

INSPECTIONS

ROUGH

1

3

4

TOWN OF SHREWSBURY
5 OFFICE OF THE BUILDING INSPECTOR

9

PERMIT TO BUILD

Shrewsbury, Mass., February 27, 20 06 Permit No. 06-105

THIS IS TO CERTIFY that Joe & Theresa Manzello owner
by D. Poulin & Sons Const. builder, has permission to

second story addition at No. 19 Canna Drive for

residential purposes, in accordance with, and

subject to the provisions and requirements of the Commonwealth of Mass. State Building Code and
Town By-Laws relating to the inspection, materials, construction, demolition, alteration, repair, height,
area, location and use of buildings and other structures within the Town of Shrewsbury, Massachusetts.

Patricia Sheehan
Building Inspector

INSPECTION REQUIREMENTS:

1. Footing and Foundation — Prior to backfilling.
2. Rough Frame — Prior to the installation of insulation, lath, plaster, wallboard or other wall covering, after approval of rough plumbing and wiring has been obtained.
3. Insulation Inspection — Prior to sheetrock
4. Finish Inspection — Prior to occupancy, after finish approval of plumbing, wiring and smoke detection system has been obtained.

Additional inspections may be required at the direction of the Building Inspector.

This permit shall become void unless operations thereunder are commenced within six months after the date hereof, or if operations hereunder are discontinued for a period of more than one year.

THIS CARD MUST BE RETURNED FOR THE ISSUANCE OF AN OCCUPANCY PERMIT

Post Above Inside of Front Door

Plumbing Date

Wiring Date

Building Date

Insulation Date

FINISH

Plumbing Date

Wiring Date

Fire & Security Date

Fire Dept. Date

Building Date

Tom Brown 4-14-00

4/19/06

J. M. ... 5/25/16

Persons contracting with unregistered contractors do not have access to the guaranty fund (as set forth in MGL c. 142A)

Reg. No. 110971

Attic Access

Rim block gable walls
@ ceiling

Add Collar ties

No. 06-105

**Town of Shrewsbury
Building Inspector
Occupancy and Use Permit**

“No building or structure shall be erected, and no land, building or structure shall be used for a new, different, changed or enlarged use without a Building Permit therefore first having been attained from the Building Inspector. No building shall be occupied until a certificate of occupancy or change of use has been issued by the Building Inspector.”

Joe & Theresa Manzello

19 Canna Drive

Issued to

Address

Single Family Dwelling

Wood Frame

Use & Occupancy(Chapter 3)

*

Occupant Load

*

Type of Construction(Chapter 6)

Auto. Sprinklers Required

Second Story Addition

Special Conditions

J.T. McQuade

5/25/16

Wiring Inspector

Inspection Date

Plumbing Inspector

Inspection Date

Fire Department

Inspection Date

Patricia Sheehan

5/25/16

Building Inspector

Inspection Date

THIS PERMIT WILL NOT BE VALID, AND THE BUILDING SHALL NOT BE OCCUPIED UNTIL SIGNED BY THE BUILDING INSPECTOR UPON SATISFACTORY COMPLIANCE WITH TOWN REQUIREMENTS, COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2009 AND INTERNATIONAL BASIC CODE 2009 WITH 780 CMR EIGHTH EDITION AMENDMENTS.

5-25-16
Date

Patricia Sheehan
Building Inspector



19 Canna Dr.
BUILDING PERMIT NO.
06-105

TOWN OF SHREWSBURY
APPLICATION FOR PERMIT TO BUILD
INSTRUCTIONS

The applicant must contact the Town Departments listed below regarding the following:

Department	Subject	Date	Initials
Assessors	Street No. Assignment	19 Canna	
Assessors	Tax Plat, Plot No.	51 / 51	
Light Department	Wiring Inspections		
Conservation Commission	Wetlands Filing		
Engineering	Subdivision Driveways		
Water & Sewer	Water Service		
Water & Sewer	Sanitary Sewer Service		
Highway Department	Driveway Permit		
Health Department	Sewage Disposal Permit		
Fire Department	Fire Detection System	3-7-06	J.L.S.

BUILDING PERMIT APPLICATION INSTRUCTIONS

1. Plot plan must be drawn to scale and original drawn in ink.
2. Show all lot dimensions and area.
3. Show dimensions of all existing and proposed structures on the lot. Include all decks and porches.
4. Existing and proposed structures shall be distinguished by contrasting colors, or crosshatching existing structures.
5. Show front, rear, and side yard setback dimensions.
6. Show width of street right of way indicating whether it is public or private.
7. Note any zoning district lines within 100 feet of property.
8. Plot plans shall be submitted in duplicate.
9. Floor plans, foundation plans and framing sections are required for all new construction.

NO CONSTRUCTION IS ALLOWED PRIOR TO PROCUREMENT OF A BUILDING PERMIT

INSPECTIONS REQUIRED

1. Foundation and footing — prior to commencing superstructure and prior to backfill.
2. Rough framing before insulation, after plumbing and electrical inspections have been endorsed on permit. All firestopping and firewalls must be in place.
3. Final inspection before occupancy, after approval of finish plumbing, wiring and smoke detection system has been obtained.

Requests for inspections must be made 24 hours in advance by calling the Building Inspector's office at 841-8512.

19 Canna Dr.
06-105

TOWN OF SHREWSBURY

— APPLICATION FOR PERMIT TO BUILD —

I. LOCATION OF BUILDING

1. No. & Street 19 CANNA DRIVE
 2. TAX PLATE 51 PLOT NOS. 51 SUBDIV. LOT NO. _____ ZONING DIST. Residence
 3. PROPOSED CONSTRUCTION/USE 2ND FLOOR / SINGLE FAMILY RESIDENCE B-9

II. IDENTIFICATION

	NAME	ADDRESS	TEL. NO.
1. OWNER	<u>Joe + Theresa</u> <u>MANZELLO</u>	<u>19 CANNA Drive</u> <u>SHREWSBURY</u>	<u>508-523-3484</u>
2. CONTRACTOR	<u>D Paulow + Sons Const</u>	<u>299 PRINCETON ROAD</u> <u>STERLING, MA 01564</u>	<u>978-422-3399</u>
3. ARCHITECT	<u>D + Design Services</u>	<u>4 ABBOTT PLACE</u> <u>Worcester, MA</u>	<u>508-753-2905</u>

III. BUILDING CHARACTERISTICS

1. TYPE OF FRAME WOOD
 2. NO. OF STORIES 1 1/2
 3. STYLE OF BLDG. CAPE
 4. FLOOR AREA (SQ. FT.) 1008 s.f.
 A. BASEMENT, CELLAR _____
 B. FIRST FLOOR _____
 C. SECOND FLOOR _____
 D. THIRD FLOOR _____
 E. OTHER _____
 5. INT. WALLS 2x4
 6. EXT. WALLS 2x4
 7. TYPE OF HEAT Forced HOT AIR
 8. WATER SUPPLY: TOWN PRIVATE
 9. SEWAGE: TOWN PRIVATE

V. ROOM SCHEDULE

V. ROOM SCHEDULE		FLOOR AREA
1. NON-RESIDENTIAL	_____
A. OFFICE	_____
B. SALES, SERVICE	_____
C. STORAGE	_____
D. SHOP, MANUF.	_____
E. KITCHEN	_____
F. OTHER	_____
2. RESIDENTIAL	NO.	DIMENSIONS
A. KITCHEN	_____	_____
B. LIVING	_____	_____
C. DINING	_____	_____
D. FAMILY, DEN	_____	_____
E. BEDROOMS	_____	_____
F. BATHS	_____	_____
G. LAUNDRY	_____	_____
H. BREEZEWAY	_____	_____
I. GARAGE (CARS)	_____	_____
J. DECKS/PORCHES	_____	_____
K. FIREPLACES	_____	_____
L. STORAGE	_____	_____

IV. COST ESTIMATION

(OMIT CENTS)
 1. BUILDING 71,500
 2. ELECTRICAL 3500
 3. PLUMBING _____
 TOTAL COST \$ 75,000

I HEREBY AGREE NOT TO OCCUPY THIS BUILDING OR ALLOW IT TO BE OCCUPIED UNTIL AN OCCUPANCY PERMIT HAS BEEN ISSUED.

x Daniel Paulow 299 Princeton Rd Sterling, MA 2-20-06
 SIGNATURE OF APPLICANT ADDRESS DATE

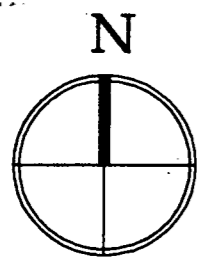
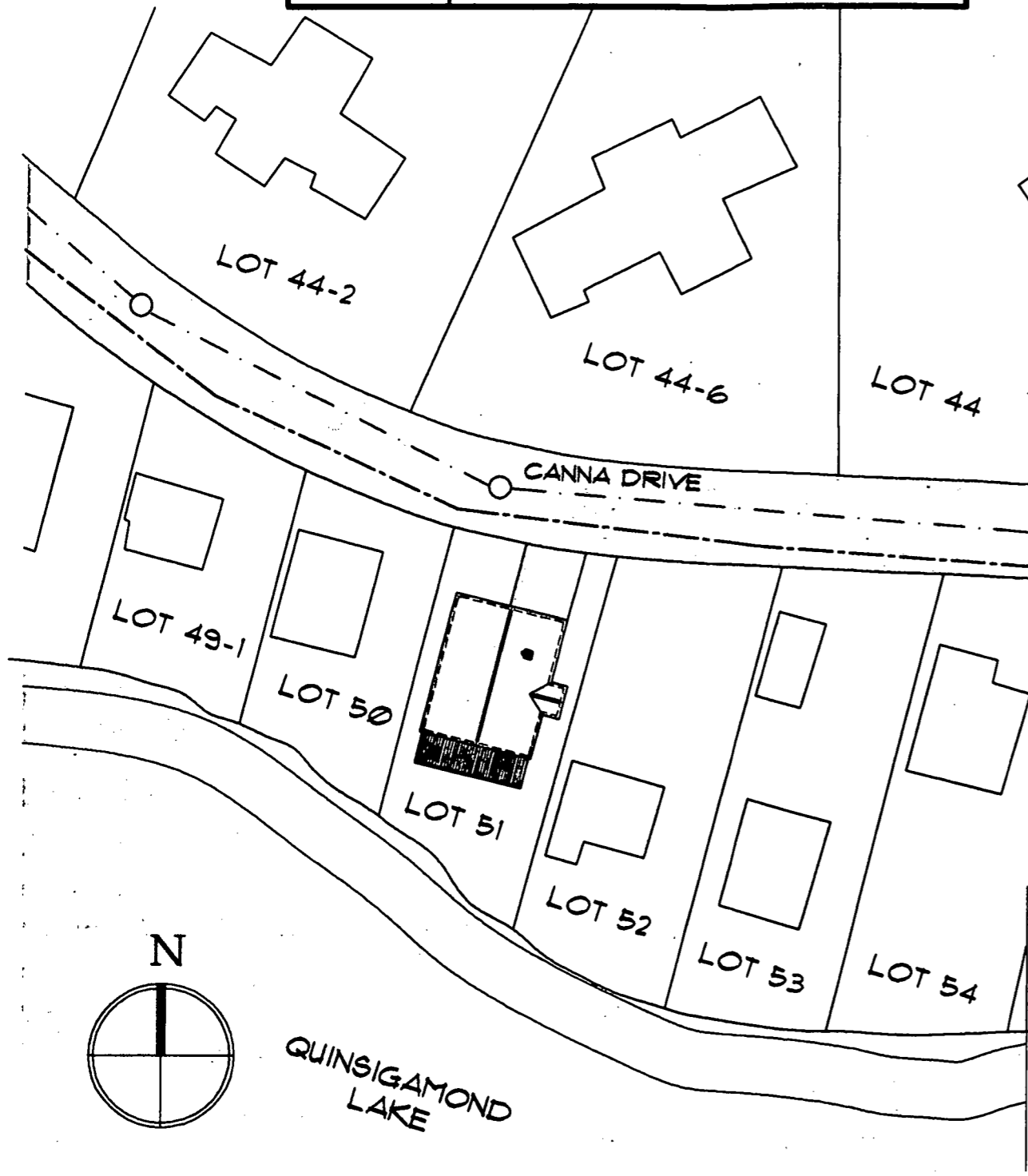
CONST. SUPERVISOR'S LICENSE # 018064 HOME IMPROV. REG. # 110971

