Parking, Garbage Areas.
	Proposed Fence / Gate

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ISSUE DATE: 7/29/22
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REISSUE DATE: 09/13/23

PROJECT NAME:

STREAM BELLINGHAM TOWNHOMES
3726 Meridian Street
Bellingham, Washington 98225

SHEET NAME:

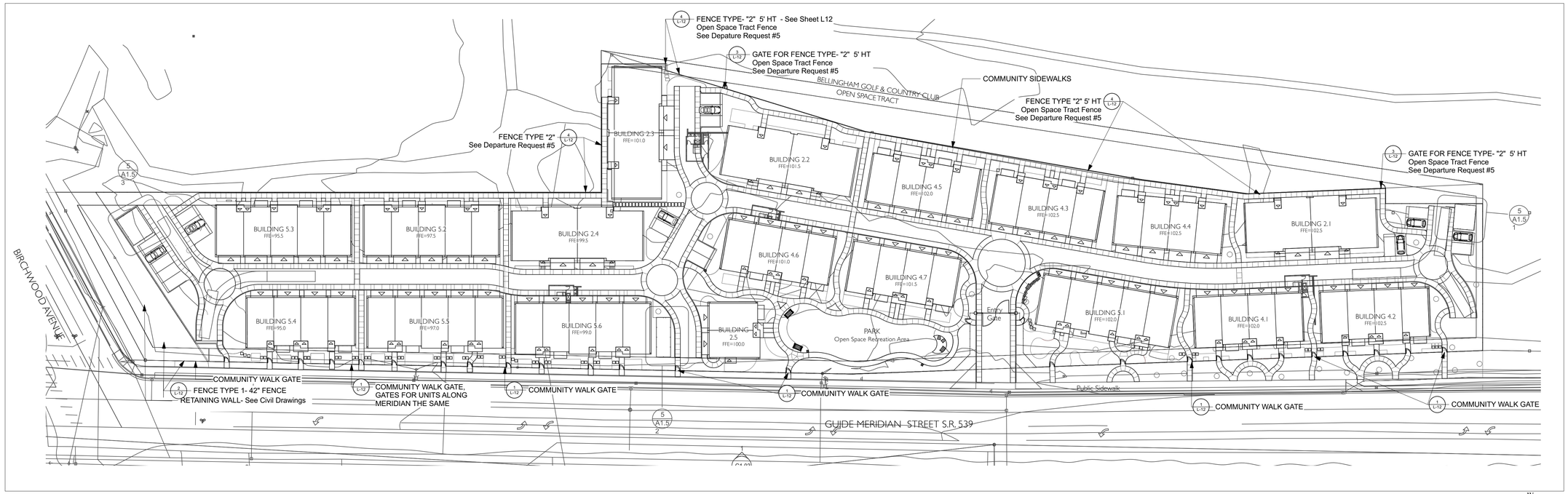
CONCEPTUAL LANDSCAPE PLAN
PROPOSED TREES

SCALE: 1"=40'-0"

SHEET NUMBER:

L-1.A

1 FENCE ELEVATION AT BUILDING 5.2
Scale: 1/8" = 1'-0"



2 FENCE AND GATE PLAN
Scale: 1" = 40'-0"

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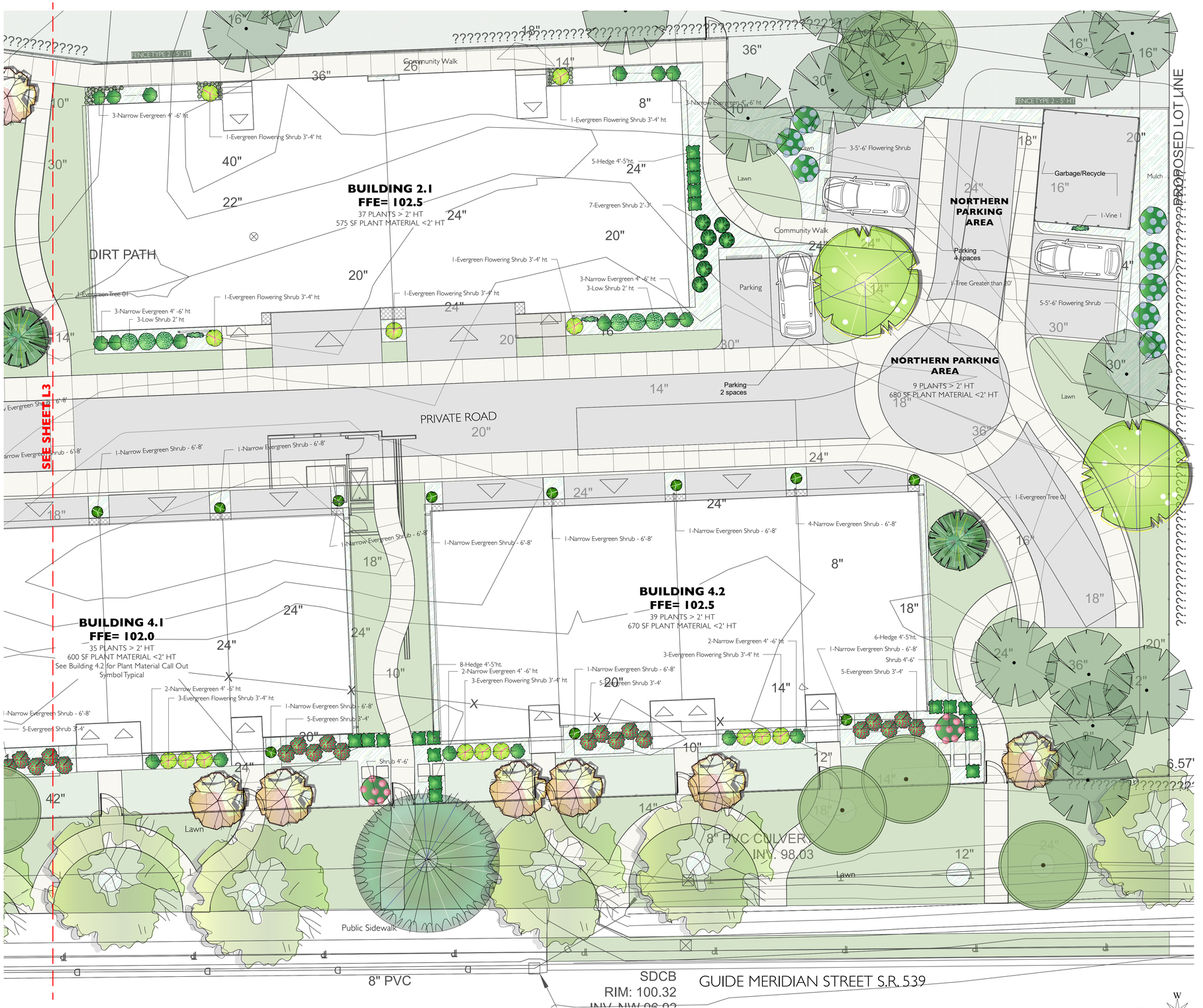
SHEET NAME:

CONCEPTUAL LANDSCAPE PLAN
PROPOSED TREES

SCALE: 1"=40'-0"

SHEET NUMBER:

L-1.B



1 LANDSCAPE PLAN - NORTHERN PARKING AND BUILDINGS 2.1, 4.1, + 4.2
Scale: 1/8" = 1'-0"

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3726 Meridian Street
Bellingham, Washington 98225

SHEET NAME:

CONCEPTUAL LANDSCAPE PLAN
Northern Parking Area + Buildins 2.1, 4.1, 4.2

SCALE: 1/8" = 1'-0"

SHEET NUMBER:

L-2

1 LANDSCAPE PLAN - BUILDINGS 4.3, 4.4 + 5.1
Scale: 1/8" = 1'-0"

0 10 15 20 25 FT
SCALE: 1/8"=1'-0"

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3726 Meridian Street
Bellingham, Washington 98225

SHEET NAME:

CONCEPTUAL LANDSCAPE PLAN
BUILDINGS 4.3, 4.4, + 5.1

SCALE: 1/8" = 1'-0"

SHEET NUMBER:

L-3

1 LANDSCAPE PLAN - BUILDINGS 2.2, 4.5, 4.6 + 4.7
Scale: 1/8" = 1'-0"

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3726 Meridian Street
Bellingham, Washington 98225

SHEET NAME:

CONCEPTUAL LANDSCAPE PLAN
BUILDINGS
2.2, 4.5, 4.6 + 4.7

SCALE: 1/8" = 1'-0"

SHEET NUMBER:

L-4

1 LANDSCAPE PLAN - BUILDINGS 2.3 + 2.4
Scale: 1/8" = 1'-0"

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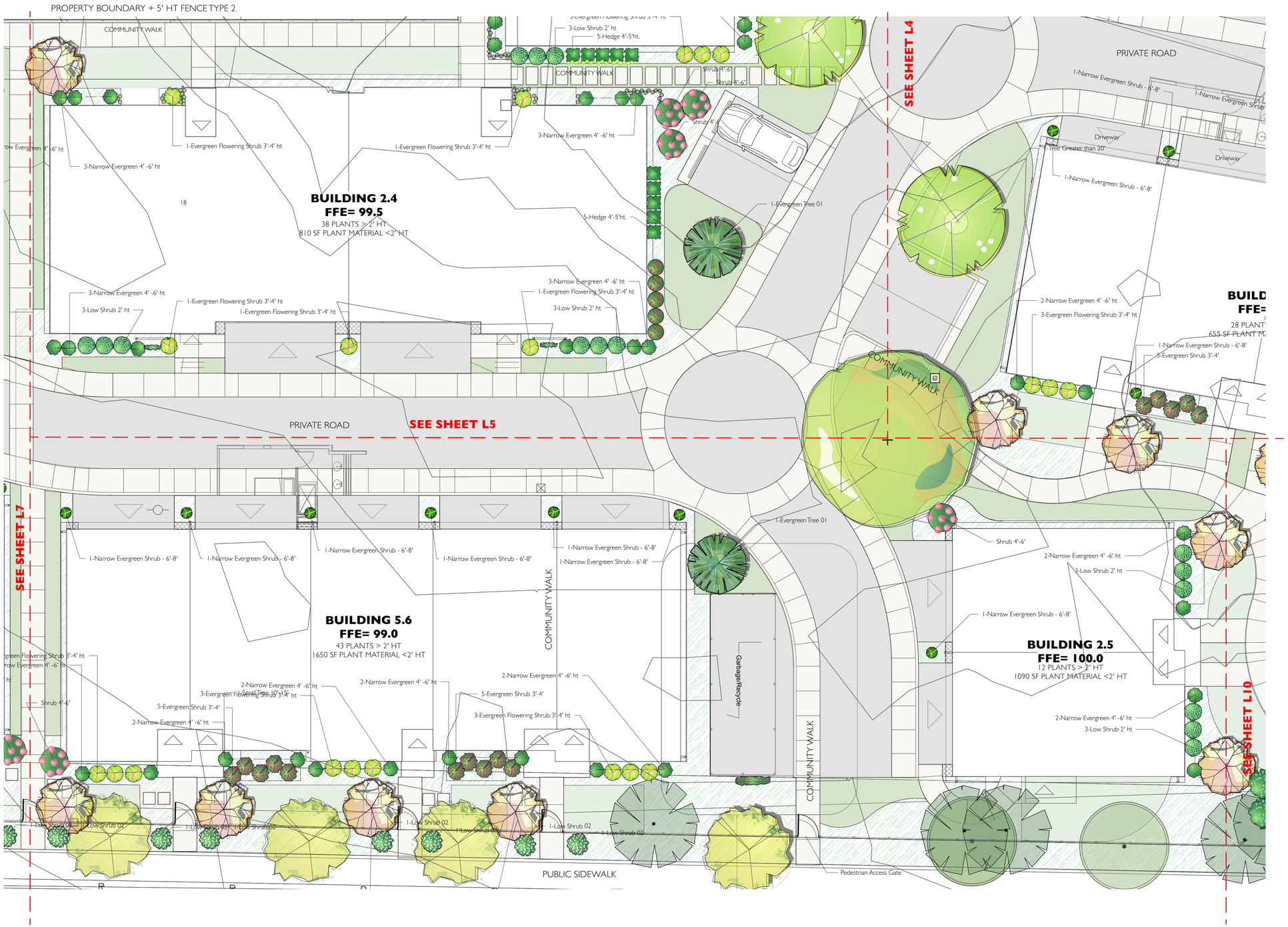
SHEET NAME:

CONCEPTUAL LANDSCAPE PLAN
CENTRAL PARKING + 2.3 + 2.4

SCALE: 1/8" = 1'-0"

SHEET NUMBER:

L-5



1 LANDSCAPE PLAN - BUILDINGS 5.6 + 2.5
Scale: 1/8" = 1'-0"

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STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
KIM E. ROONEY
CERTIFICATE NO. 958

ISSUE DATE: 7/29/22
REISSUE DATE: 01/13/23
REISSUE DATE: 04/17/23
REISSUE DATE: 09/13/23

PROJECT NAME:

