

GENERAL REQUIREMENTS

THESE DRAWINGS HAVE BEEN PERFORMED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE STRUCTURAL ENGINEERS. THEY ASSUME WORK WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR USING GOOD BUILDING PRACTICES. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS, EXISTING CONDITIONS, AND NOTED ASSUMPTIONS. ANY DISCREPANCIES SHALL BE VERIFIED WITH ENGINEER OF RECORD BEFORE PROCEEDING. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, TYPICAL DETAILS, AND GENERAL STRUCTURAL NOTES, NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION SUCH THAT DESIGN LIVE LOAD PER SQUARE FOOT AS STATED HEREIN.

BASIS FOR DESIGN

BUILDING CODES: 2015 IBC (WITH COUNTY AMENDMENTS WHERE APPLICABLE)
2015 INTERNATIONAL RESIDENTIAL CODE
ELEVATION -5800 FT

ROOF LOADS:
LIVE LOAD 25 PSF (REDUCIBLE)
DEAD LOAD 15 PSF
SNOW LOAD 30 PSF

FLOOR LOADS
• LIVE LOAD 40 PSF
• DEAD LOAD 10 PSF
• STAIRS 100 PSF

SEISMIC DESIGN:

I= 1.0
SS=0.685
S1=0.211
R= 6.5 (WOOD SHEARWALLS)
SOIL SITE CLASS=D-0
BASE SHEAR V= 7.4k
WIND DESIGN:
BASIC WIND SPEED= 115 MPH
WIND EXPOSURE = C
VELOCITY PRESSURE= 24.9 PSF

FOUNDATION AND SOIL

IF RECOMMENDATIONS IN SOILS REPORT DIFFER FROM THESE NOTES, SOILS REPORT SUPERCEDES. NOTE: NO SOILS REPORT PROVIDED FOR THIS PROJECT. SOIL BEARING CAPACITY = 1500 PSF
FROST DEPTH = 30 INCHES
BLUE STAKES OF UTAH 811 TO BE CONTACTED BEFORE THE COMMENCEMENT OF ANY SITE EXCAVATIONS.
PROTECT ADJACENT SITES, GUTTERS, AND STORM DRAIN INLETS WITH APPROPRIATE WATTLING, SILT FENCES, AND OTHER APPROPRIATE EROSION CONTROL MEASURES.
ALL FOUNDATIONS SHALL BEAR ON FIRM, UNDISTURBED (NATURAL) SOIL OR COMPACTED ENGINEERED FILL 12 INCHES MINIMUM BELOW FINISH GRADE. GRADE IS DEFINED AS TOP OF SLAB FOR INTERIOR FOOTINGS AND LOWEST ADJACENT GRADE WITHIN 5 FEET OF THE BUILDING FOR PERIMETER FOOTINGS. WHERE EXTERIOR PAVING OR CONCRETE IS DIRECTLY ADJACENT TO BUILDING. CONCRETE FOOTING EXCAVATIONS SHALL BE CLEAN AND FREE OF LOOSE DEBRIS OR UNCOMPACTED. MATERIAL SHOULD BE MOISTENED, BUT NOT SATURATED JUST PRIOR TO PLACING CONCRETE. BACKFILL AROUND EXTERIOR WALLS BELOW GRADE SHALL NOT BE PLACED UNTIL AFTER THE WALLS ARE SUPPORTED BY THE COMPLETION OF INTERIOR FLOOR SYSTEMS.
PROVIDE 5% DRAINAGE AWAY FROM BUILDING FOR A MINIMUM OF 10 FT. RUN-OFF SHOULD BE DIVERTED AWAY FROM SEPTIC TANKS AND DRAIN FIELDS

CONCRETE

CONCRETE FOR FOOTINGS AND WALLS SHALL OBTAIN A MINIMUM 30 DAY COMPRESSIVE STRENGTH OF 3500 PSI. CONCRETE FOR SLABS SHALL OBTAIN A MINIMUM 30 DAY COMPRESSIVE STRENGTH OF 3500 PSI
PORTLAND CEMENT SHALL CONFORM TO ASTM C150. TYPE V PORTLAND CEMENT SHALL BE USED FOR CONCRETE IN CONTACT WITH ALKALINE SOIL. OTHERWISE TYPE II SHALL BE USED.
CONCRETE SHALL BE PLACED NO LATER THAN 90 MINUTES AFTER LEAVING BATCHING PLANT. MAXIMUM SLUMP FOR ALL CONCRETE SHALL BE 4 INCHES. SLUMP FOR EXTERIOR SLABS SHALL BE 6 INCHES
REINFORCING STEEL SHALL MEET ASTM A615 AND SHALL BE GRADE 60. LAP SPLICES SHALL BE A MINIMUM OF 20." NO SPLICES PERMITTED WITHIN 12" OF CORNERS. PROVIDE COVER FOR REINFORCING BARS PER RECOMMENDATIONS IN ACI 318.
DOWEL ALL VERTICAL REINFORCING TO FOUNDATION, AS SPECIFIED ON PLANS OR DETAILS. SECURELY TIE ALL BARS IN LOCATION PRIOR TO PLACEMENT OF THE CONCRETE.
ALL SLAB OR WALL OPENINGS TO BE REINFORCED WITH #5 BARS PLACED DIAGONALLY TO THE CORNER OF OPENING, EXTENDING 12" EACH WAY.