APPROVED BY <u>P. Sheehan</u>	PERMIT FEE \$ <u>750.00</u>	PERMIT NO. <u>06-105</u>	DATE ISSUED <u>2-27-06</u>
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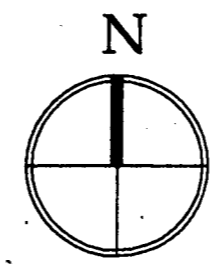
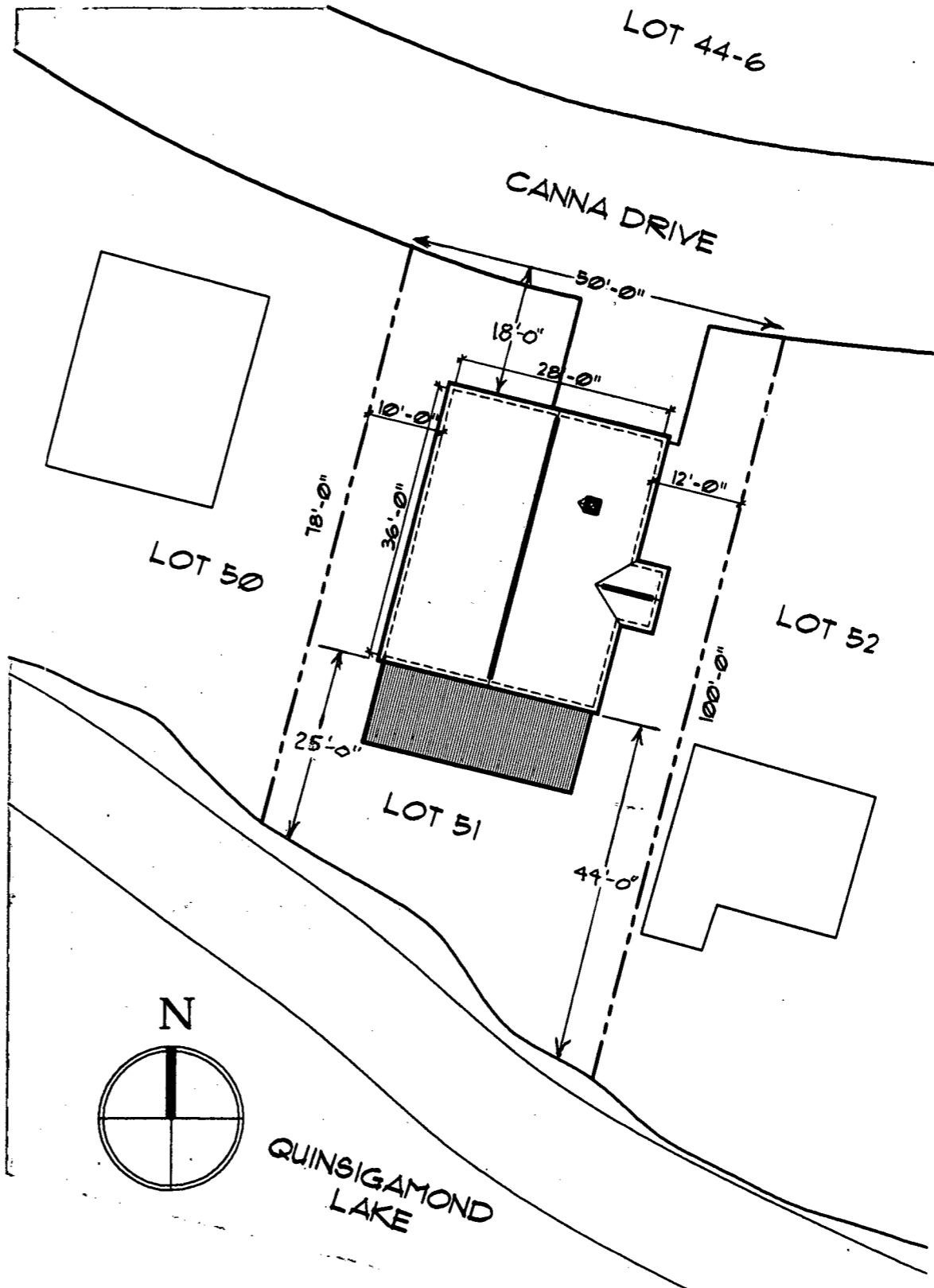
ZBA Heard - 1-31-06
Final -

Pd. 4/10/06

PROPERTY INFO	
LOCATION	19 CANNA DRIVE, SHREWSBURY, MA 01545
OWNER	MANZELLO JOSEPH & THERESA
PARCEL ID	51
BOOK/PAGE	---
LAND AREA	4450 SQFT.
DESCR.	SINGLE FAMILY RESIDENCE
DISTRICT	RS-1



SITE PLAN
SCALE: 1" = 40'-0"



SITE PLAN
SCALE: 1" = 20'-0"

D + DESIGN SERVICE
ARCHITECTURAL DESIGN SERVICE
4 ABBOTT PLACE
WORCESTER, MASSACHUSETTS 01602
TEL: (508) 753-2905 FAX: (508) 753-2905

AS NOTED
07-14-03
DATE: YD
DRAWN: YMER
CHECKED: YMER
PROJECT NO.: 2003-8



Revisions:

Title: **SITE PLAN**
Project: **MANZELLO RESIDENCE**
19 CANNA DRIVE
SHREWSBURY, MA 01545

Drawing No.:
2003-8
L10
3 of 12

PROPOSED: ROOF REMODELING

19 CANNA DRIVE, SHREWSBURY, MA 01545

✓ ZBA approval
✓ proposed floor plan 1st + 2nd floors
✓ Fire Dept.

ARCHITECT

D + DESIGN SERVICE
4 ABBOTT PLACE
WORCESTER, MA 01602

OWNER

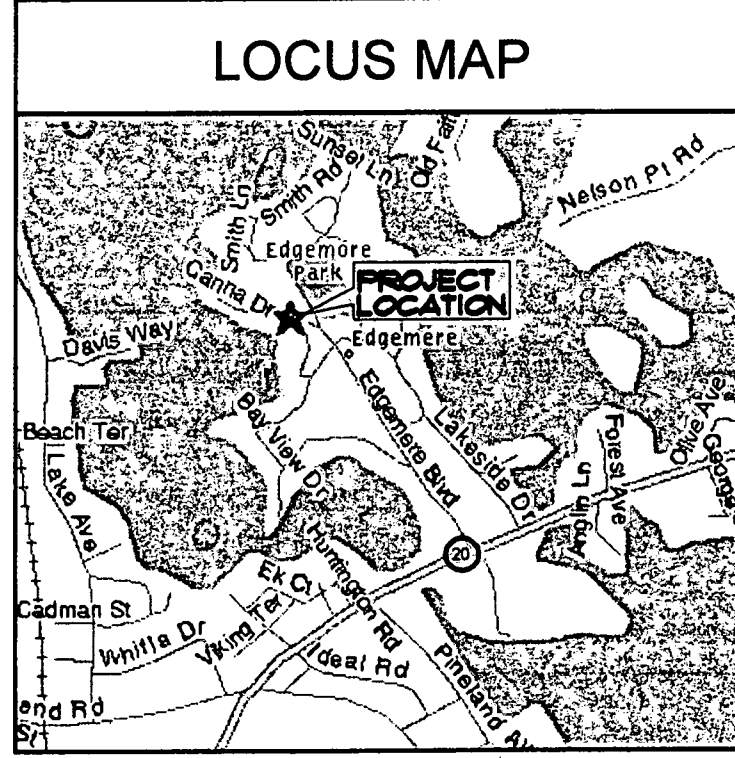
JOSEPH & THERESA MANZELLO
19 CANNA DRIVE
SHREWSBURY, MA 01545

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AS NOTED
Date: 07-14-03
Drawn: YTD
Checked: YMER
Project No.: 2003-8

LEGEND	
SYMBOLS	MATERIALS
	EARTH - LOAM
	EARTH - FILL
	GRAVEL
	SAND
	CONCRETE
	CONCRETE MASONRY
	BRICK
	BITUMINOUS CONCRETE
	BATT INSULATION
	RIGID INSULATION
	WOOD - FRAMING
	WOOD - FINISH
	PLYWOOD - SMALL SCALE
	ACOUSTICAL TILE
	STEEL
	ALUMINUM
	METAL - SMALL SCALE

LIST OF DRAWINGS	
AT	TITLE SHEET
SITE	
L10	SITE PLAN
ARCHITECTURAL	
AN	GENERAL NOTES & SPECIFICATIONS
A10	EXISTING & DEMOLITIONS ROOF PLAN
A11	NEW ROOF PLAN
A20	EXISTING FIRST FLOOR PLAN
A21	NEW ATTIC FLOOR PLAN
A30	FRONT ELEVATIONS
A31	REAR ELEVATIONS
A40	BUILDING SECTIONS "A"
A41	BUILDING SECTIONS "B"
STRUCTURAL	
S12	ROOF FRAMING PLAN



SET. No.



Title: TITLE SHEET
Project: MANZELLO RESIDENCE
19 CANNA DRIVE
SHREWSBURY, MA 01545

Drawing No.: 2003-8
AT
1 of 2

GENERAL NOTES & SPECIFICATIONS

CODES, ORDINANCES, PERMITS & TESTS:

-ALL CONSTRUCTION TO COMPLY WITH THE LOCAL BUILDING, PLUMBING, MECHANICAL AND ELECTRICAL CODES, ORDINANCES AND REQUIREMENTS AS WELL AS THE STATE OF MASSACHUSETTS ENERGY CODE.