STREAM BELLINGHAM TOWNHOMES
3726 Meridian Street
Bellingham, Washington 98225

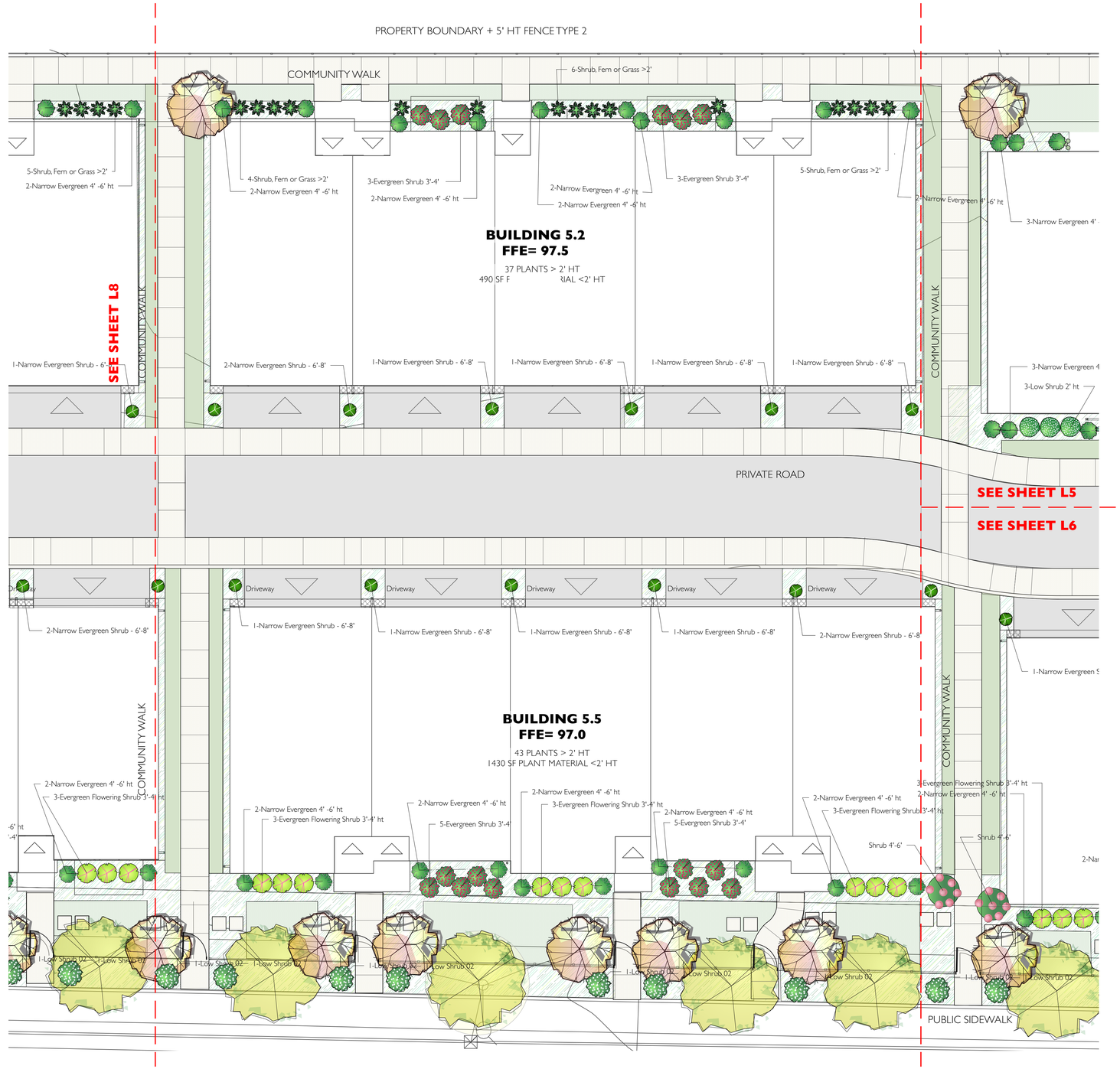
SHEET NAME:

CONCEPTUAL LANDSCAPE PLAN
BUILDING 2.5+ 5.6

SCALE: 1/8" = 1'-0"

SHEET NUMBER:

L-6



0 10 15 20 25 FT

W S N E

1 LANDSCAPE PLAN - BUILDINGS 5.2 + 5.5
Scale: 1/8" = 1'-0"

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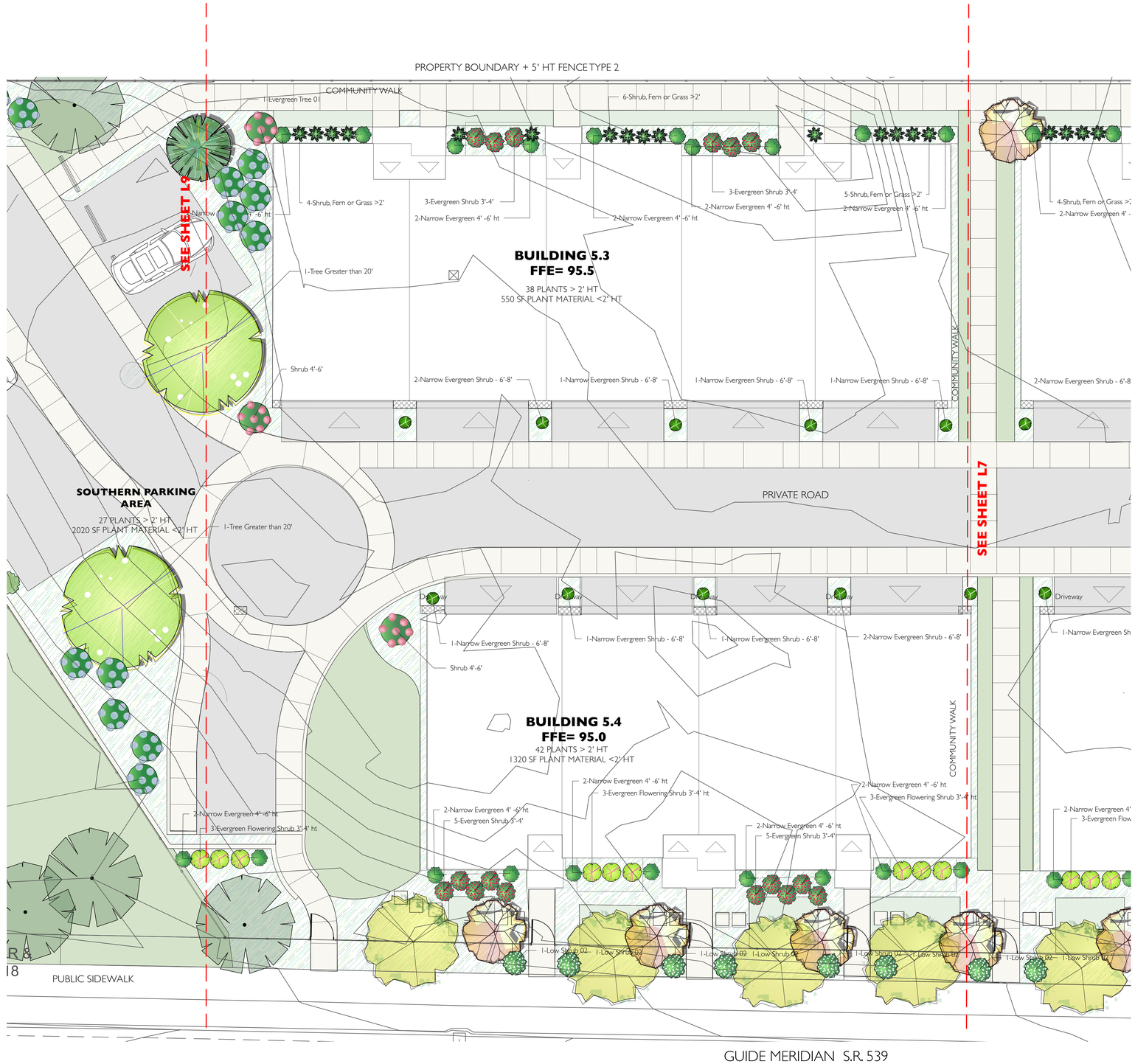
SHEET NAME:

CONCEPTUAL LANDSCAPE PLAN
BUILDING 5.2+ 5.5

SCALE: 1/8" = 1'-0"

SHEET NUMBER:

L-7



1 LANDSCAPE PLAN BUILDINGS 5.3 + 5.4
Scale: 1/8" = 1'-0"

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STREAM BELLINGHAM TOWNHOMES
3726 Meridian Street
Bellingham, Washington 98225

SHEET NAME:

CONCEPTUAL LANDSCAPE PLAN
BUILDINGS 5.3 + 5.4

SCALE: 1/8" = 1'-0"

SHEET NUMBER:

L-8

1 LANDSCAPE PLAN - SOUTH PARKING COMMON AREA
Scale: 1/8" = 1'-0"

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STREAM BELLINGHAM TOWNHOMES
3726 Meridian Street
Bellingham, Washington 98225

SHEET NAME:

CONCEPTUAL LANDSCAPE PLAN
Southern Parking Area

SCALE: 1/8" = 1'-0"

SHEET NUMBER:

L-9

NEIGHBORHOOD POCKET PARK- MICRO GATHERING AREAS
PLACES TO CONNECT WITH NEIGHBORS FRONT PORCH AND/OR BACK YARD SITE FURNISHING

Hammock or Swings on Modern Pergola

Hammock or Swings on Modern Pergola

Hammock or Swings on Modern Pergola

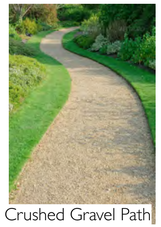
Adirondack Chairs

NEIGHBORHOOD POCKET PARK
OUTDOOR FITNESS AREA-ACTIVE PLACES FOR WELLNESS

Outdoor Fitness Equipment

Community Mail Box- Gatering Area

1 PARK
Scale: 1/8" = 1'-0"


Crushed Gravel Path

Tree Lined Gravel Path /adjacent Open Lawn

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Bellingham, Washington 98225