GENERAL:

-REVIEW AND VERIFY ALL DIMENSIONS ON THE DRAWINGS BEFORE COMMENCING WITH THE WORK. IF DIMENSIONAL ERRORS OCCUR, CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH WORK. **DO NOT SCALE DRAWINGS.** ANY CONTRACTOR THAT SCALES A DRAWING TO DETERMINE A LOCATION FOR ANY PART OF THE WORK SHALL TAKE FULL RESPONSIBILITY, SHOULD THAT PORTION OF THE WORK BE IMPROPERLY LOCATED.

-ANY OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS ON THE DRAWINGS AND/OR IN THESE GENERAL NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO SHALL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR THE WORK AS INSTALLED.

-THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION, INCLUDING SHORING.

FRAMING:

-ALL STRUCTURAL LUMBER, JOISTS AND HEADERS ARE TO MEET THE MINIMUM PROPERTIES OF HEM-FIR $\#2$ FOR DESIGN PURPOSES AS LISTED BELOW.
BASE VALUES: Fb = 850 FOR SINGLE MEMBERS; E = 1,300,000; Fv = 75; Fc = 405 (PERPENDICULAR TO GRAIN); Fc = 1250 (PARALLEL TO GRAIN)
 DOUGLAS-FIR-LARCH $\#2$ MAY BE USED AS AN ACCEPTABLE ALTERNATE.

-ALL INTERIOR STUDS ARE TO BE "STUD" GRADE OR BETTER AND ARE TO MEET THE MINIMUM PROPERTIES OF SPRUCE-PINE-FIR. ALL EXTERIOR STUDS ARE TO BE $\#2$ GRADE OR BETTER AND ARE TO MEET THE MINIMUM PROPERTIES OF SPRUCE-PINE-FIR, LISTED BELOW.
BASE VALUE (STUDS & 6X6 POST): Fb = 875; E = 1,400,000; Fv = 70; Fc = 425 (PERP. TO GRAIN); Fc = 1100 (PARAL. TO GRAIN)

-HEADERS OVER OPENING SHALL CONFORM TO THE FOLLOWING TABLE.

2-2X6 UP TO 4'-0" OPENING WIDTH
2-2X8 UP TO 5'-6" OPENING WIDTH
2-2X10 UP TO 7'-0" OPENING WIDTH
2-2X12 UP TO 8'-0" OPENING WIDTH

-PROVIDE ALL FIRESTOPPING/DRAFTSTOPPING PER THE LOCAL CODE.

DESIGN LIVE LOADS

ROOF 35 PSF
 FLOOR LOADS: 40 PSF

MISCELLANEOUS:

-HANDRAILS SHALL HAVE A MINIMUM 30" HEIGHT AND A MAXIMUM 38" HEIGHT FROM THE NOSING OF THE TREADS OR LANDINGS.
 -OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADES BELOW SHALL HAVE GUARDRAILS.

TYPICAL NOTES:

- MEET OR EXCEED EPA REQUIREMENTS FOR DEBRIS REMOVAL CONTAINING LEAD AND OTHER LEAD SAFE PRACTICES
 - MEET OR EXCEED EPA REQUIREMENTS FOR WORKER AND INHABITANT SAFETY WHILE PERFORMING DEMOLITION
 - MEET OR EXCEED OSHA REGULATIONS FOR A SAFE WORKPLACE
 - ERECT MAINTAIN DUST + GENERAL SITE PROTECTION FOR THE DURATION OF THE PROJECT
 - MAINTAIN THE SITE IN A CLEAN AND ORDERLY FASHION ON A DAILY BASIS
 - PLACE ALL DEBRIS IN AN APPROVED CONTAINER THAT IS PROTECTED FROM WEATHER AND REMOVE FROM SITE IN A TIMELY FASHION
 - PROVIDE OWNER WITH A VALID CERTIFICATE OF INSURANCE AS REQUIRED BY MA STATE LAW (WORKMANS COMP AND GENERAL LIABILITY)
 - VERIFY ALL SITE CONDITIONS PRIOR TO START OF WORK AND PROVIDE STRUCTURAL REVIEW AS MAY BE REQUIRED
 - PROVIDE THAT A UC CONSTRUCTION SUPERVISOR WILL BE PRESENT ON SITE DURING ANY AND ALL PHASES AS SUBJECT TO MA 180 CMR 10B.35
 - PROVIDE OWNER WITH A COPY OF VALID HOME IMPROVEMENT CONTRACTOR AS SET FORTH IN 180 CMR 18G AND IN ACCORDANCE WITH M.G.L. C 142A

D + DESIGN SERVICE
 ARCHITECTURAL DESIGN SERVICE
 6 ABBOTT PLACE
 WORCESTER, MASSACHUSETTS 01602
 TEL: (508) 753-2905 FAX: (508) 753-2905

Scale: AS NOTED
 Date: 07-14-03
 Drawn: YD
 Checked: YD
 Project No.: 2003-8

YMER DELJALLI
 CONSTRUCTION
 SUPERVISOR
 LICENSE
 No.: 03 075998

Revisions:

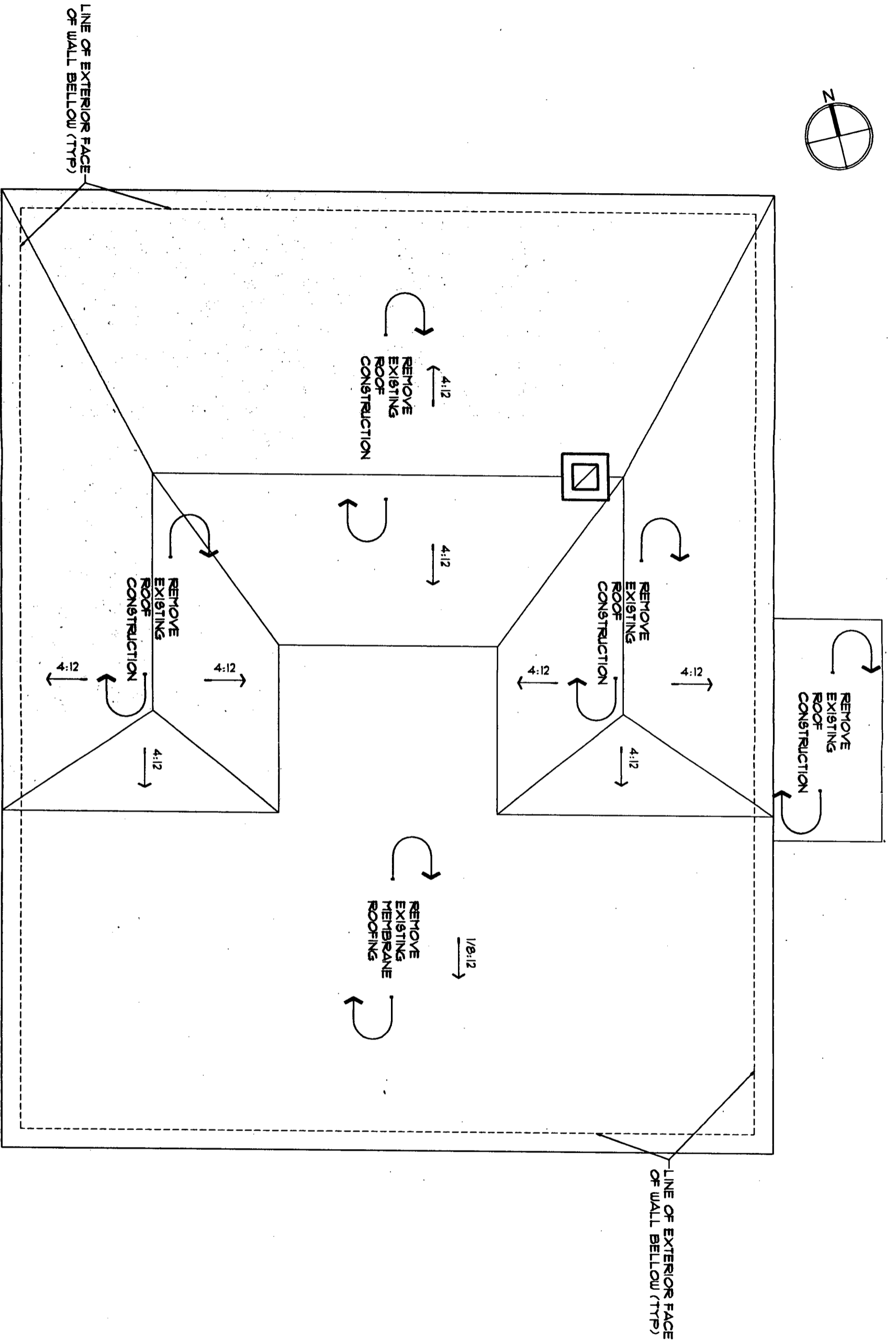
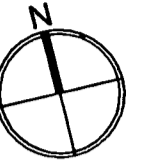
Title: GENERAL NOTES & SPECIFICATIONS

Project: MANZELLO RESIDENCE
 19 CANNON DRIVE
 SHREWSBURY, MA 01545

Drawing No.:
 2003-8

AN

2 of 2

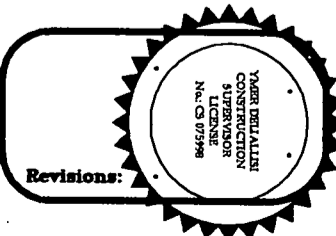


EXISTING & DEMO ROOF PLAN

SCALE : 1/4" = 1'-0"