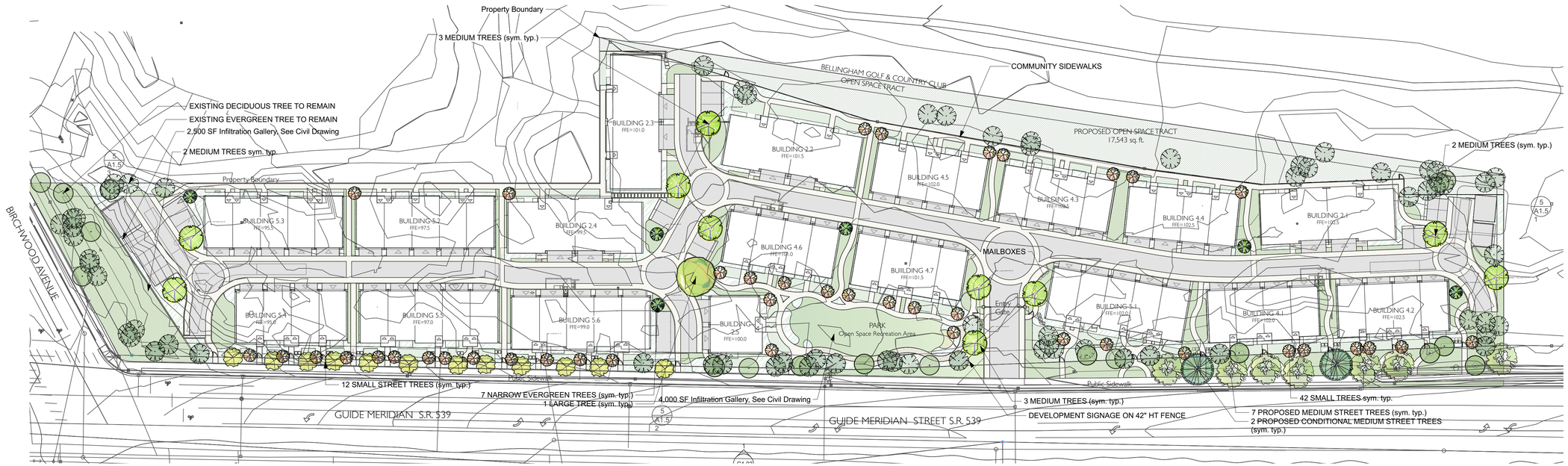
SHEET NAME:

CONCEPTUAL LANDSCAPE PLAN
COMMUNITY PARK

SCALE: 1/8" = 1'-0"

SHEET NUMBER:

L-10



1 GREEN FACTOR CALCULATION PLAN
Scale: 1" = 40'-0"

PLANTING - POSSIBLE PLANT MATERIAL LIST

a. Groundcover or other plants less than 2' feet Tall = 19214 SF (GF SCORE 3842.8)

Common Name	Botanic Name	Spacing	Native	Evergreen
Kinnickinick	Arctostaphylos uva-ursi	2' oc	X	X
Deer Fern	Blechnum spicant	2' oc	X	X
Low Oregon Grape	Mahonia repens	3'oc	X	X
Winter Creeper	Euonymous fort.	8" oc		X
Japanese Forest Grass	Hachenocloa	2'oc		X
Dwarf Candytuft	Iberis sempervirens	2'oc		X
Harbor Dwarf Nandina	Nandina dom.'Harb. Dwarf	2"oc		X
Periwinkle	Vinca Minor 'Bowles'	8" oc		X
Hosta varities Hosta		1'-3' oc		
Sweet Woodruff	Galium odoratum	1 oc		

b. Plants 2 feet or Taller = 695 Plants (GF SCORE 3336)

Common Name	Botanic Name	Spacing	Native	Evergreen
Serviceberry	Amelanchier			
Tall Oregon Grape	Mahonia aquifolium	5'-6'	X	X
Sala	Gaultheria shallon Salal	4'oc	X	X
Nootka Rose	Rosa nutkana	5'oc	X	
Sword fern	Polystichum munitum	3'oc	X	X
Red-flowering Current	Ribes sanguineum	5'-6'oc	X	
Snowberry	Symphoricarpos albus	5' oc	X	
Evergreen Huckleberry	Vaccinium ovatum	5'oc	X	X
Mexican Orage	Choysia ternata	6' oc		X
Heavenly Bamboo	Nandina domestica	5'oc		X
Hydrangea	Hydrangea spp.	5'-6'		
Knock Out® Shrub Rose	Rosa x 'Radrazz'	4'-5'oc		
Miss Kim Lilac	Syringa x. pat. 'Miss Kim'	5'oc		
Spirea	Spirea spp.	2'-6'oc		
Carl Forester Grass	Calamagrostis x acutiflora	3' oc.		
Maiden Grass	Misacnthus spp.	3'-4'oc		
Muhly Grass	Muhlenbergia capillaris	3' oc	X	
Dwarf Fountain Grass	Pennisetum alopecuroides	3' oc		
Rhododendron	Rhododendron spp.	5-6' oc	X	X
Azalea	Azalea spp.	2'-4' oc	X	X
Pieris	Pieris spp.			