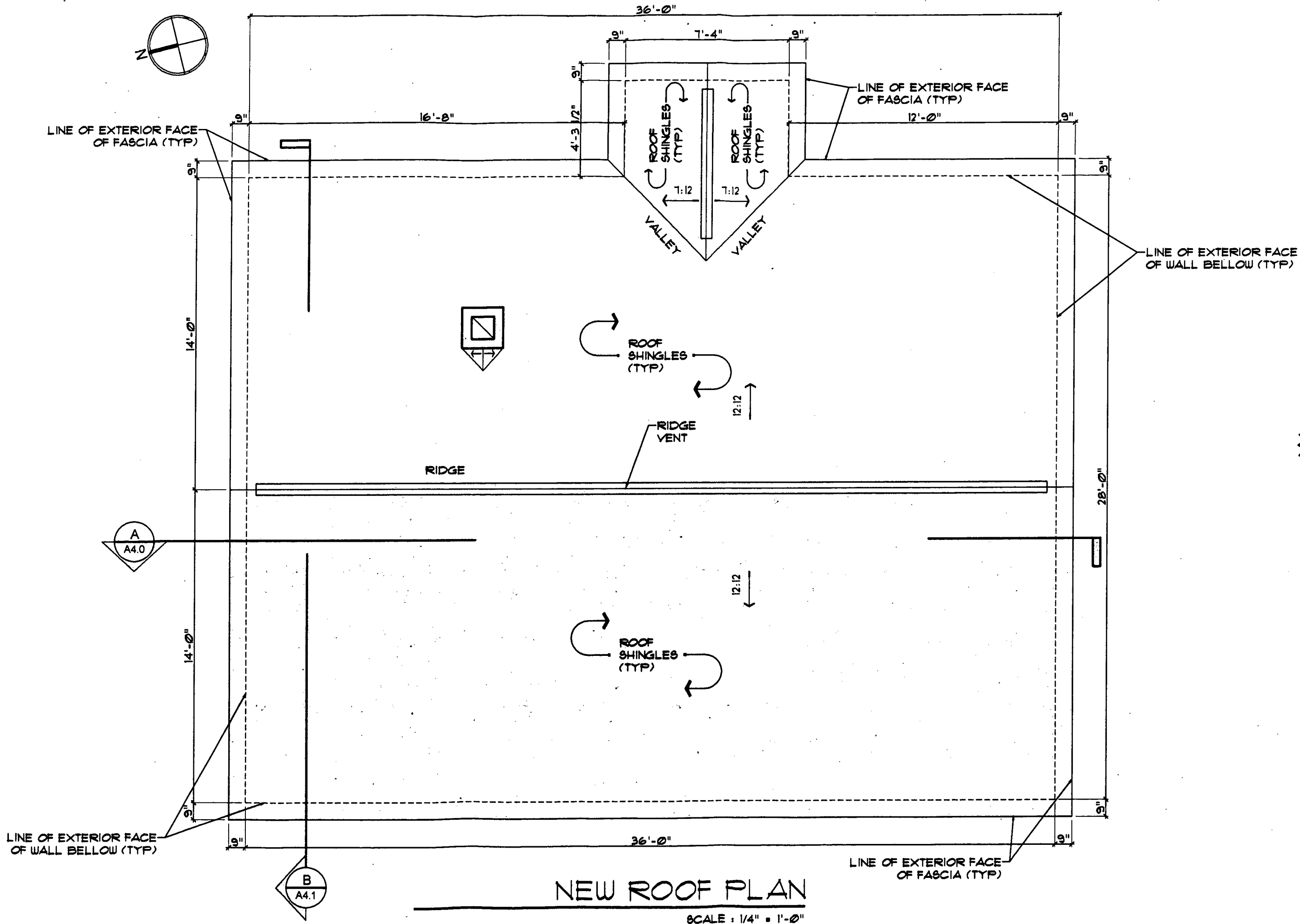
Drawing No.:
2003-8
A1.0
4 of 2

Title: **EXISTING & DEMOLITIONS ROOF PLAN**
Project: **MANZELLO RESIDENCE**
19 CANNA DRIVE
SHREWSBURY, MA 01545



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NEW ROOF PLAN

SCALE: 1/4" = 1'-0"

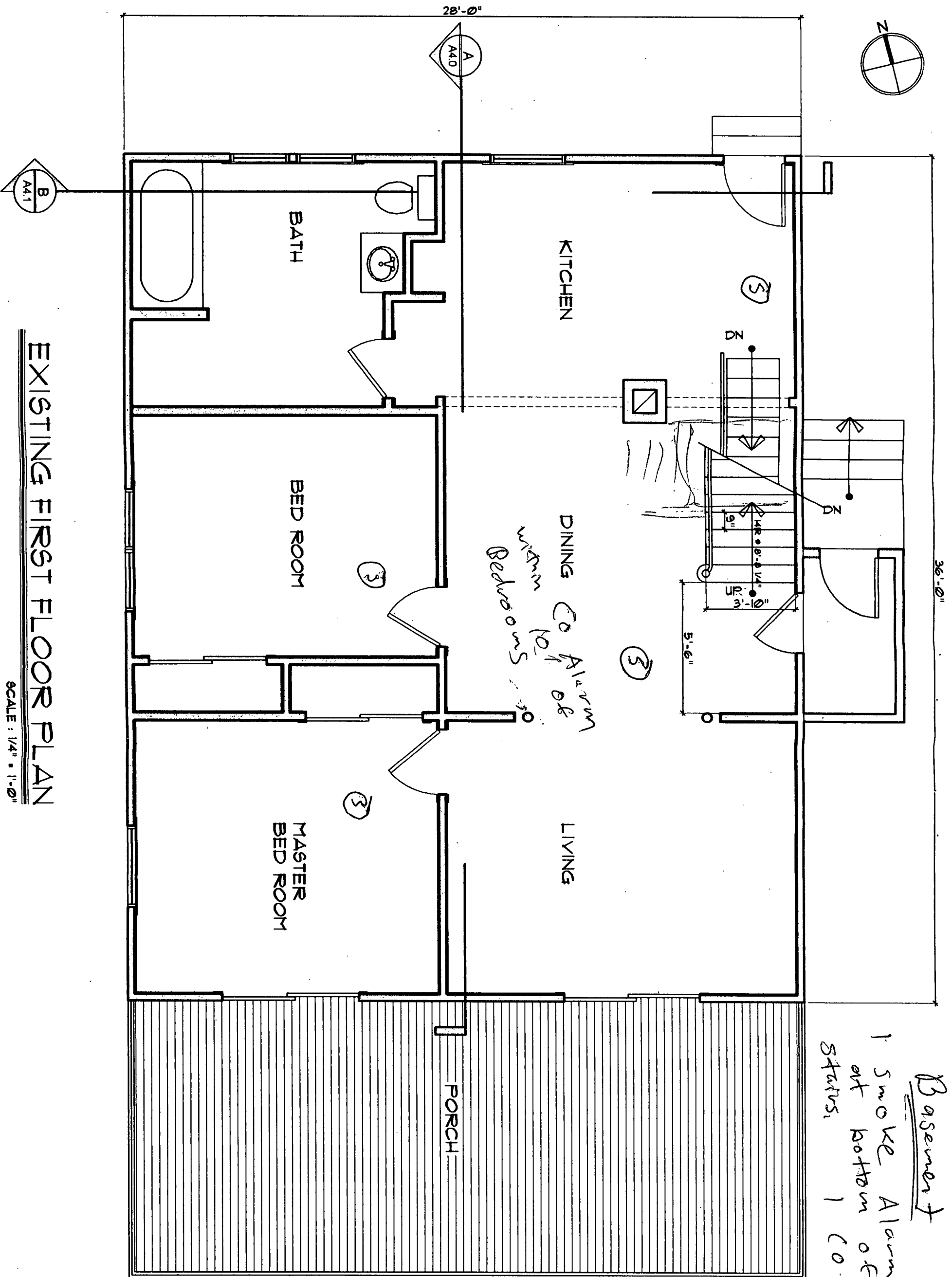
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 Date: 07-14-03
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 Checked: YMER
 Project No.: 2003-8

YMER DELALLI
 CONSTRUCTION SUPERVISOR
 LICENSE No.: CS 075598

TITLE: NEW ROOF PLAN
 Project: MANZELLO RESIDENCE
 19 CANNA DRIVE
 SHREWSBURY, MA 01545

Drawing No.: 2003-8
 A.I.
 5 of 12



EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

Basement
 1 Smoke Alarm
 at bottom of
 stairs, 1 CO det.
 needed
 in
 basement



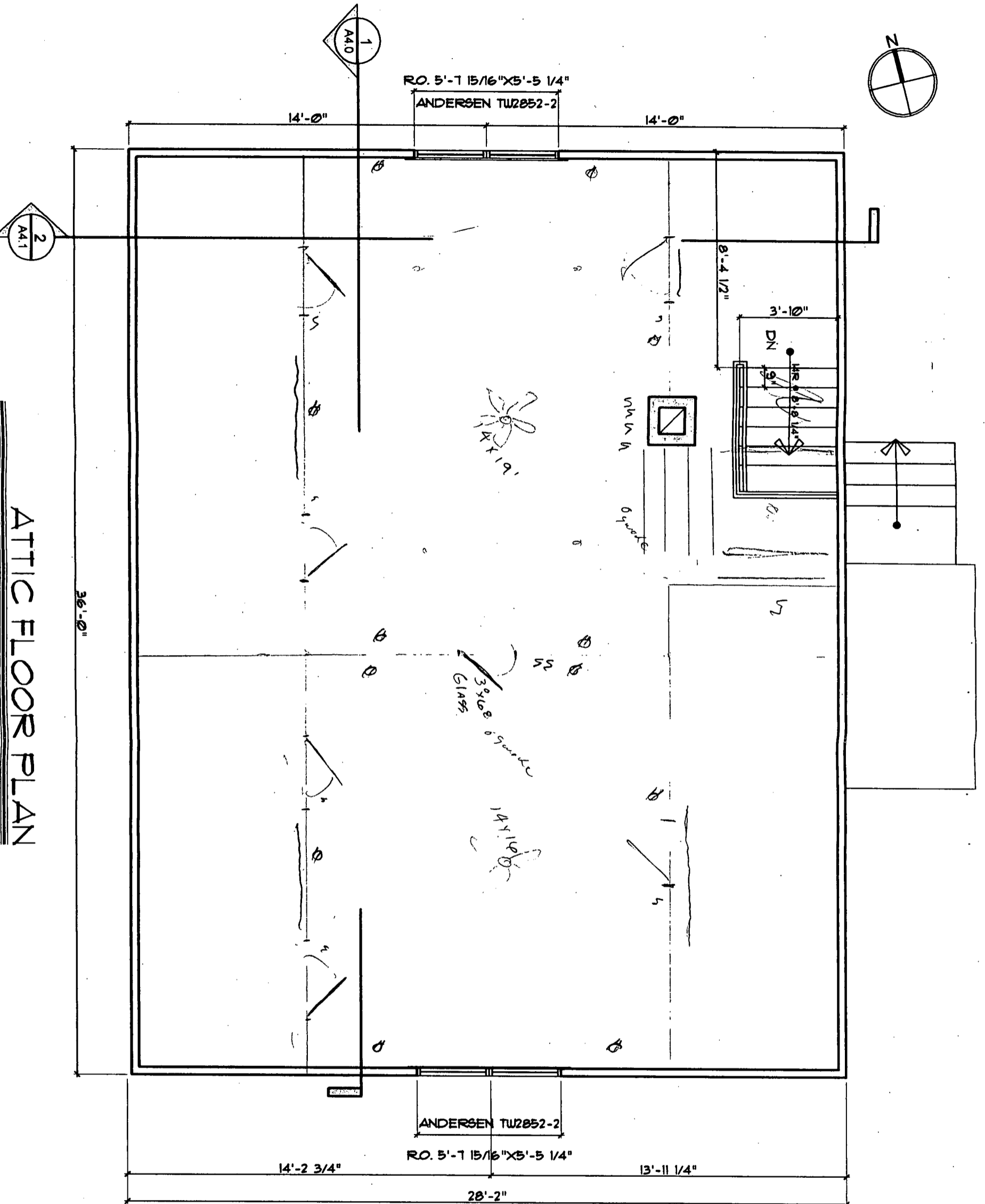
Revisions:

Scale: AS NOTED
 Date: 01-14-03
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Drawing No.:
2003-8
A2.0
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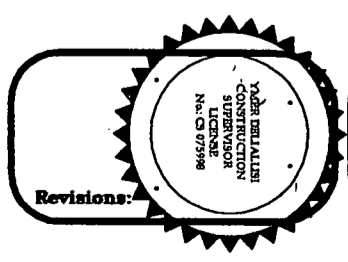
Title: EXISTING FIRST FLOOR PLAN
 Project: MANZELLO RESIDENCE
 19 CANNA DRIVE
 SHREWSBURY, MA 01545