4. Vegetative Walls - 2- Vine of Garbage Encloser Fence (GF SCORE 40)

Common Name	Botanic Name	Spacing	Native	Evergreen
Climbing Hydrangea	Hydrangea	20'		
Evergreen Clematis	Clematis	15'		X
Asian Jasmine	Trachelospermum asia.	12'		X
Climbing Rose	Rosa 'Alchymist'	12'		
Honeysuckle	Lonicera ciliosa	12'		

SEE SHEET L1 FOR TREE GREEN FACTOR
2 MEDIUM TREES PER 8 PARKING SPACES

PLANTING LIST IS PRELIMARY. FINAL PLANT LIST MAY INCLUDE BUT MAY NOT BE LIMITED TO THE ABOVE MATERIALS.

TOTAL GREEN FACTOR SCORE FOR PLANTING

Building/Area	Plants >2'	Plants <2' SF
2.1	37	575
2.2	34	1145
2.3	34	530
2.4	38	810
2.5	12	1090
4.1	35	600
4.2	39	670
4.3	27	530
4.4	27	410
4.5	27	465
4.6	28	655
4.7	28	580
5.1	39	1260
5.2	37	490
5.3	38	550
5.4	42	1320
5.5	43	1420
5.6	43	1650
Northern Parking	9	680
Southern Parking	27	2020
Community Park	63	1760
Total	**713**	**19210**

OVERALL PROJECT GREEN FACTOR SCORE

Green Factor Landscape Element	Multiplier	Total	Sq. Ft.	GF Score
1. Landscaped Areas (select one of the following for each area):				
a. Landscape areas with soil depth of less than 24"	**0.1**			0
b. Landscape areas with soil depth of 24" or greater	**0.8**		50023	40018.4
c. Bioretention facility	**1**		6,500	6,000
Southern Infiltration Gallery (2,500 Total)				
Northern Infiltration Gallery (4,000 Total)				
2. Planting (credit for plants in landscaped areas above):				
a. Mulch, ground covers, or other plants less than two feet tall at maturity. For Detailed Break Down of Planting Credits, See Landscaped Areas Sheet (Sheets L2-L13)	**0.2**		19210	3842
b. Plants two feet or Taller at Maturity, calculated at 16' square feet per plant. For Detailed Break Down of Planting Credits, See Landscaped Areas Sheet (Sheets L2-L13)	**0.3**	713	11408	3422.4
c. Tree canopy for small trees in Bellingham List of Approved Street Trees or equivalent (canopy spread of 15') calculated at 50 sq. Ft. Per tree. (See Sheet L1)	**0.3**	54	2700	810
Small Street Trees Along Meridian (12 Total)				
Small Trees (42 Total)				
d. Tree canopy for small trees/medium trees in Bellingham List of Approved Street Trees or equivalent (canopy spread of 20') calculated at 100 sq. Ft. Per tree.(See Sheet L1)	**0.3**	10	1000	300
Medium Trees (10 Total)				
e. Tree canopy for medium trees in Bellingham List of Approved Street Trees or equivalent (canopy spread of 25') calculated at 150 sq. Ft. Per tree. (See Sheet L1)	**0.4**	9	1350	540
Medium Street Trees Along Meridian (7 Total)				
Medium Conditional Street Trees Along Meridian (2 Total)				
f. Tree canopy for large trees in Bellingham List of Approved Street Trees or equivalent (canopy spread of 30') calculated at 200 sq. Ft. Per tree.	**0.5**	1	200	100
Large Tree (1 Total)				
g. Tree canopy for preservation of "exceptional trees" or other large existing trees 6" or greater, calculated at 15 square feet per inch DBH (See Sheet L0)	**0.8**	65	21,945	17,556

Green Factor Landscape Element	Multiplier	Total	Sq. Ft.	GF Score
3. Green Roofs				
a. Over at least 2" and less than 4" of growth medium	**0.4**		0	0
b. Over at least 4" of growth medium	**0.7**		0	0
4. Vegetative Walls	**0.7**		0	0
5. Approved Water Feature	**0.7**		0	0
6. Permeable Paving				
a. Permeable Paving over at least 6" and less than 24" of soil or gravel	**0.3**		0	0
b. Permeable paving over at least 24" of soil or gravel	**0.5**		0	0
Permeable Fire Truck Entrance (Permeable Paving Grid with Grass) (950 Total)				
7. Structural Soils	**0.4**			0
8. Bonuses				
a. Drought Tolerant or Native Plant Species	**0.1**	10	160	16
b. Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater	**0.2**		0	0
c. Landscaping in food cultivation	**0.3**		0	0
Total Lot Area:				**179793**
Total Green Factor Area				**72604.8**
Total Green Factor Area Score				**0.4038**