ATTIC FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Drawing No.:
2003-8
A2.1
 1 OF 2

Title: NEW ATTIC FLOOR PLAN
Project: MANZELLO RESIDENCE
 19 CANNA DRIVE
 SHREWSBURY, MA 01545



Scale: AS NOTED
Date: 07-14-03
Drawn: YD
Checked: YMER
Project No.: 2003-8

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FRONT ELEVATION

SCALE : 1/4" = 1'-0"

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 L. ABBOTT PLACE
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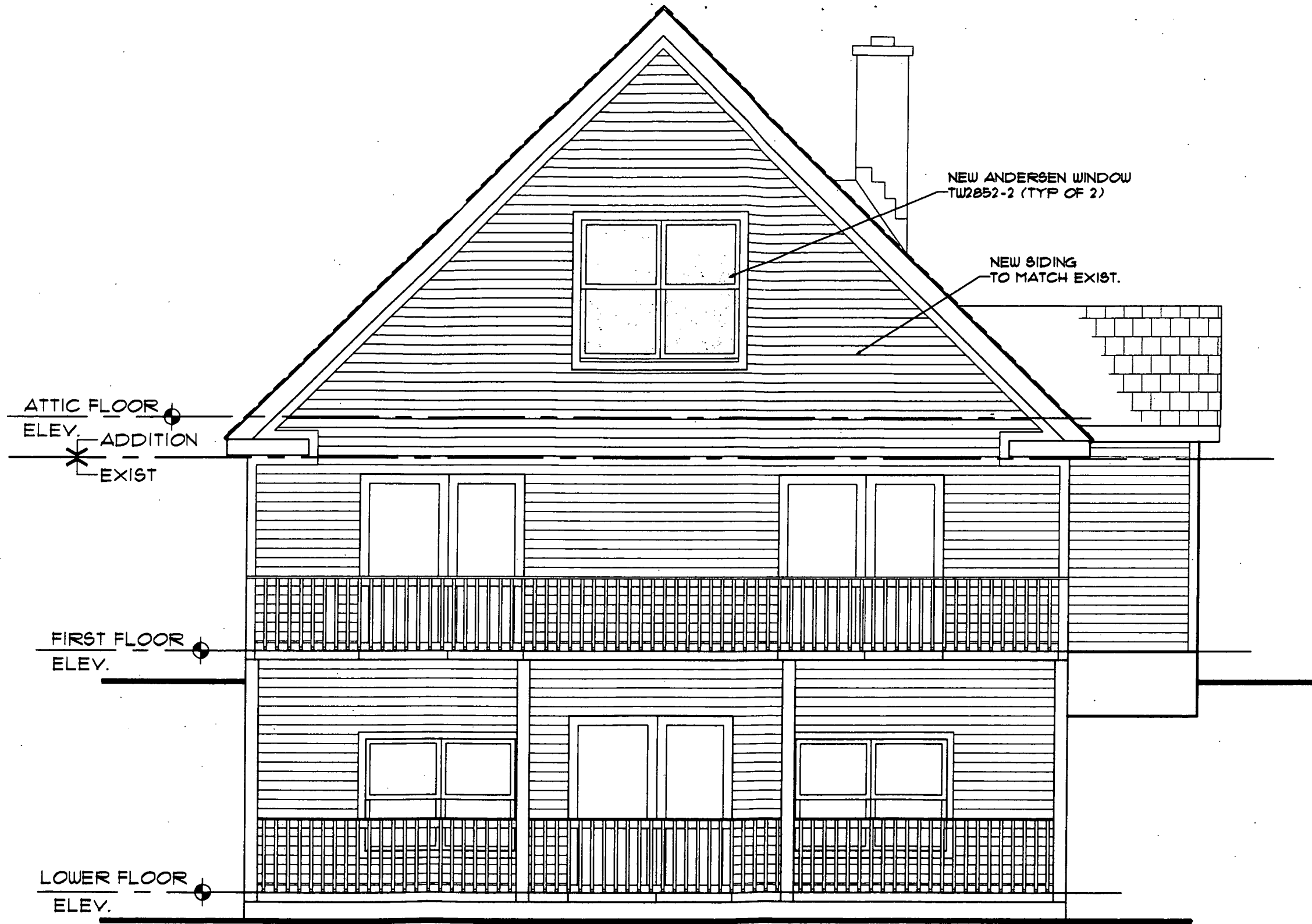
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 Date: 07-14-03
 Drawn: TD
 Checked: TYER
 Project No.: 2003-8

TYER DEJALLISI
 CONSTRUCTION SUPERVISOR
 LICENSE
 No: CS 075998

Revisions:

Title: FRONT ELEVATION
 Project: MANZELLO RESIDENCE
 19 CANNA DRIVE
 SHREWSBURY, MA 01545

Drawing No.:
 2003-8
A3.0
 8 of 12



NEW ANDERSEN WINDOW
TU2852-2 (TYP OF 2)

NEW SIDING
TO MATCH EXIST.

ATTIC FLOOR
ELEV. * ADDITION
EXIST

FIRST FLOOR
ELEV.

LOWER FLOOR
ELEV.

REAR ELEVATION

SCALE: 1/4" = 1'-0"

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4 ABBOTT PLACE
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CONSTRUCTION
SUPERVISOR
LICENSE
No: CI 075998

Revisions:

Title: REAR ELEVATION
Project: MANZELLO RESIDENCE
19 CANNA DRIVE
SHREWSBURY, MA 01545

Drawing No.:
2003-8
A3.1
9 of 12

25YR SHINGLES,
 • 15 ROOFING FELT ON
 5/8" CDX PLYWOOD
 - W/ CLIPPED EDGES
 ON 2X1-10
 WOOD RAFTERS
 • 16" O.C.

CONT. RIDGE VENT.

MTL FLASHING

2X6 COLLAR TIES
 • 32" O.C.

16" I-JOIST TO CLEAR
 SPAN OVER EXISTING
 CEILING JOIST

NEW 3/4" PLYWOOD
 EXISTING CEILING JOIST

I-JOIST

ATTIC FLOOR
 ELEV.
 * ADDITION
 * EXIST

8'-8 1/4"

EXIST WALL
 2X4 • 16" O.C.

FIRST FLOOR
 ELEV.

FIN. GRADE

EXIST CONC.
 BLOCK
 FOUNDATION

LOWER FLOOR
 ELEV.

8'-8 1/4"

FIN. GRADE

A
 A4.0

SECTION "A"

SCALE: 1/4" = 1'-0"

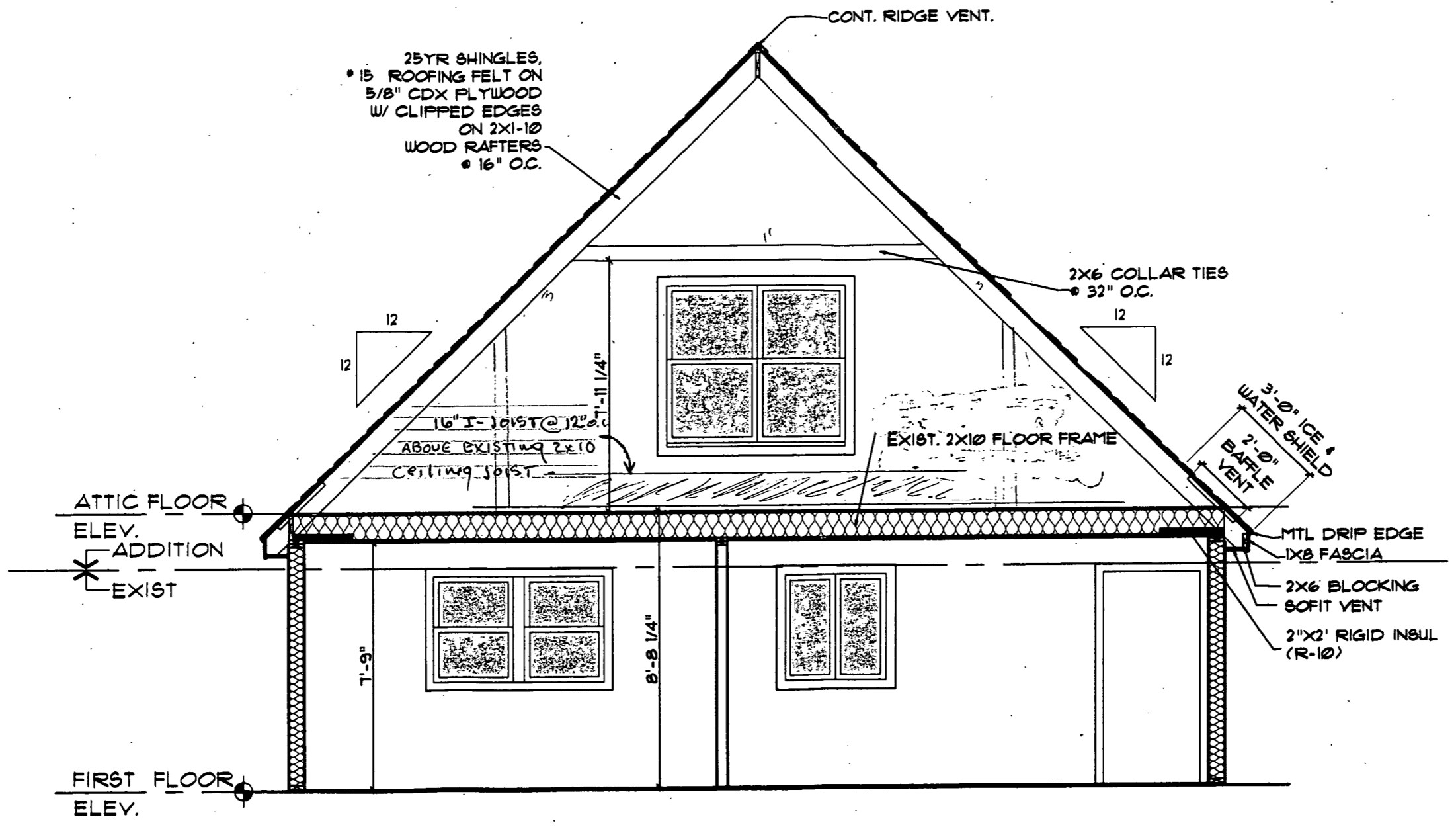
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AS NOTED
 07-14-03
 YD
 YMER
 2003-8
 Scale:
 Date:
 Drawn:
 Checked:
 Project No.:

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 CONSTRUCTION
 SUPERVISOR
 LICENSE
 No. CS 075998

Title: BUILDING SECTION "A"
 Project: MANZELLO RESIDENCE
 19 CANNA DRIVE
 SHREWSBURY, MA 01545

Drawing No.:
 2003-8
 A4.0
 0 of 2



B SECTION "B"
 A4.1 SCALE : 1/4" = 1'-0"

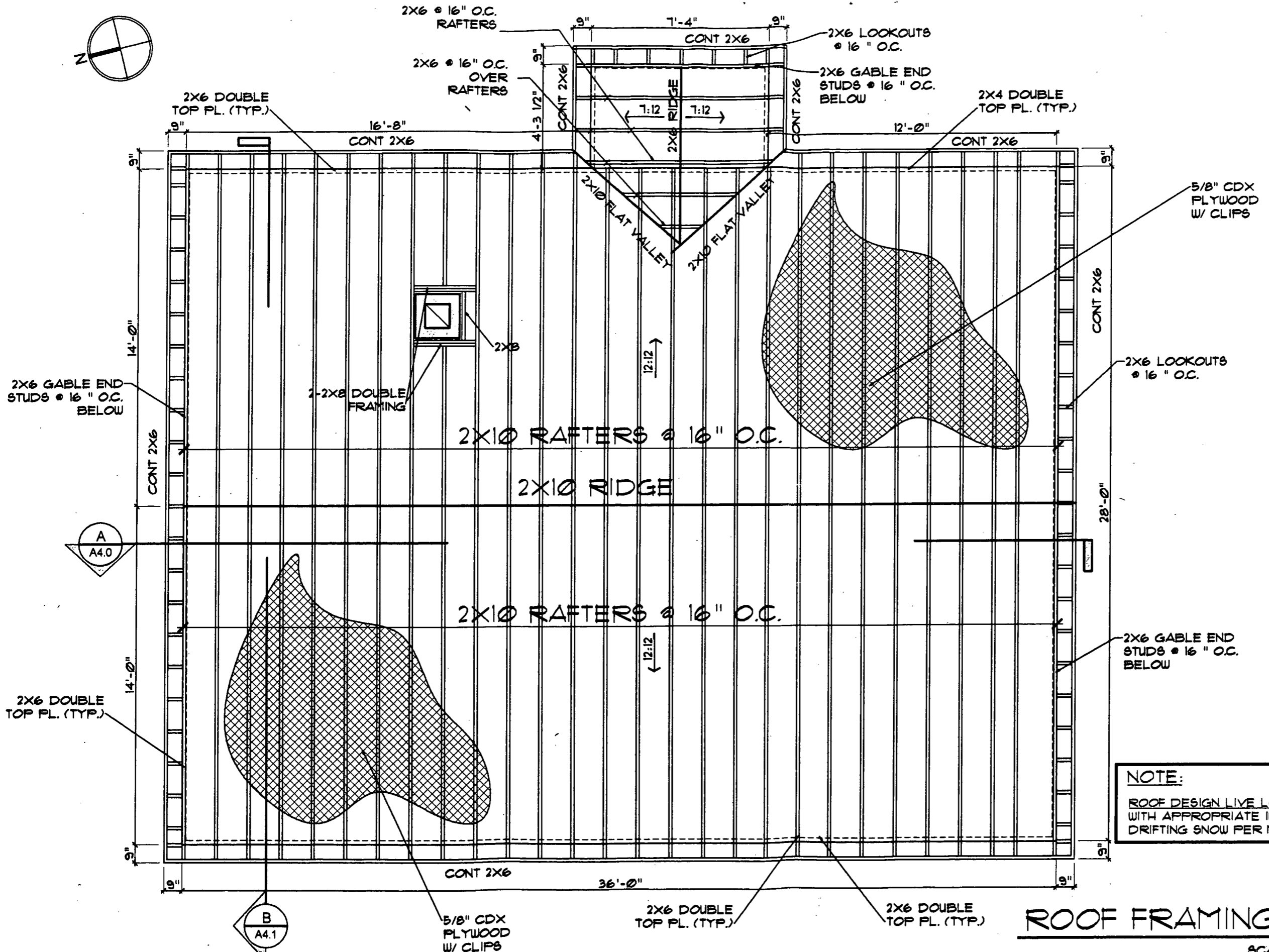
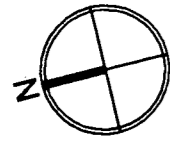
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Scale: AS NOTED
 Date: 07-14-03
 Drawn: YD
 Checked: YER
 Project No.: 2003-8



Title: BUILDING SECTION "A"
 Project: MANZELLO RESIDENCE
 19 CANNON DRIVE
 SHREWSBURY, MA 01545

Drawing No.:
 2003-8
A4.1
 11 of 12



2X6 GABLE END STUDS @ 16" O.C. BELOW

2X6 DOUBLE TOP PL. (TYP.)

2X6 DOUBLE TOP PL. (TYP.)

2-2X8 DOUBLE FRAMING

5/8" CDX PLYWOOD W/ CLIPS

2X6 DOUBLE TOP PL. (TYP.)

2X6 DOUBLE TOP PL. (TYP.)

2X6 LOOKOUTS @ 16" O.C.

2X6 GABLE END STUDS @ 16" O.C. BELOW

2X4 DOUBLE TOP PL. (TYP.)

2X6 LOOKOUTS @ 16" O.C.

2X6 GABLE END STUDS @ 16" O.C. BELOW

5/8" CDX PLYWOOD W/ CLIPS

NOTE:
 ROOF DESIGN LIVE LOAD = 35 PSF.
 WITH APPROPRIATE INCREASE FOR
 DRIFTING SNOW PER MASS BLDG. CODE.

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

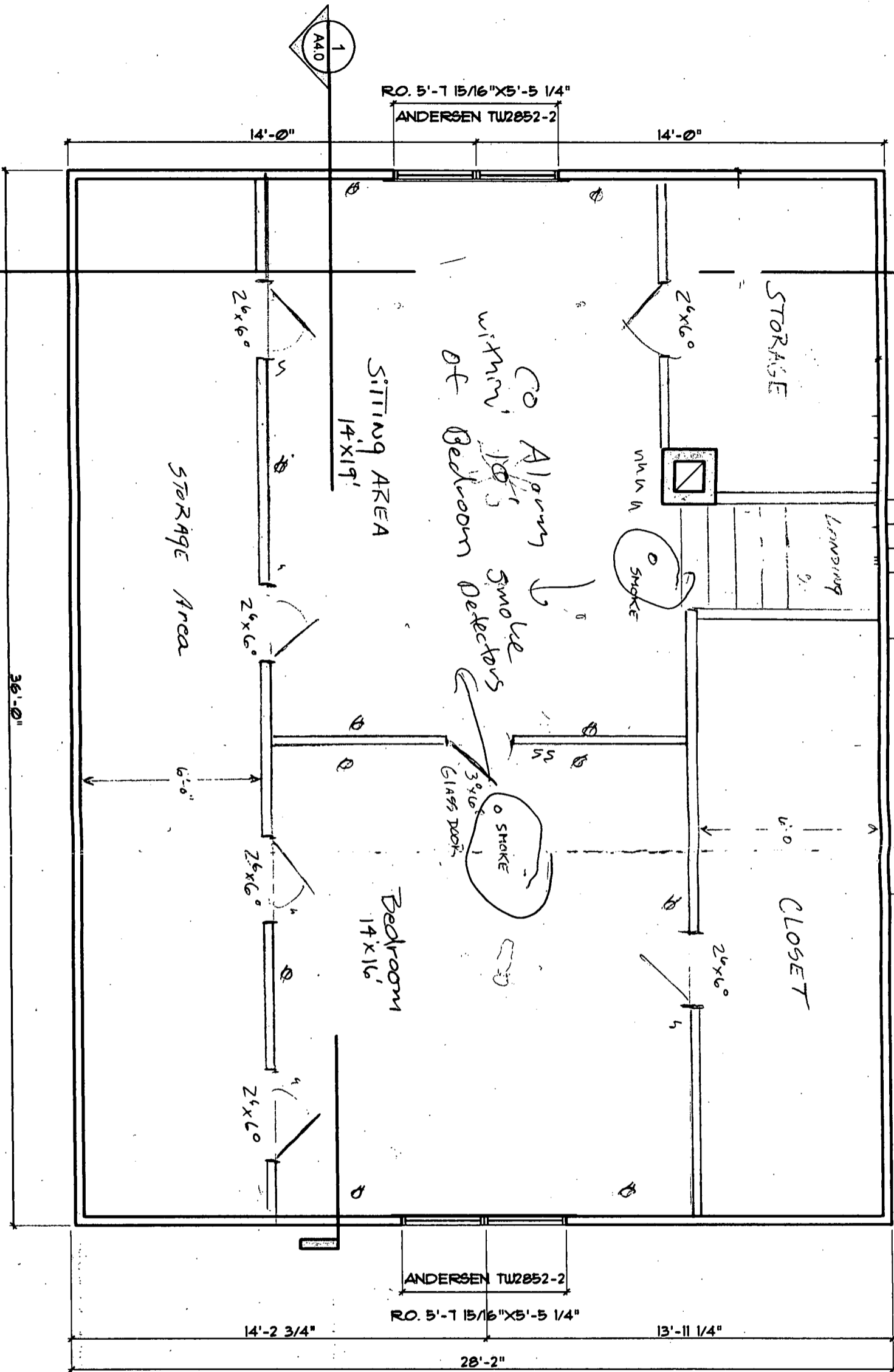
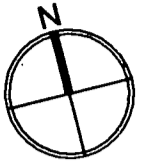
D + DESIGN SERVICE
 ARCHITECTURAL DESIGN SERVICE
 4 ABBOTT PLACE
 WORCESTER, MASSACHUSETTS 01602
 TEL: (508) 753-2905 FAX: (508) 753-2905

Scale: AS NOTED
 Date: 07-14-03
 Drawn: TD
 Checked: YMER
 Project No.: 2003-8

YMER DELJALLISI
 CONSTRUCTION SUPERVISOR
 LICENSE
 No: CS 073998

Title: ROOF FRAMING PLAN
 Project: MANZELLO RESIDENCE
 19 CANNA DRIVE
 SHREWSBURY, MA 01545

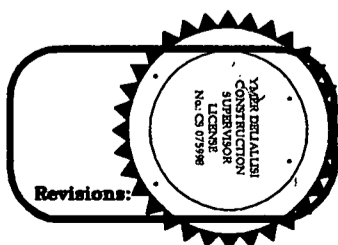
Drawing No.: 2003-8
 SLO
 12 of 12



2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Drawing No.:
2003-8
A2.1
1 of 2

Title: **NEW ATTIC FLOOR PLAN**
Project: **MANZELLO RESIDENCE**
19 CANNA DRIVE
SHREWSBURY, MA 01545



Scale: **AS NOTED**
Date: **01-14-03**
Drawn: **YD**
Checked: **YMER**
Project No.: **2003-8**

D + DESIGN SERVICE
ARCHITECTURAL DESIGN SERVICE
4 ABBOTT PLACE
WORCESTER, MASSACHUSETTS 01602
TEL: (508) 753-2905 FAX: (508) 753-2905

Phase 51 Plot 51

19 Canna Dr.
BUILDING PERMIT NO.
88-101

**TOWN OF SHREWSBURY
APPLICATION FOR PERMIT TO BUILD
INSTRUCTIONS**

The applicant must contact the Town Departments listed below regarding the following:

Department	Subject	Date	Initials
Assessors	Street No. Assignment	19	CANNA DR
Assessors	Tax Plate, Plot No.....		
Light Department	Wiring Inspections		
Engineering	Subdivision Driveways		
Water & Sewer	Water Service		
Water & Sewer	Sanitary Sewer Service		
Highway Department	Driveway Permit.....		
Health Department	Sewage Disposal Permit		
Fire Department	Fire Detection System.....		