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Bellingham, Washington 98225

SHEET NAME:

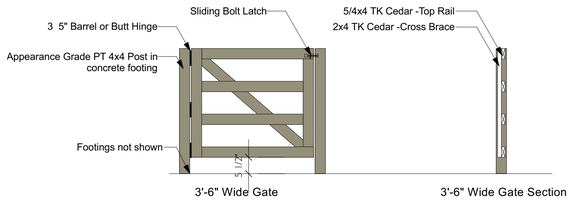
GREEN FACTOR LANDSCAPE ELEMENTS

SCALE: 1"=40'-0"

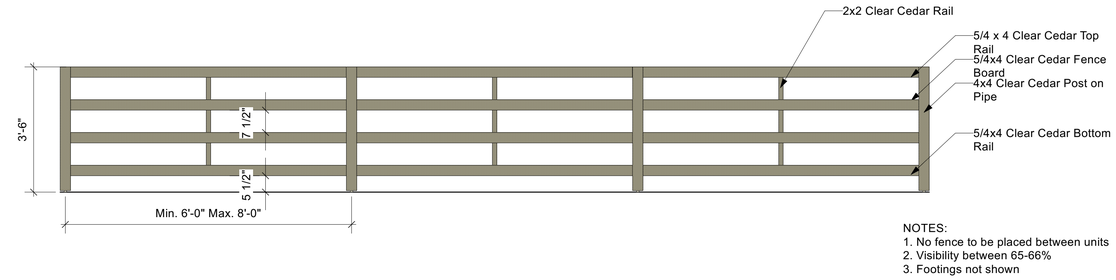
SHEET NUMBER:

L-11

TYPE 1 FENCE - SEE SHEET L1.B FENCE AND GATE PLAN



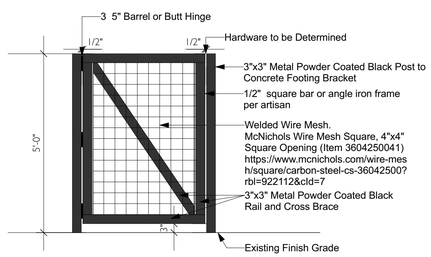
1 GATE FOR TYPE 1 - MERDIAN GUIDE
Scale: 1/2" = 1'-0"



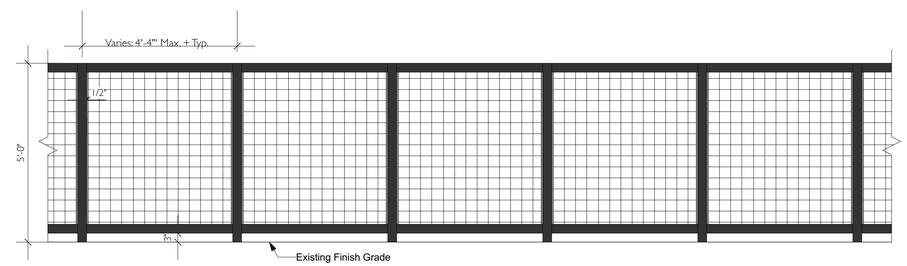
NOTES:
1. No fence to be placed between units
2. Visibility between 65-66%
3. Footings not shown

2 TYPE 1 FENCE - MERIDIAN GUIDE
Scale: 1/2" = 1'-0"

TYPE 2 FENCE - SEE SHEET L1.B FENCE AND GATE PLAN

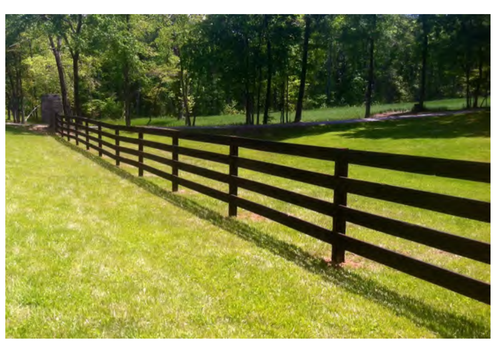


3 GATE FOR FENCE TYPE 2
Scale: 1/2" = 1'-0"



4 FENCE TYPE 2 ELEVATION
Scale: 1/2" = 1'-0"

PRECEDENT IMAGES



FENCE TYPE 1 - 42" HT
CEDAR FENCE
Meridian Fence

FENCE TYPE "2" 5' HT
WIRE MESH FENCE
Open Space Tract Fence

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SHEET NAME:

FENCE ELEVATIONS + DETAILS

SCALE: 1"=40'-0"

SHEET NUMBER:

L-12