BUILDING PERMIT APPLICATION INSTRUCTIONS

1. Plot plan must be drawn to scale and original drawn in ink.
2. Show all lot dimensions and area.
3. Show dimensions of all existing and proposed structures on the lot. Include all decks and porches.
4. Existing and proposed structures shall be distinguished by contrasting colors, or crosshatching existing structures.
5. Show front, rear, and side yard setback dimensions.
6. Show width of street right of way indicating whether it is public or private.
7. Note any zoning district lines within 100 feet of property.
8. Plot plans shall be submitted in duplicate.
9. Floor plans, foundation plans and framing sections are required for all new construction.

NO CONSTRUCTION IS ALLOWED PRIOR TO PROCUREMENT OF A BUILDING PERMIT

INSPECTIONS REQUIRED

1. Foundation and footing — prior to commencing superstructure and prior to backfill.
2. Rough framing before insulation, after plumbing and electrical inspections have been endorsed on permit. All firestopping and firewalls must be in place.
3. Final inspection before occupancy, after approval of finish plumbing, wiring and smoke detection system has been obtained.

Requests for inspections must be made 24 hours in advance by calling the Building Inspector's office at 845-6171.

10/20 - L L C

**TOWN OF SHREWSBURY
APPLICATION FOR PERMIT TO BUILD**

I. LOCATION OF BUILDING

1. NO. & STREET 19 CANNA DR.
 2. TAX PLATE 51 PLOT NOS. 51 SUBDIVISION LOT NO. _____
 3. ZONING DISTRICT RES. B-2
 4. PROPOSED USE REPLACE + ADD DECK 12'-23 1/2'

II. IDENTIFICATION

	NAME	ADDRESS	TEL. NO.
1. OWNER	<u>MARK PARADISE MARY OLLEN</u>	<u>19 CANNA DR.</u>	<u>7522079</u>
2. CONTRACTOR	_____	_____	_____
3. ARCHITECT	<u>SELF</u>	_____	_____

III. BUILDING CHARACTERISTICS

1. TYPE OF FRAME WOOD
 2. NO. OF STORIES 1
 3. STYLE OF BLDG. COTTAGE
 4. FLOOR AREA (SQ. FT.)
 A. BASEMENT, CELLAR 28 x 36
 B. FIRST FLOOR 28 x 36
 C. SECOND FLOOR _____
 D. THIRD FLOOR _____
 E. OTHER _____
 5. INT. WALLS _____
 6. EXT. WALLS _____
 7. TYPE OF HEAT HOT AIR
 8. WATER SUPPLY: TOWN PRIVATE
 9. SEWAGE: TOWN PRIVATE

IV. COST ESTIMATION (OMIT CENTS)

1. BUILDING 3000
 2. ELECTRICAL _____
 3. PLUMBING _____
 TOTAL COST .. \$ 3000⁰⁰

V. ROOM SCHEDULE

	FLOOR AREA	NO.	DIMENSIONS
1. NON-RESIDENTIAL			
A. OFFICE	_____	_____	_____
B. SALES, SERVICE	_____	_____	_____
C. STORAGE	_____	_____	_____
D. SHOP, MANUF.	_____	_____	_____
E. KITCHEN	_____	_____	_____
F. OTHER ...	_____	_____	_____
2. RESIDENTIAL			
A. KITCHEN	_____	_____	_____
B. LIVING	_____	_____	_____
C. DINING	_____	_____	_____
D. FAMILY, DEN.	_____	_____	_____
E. BEDROOMS	_____	_____	_____
F. BATHS	_____	_____	_____
G. LAUNDRY	_____	_____	_____
H. BREEZEWAY	_____	_____	_____
I. GARAGE (CARS) ...	_____	_____	_____
J. DECKS/PORCHES ..	_____	_____	_____
K. FIREPLACES	_____	_____	_____
L. STORAGE	_____	_____	_____

I HEREBY AGREE NOT TO OCCUPY THIS BUILDING OR ALLOW IT TO BE OCCUPIED UNTIL AN OCCUPANCY PERMIT HAS BEEN ISSUED.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____

APPROVED BY <u>Mark Paradise</u>	PERMIT FEE \$ <u>9.-</u>	PERMIT NO. <u>88-101</u>	DATE ISSUED <u>4-25-88</u>
-------------------------------------	-----------------------------	-----------------------------	-------------------------------

Maryellen (Duggan) Paradise
R. Searis

April 25

88

88-101

Mark Rardise

Same

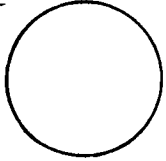
Construct Deck

Residential

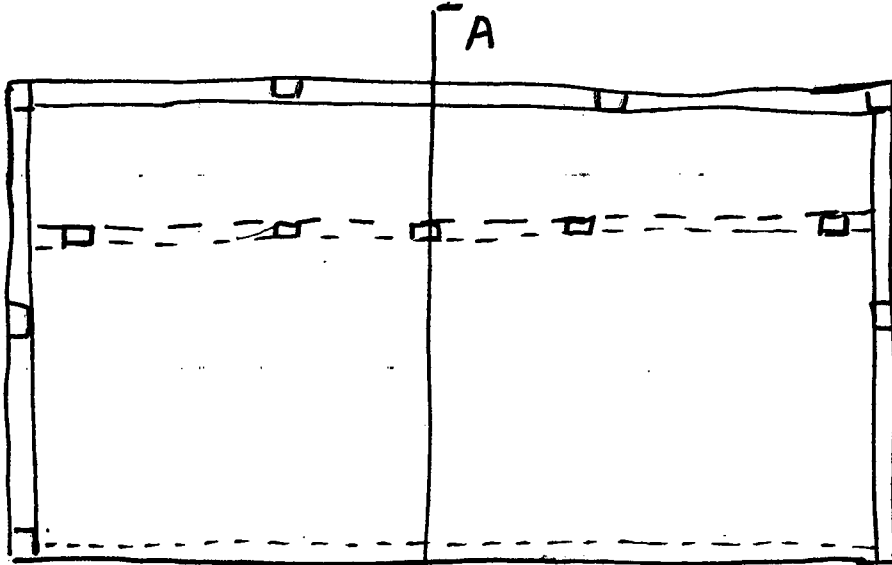
19 Canna Drive



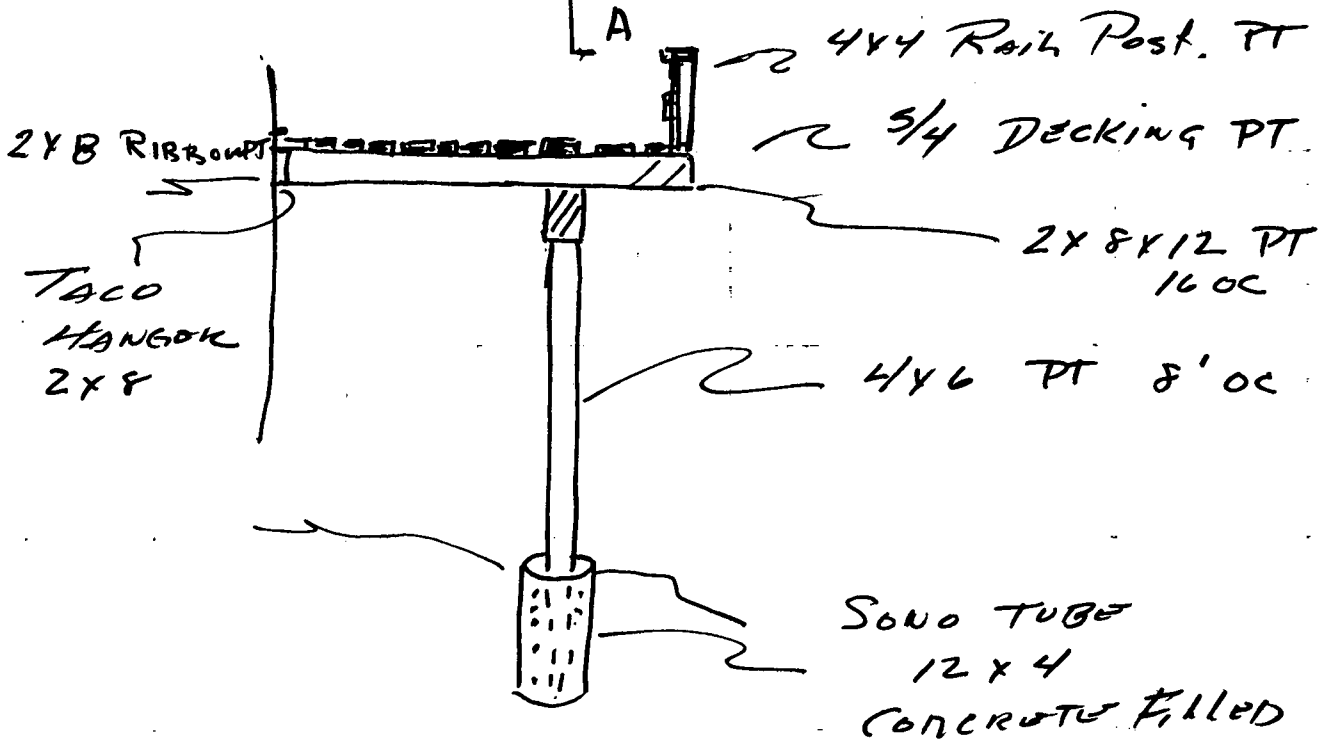
TOWN OF SHREWSBURY
Office of the Building Inspector
PLOT PLAN



Indicate North



12



SCALE: 1-inch = feet - Tax Plate No. _____ Plot No. _____ Date _____

LOCATION: _____ (Street & No.) Permit No. 88-101

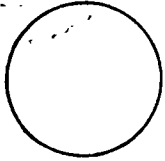
OWNER: MARK F. PARADISE and Maryellen Paradise ADDRESS: _____

ENGINEER'S NAME: _____

ENGINEER'S ADDRESS: _____ Zoning District _____



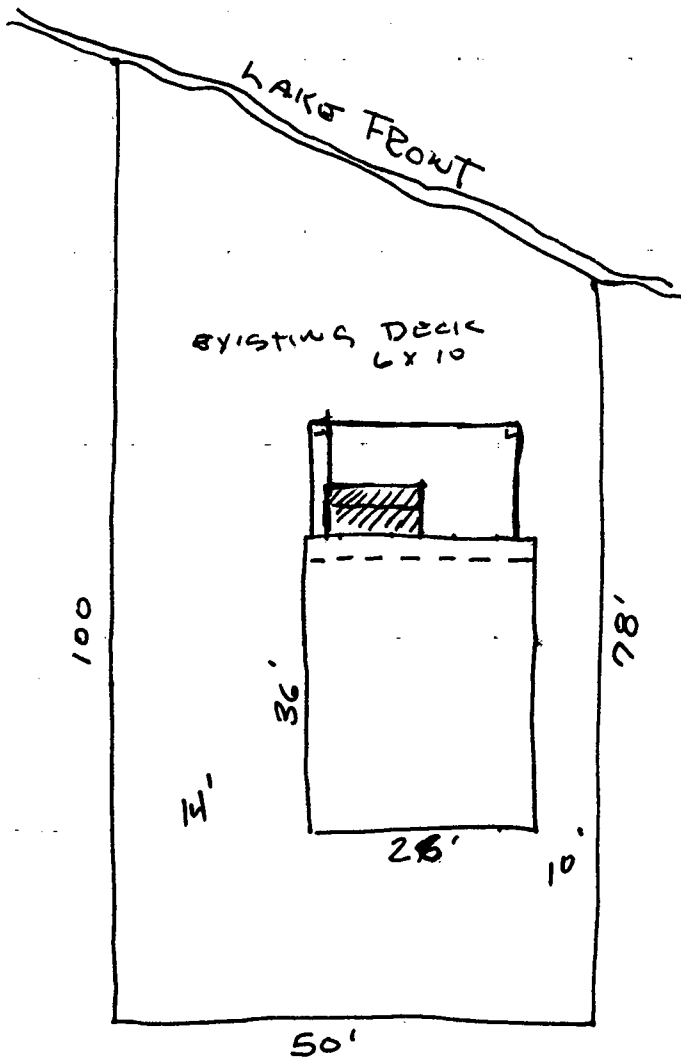
TOWN OF SHREWSBURY
Office of the Building Inspector
PLOT PLAN



Indicate North

EXISTING DECK
6 x 10

NEW DECK
12 x 23.6



House is
not located
on town map
According to
Scale.

SCALE: 1-inch = feet - Tax Plate No. 51 Plot No. 51 Date _____

LOCATION: _____ (Street & No.) Permit No. 88-101

OWNER: MARK F. PARADISE + MARYELLEN DUGGAN ADDRESS: 19 CANNA DV

ENGINEER'S NAME: _____

ENGINEER'S ADDRESS: _____ Zoning District _____



19 Canna Dr.
BUILDING PERMIT NO.
02-744

TOWN OF SHREWSBURY APPLICATION FOR PERMIT TO BUILD INSTRUCTIONS

The applicant must contact the Town Departments listed below regarding the following:

Department	Subject	Date	Initials
Assessors	Street No. Assignment	_____	_____
Assessors	Tax Plat, Plot No.	_____	_____
Light Department	Wiring Inspections	_____	_____
Conservation Commission	Wetlands Filing	_____	_____
Engineering	Subdivision Driveways	_____	_____
Water & Sewer	Water Service	_____	_____
Water & Sewer	Sanitary Sewer Service	_____	_____
Highway Department	Driveway Permit	_____	_____
Health Department	Sewage Disposal Permit	_____	_____
Fire Department	Fire Detection System	_____	_____

BUILDING PERMIT APPLICATION INSTRUCTIONS

1. Plot plan must be drawn to scale and original drawn in ink.
2. Show all lot dimensions and area.
3. Show dimensions of all existing and proposed structures on the lot. Include all decks and porches.
4. Existing and proposed structures shall be distinguished by contrasting colors, or crosshatching existing structures.
5. Show front, rear, and side yard setback dimensions.
6. Show width of street right of way indicating whether it is public or private.
7. Note any zoning district lines within 100 feet of property.
8. Plot plans shall be submitted in duplicate.
9. Floor plans, foundation plans and framing sections are required for all new construction.

.....
NO CONSTRUCTION IS ALLOWED PRIOR TO PROCUREMENT OF A BUILDING PERMIT

INSPECTIONS REQUIRED

1. Foundation and footing — prior to commencing superstructure and prior to backfill.
2. Rough framing before insulation, after plumbing and electrical inspections have been endorsed on permit. All firestopping and firewalls must be in place.
3. Final inspection before occupancy, after approval of finish plumbing, wiring and smoke detection system has been obtained.

Requests for inspections must be made 24 hours in advance by calling the Building Inspector's office at 841-8512.

19 Canna Dr.
02-744

TOWN OF SHREWSBURY

— APPLICATION FOR PERMIT TO BUILD —

I. LOCATION OF BUILDING

1. No. & Street 19 Canna Dr. Shrewsbury, MA 01545
 2. TAX PLATE _____ PLOT NOS. _____ SUBDIV. LOT NO. _____ ZONING DIST. _____
 3. PROPOSED CONSTRUCTION/USE Repair Header OF SLIDER - Replace with WINDOW

II. IDENTIFICATION

	NAME	ADDRESS	TEL. NO.
1. OWNER	Theresa Manzello	19 Canna Dr. Shrewsbury	508-798-8529
2. CONTRACTOR	ANDREW J. MARENCO <i>[Signature]</i>	6 SANDRA LANE DUDLEY MA	949-0941
3. ARCHITECT			

III. BUILDING CHARACTERISTICS

1. TYPE OF FRAME _____
 2. NO. OF STORIES _____
 3. STYLE OF BLDG. _____
 4. FLOOR AREA (SQ. FT.) _____
 A. BASEMENT, CELLAR _____
 B. FIRST FLOOR _____
 C. SECOND FLOOR _____
 D. THIRD FLOOR _____
 E. OTHER _____
 5. INT. WALLS _____
 6. EXT. WALLS _____
 7. TYPE OF HEAT _____
 8. WATER SUPPLY: TOWN PRIVATE
 9. SEWAGE: TOWN PRIVATE

V. ROOM SCHEDULE

V. ROOM SCHEDULE		FLOOR AREA
1. NON-RESIDENTIAL	_____	_____
A. OFFICE	_____	_____
B. SALES, SERVICE	_____	_____
C. STORAGE	_____	_____
D. SHOP, MANUF.	_____	_____
E. KITCHEN	_____	_____
F. OTHER	_____	_____
2. RESIDENTIAL	NO.	DIMENSIONS
A. KITCHEN	_____	_____
B. LIVING	_____	_____
C. DINING	_____	_____
D. FAMILY, DEN	_____	_____
E. BEDROOMS	_____	_____
F. BATHS	_____	_____
G. LAUNDRY	_____	_____
H. BREEZEWAY	_____	_____
I. GARAGE (CARS)	_____	_____
J. DECKS/PORCHES	_____	_____
K. FIREPLACES	_____	_____
L. STORAGE	_____	_____

IV. COST ESTIMATION

(OMIT CENTS)
 1. BUILDING \$ 3639.⁰⁰
 2. ELECTRICAL _____
 3. PLUMBING _____
 TOTAL COST \$ _____

I HEREBY AGREE NOT TO OCCUPY THIS BUILDING OR ALLOW IT TO BE OCCUPIED UNTIL AN OCCUPANCY PERMIT HAS BEEN ISSUED.

(X) *[Signature]* 6 SANDRA LANE 10-16-02
 SIGNATURE OF APPLICANT ADDRESS DATE
 CONST. SUPERVISOR'S LICENSE # 077353 HOME IMPROV. REG. # 131463

APPROVED BY <i>P. Sheehan</i>	PERMIT FEE \$ 20. ⁰⁰	PERMIT NO. 02-744	DATE ISSUED 10-17-02
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Pd 11-8-02



Gas Fitting Permit

54750

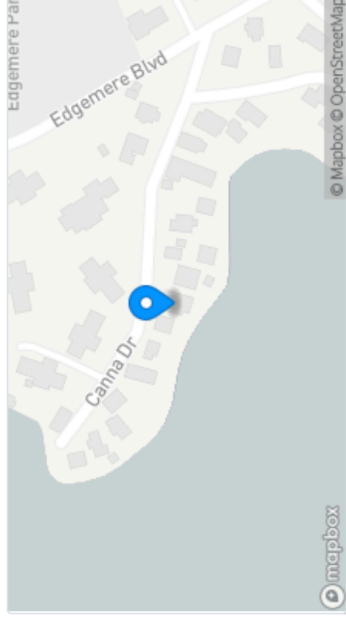
Applicant

Michael Nicholson

Location

19 CANNA DR
SHREWSBURY, MA 01545

[View location details](#)



Created

Mar 2, 2020

Status

Complete

Expires

May 31, 2020

Details

Files (0)

Project Info

Occupancy Type *

Residential - Single Family

Description of Proposed Work *

Furnace replacement

Project Type *

Fixture/Appliance Replacement

Documents

01 - Application Overview

Issued Mar 2, 2020

VERIFICATION - Is this permit ONLY for a replacement water heater? *
This request does not involve a hot water heater.

Town Electrical Permits

54716



Applicant

Michael Nicholson

Location

19 CANNA DR

SHREWSBURY, MA 01545

[View location details \(/locations/14637\)](/locations/14637)

Created

Feb 27, 2020


Status

Complete

Expires

--

Details **Files (0)**

Project Info**Occupancy Type * **

Residential (Single/Multi Family, Town House, or Condo)

Is this a multi unit building? *

No

Purpose of Building

--

Utility Authorization No.

--

Is this a New Service? *

No

Project Category * 

Service Upgrade/Meter Socket Upgrade

Estimated Total Cost of Electrical Work *

5,000

Proposed Start Date * 

02/27/2020

Is there a building permit in conjunction with this application? *

No

Description of Proposed Electrical Work *

Upgrade service panel from 150 Amp to 200 Amp & moving meter/location of attachment

Do you need an underground/trench inspection? *

No

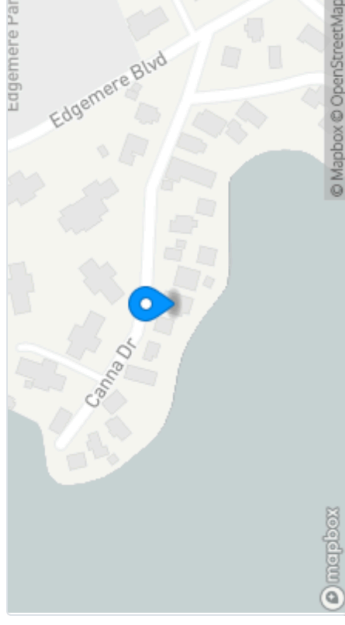


Plumbing Permit

P-23-311

Applicant
Ilgiz Shaikhov

Location
19 CANNA DR
SHREWSBURY, MA 01545
[View location details](#)



Created
Jun 1, 2023

Status
Complete

Expires
Aug 30, 2023

Details [Files \(0\)](#)

Project Info

Occupancy Type *	Project Type *
Residential - Single Family	Fixture/Appliance Replacement
Is This For A Water Heater Only? *	Is This Part of Building Project?
Yes, this permit is only for the replacement of a GAS hot water heater.	No. This is a stand alone request.

Please Describe Proposed Plumbing Work *
Installation of new tankless LP gas water heater

Documents

01 - Application Overview
Issued Jun 1, 2023