FRAMING

ALL NAILING SHALL CONFORM TO IBC TABLE 2304.9.1
SILL PLATES RESTING ON CONCRETE OR MASONRY SHALL BE TREATED FIR OR FOUNDATION GRADE REDWOOD. UNLESS OTHERWISE NOTED, SILL PLATE ANCHORAGE SHALL BE 1/2" DIAMETER EMBEDDED ANCHOR BOLTS @ 32" O.C. AND SHALL BE EMBEDDED 7" AND SECURED WITH 2" SQUARE WASHERS. EQUIVALENT EXPANSION BOLTS MAY BE USED, PROVIDED EXPANSION ANCHORS HAVE SHEAR STRENGTH GREATER THAN 6200 POUNDS and pullout VALUE GREATER THAN 5500 POUNDS.
EPOXY BOLTS OF THE SAME DIAMETER AND SPACING MAY BE USED IN LIEU OF THE EMBEDDED BOLTS. A 7" MINIMUM EMBEDDED SHALL BE PROVIDED FOR EPOXY GROUTED BOLTS.
SAWN LUMBER: FRAMING LUMBER SHALL HAVE THE FOLLOWING MINIMUM GRADE::
2 x 4 STUDS HEM-FIR OR DOUGLAS FIR NO 2
2 x 6 STUDS HEM-FIR OR DOUGLAS FIR NO 2
JOISTS AND TOP PLATES DOUGLAS FIR NO. 2
ALL OTHER SAWN LUMBER DOUGLAS FIR NO. 2
BEAMS AND POSTS DOUGLAS FIR NO.1
GLU LAM BEAMS: SHALL BE DOUGLAS FIR 24F-V8. THE GLB BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
E=2,000,000 PSI
FB=2400 PSI
FV=165 PSI
LAMINATED VENEER LUMBER (LVL :) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
E=2,000,000 PSI
FB=2800 PSI
FV=285 PSI

WHEN MULTIPLE LVL PIECES ARE GROUPED TOGETHER, THEY SHALL BE FASTENED WITH (2) ROWS OF 16D NAILS AT 12" O.C.
WHEN MULTIPLE LVL PIECES ARE GROUPED TOGETHER, THEY SHALL BE FASTENED WITH 2 ROWS OF 16D NAILS AT 12" O.C
FLOOR JOISTS: FLOOR JOISTS SHALL BE ENGINEERED I-JOISTS WITH DEFLECTIONS RATING OF 1/480 AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
FLOOR SHEATHINGS UNLESS OTHERWISE NOTED, ALL SUBFLOOR SHEATHING SHALL BE APA RATED 3/4" T&G OSB WITH SPAN RATINGS OF 48/24. SUBFLOOR SHEETS TO BE GLUED TO FLOOR JOISTS WITH ANAPAAFG-01 QUALIFIED GLUE AND SCREWED USING #8 WOOD SCREWS AT 6" O.C.
ROOF SHEATHING UNLESS OTHERWISE NOTED, ALL ROOF SHEATHING SHALL BE APA RATED 5/8" WITH SPAN RATING OF 48/24. SHEATHING TO BE FASTENED WITH 8D NAILS AT 6" O.C. PERIMETER AND 12" FIELD.
WALL SHEATHING UNLESS OTHERWISE NOTED IN SHEARWALL SCHEDULE, ALL WALL SHEATHING SHALL BE APA RATED 7/16" OSB SHEATHING TO BE FASTENED WITH 8D NAILS AT 6" O.C. PERIMETER AND 12" FIELD.
ALL BEAMS, TRUSSES AND OTHER STRUCTURAL MEMBERS CARRYING HORIZONTAL LOADS SHALL BE SUPPORTED ACROSS FULL BREADTH ON MINIMUM (2) STUDS OR SUPPORTED WITH APPROPRIATE SIMPSON HANGAR.
BOLTING: UNLESS OTHERWISE NOTED, ALL BOLTS IN WOOD CONNECTIONS SHALL CONFORM TO ASTM A307.

SHEARWALL NOTES

DRAG STRUT SHALL BE A MIN. (2) 2X4 CONNECTED TO TOP PLATE AT EACH END WITH SIMPSON DSC CONNECTOR OR CONTINUOUS 2X TOP PLATE. MINIMUM DOUBLE 2X FRAMING AT ALL SHEARWALL EDGES.
SHEARWALLS TO BE CONTINUOUS ACROSS STORY JOINTS WITH PANELS LAPPED A MINIMUM OF 24" OR USE OF SIMPSON CS10 STRAPPING.
SHEARWALL NAILING AND HOLDOWN TYPES PER SHEARWALL SCHEDULE. ENGINEER TO APPROVE ALTERNATES IN WRITING.
PREFABRICATED TRUSSES AND JOISTS
PREFABRICATED TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUS LIVE LOAD AND SUPERIMPOSED DEAD LOADS. BRIDGING SIZE AND SPACING BY TRUSS MANUFACTURER UNLESS NOTED OTHERWISE.
ALL ROOF TRUSSES TO BE SECURED AT EACH END WITH SIMPSON H1 TIE.
ANY ENGINEERING PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE APPROPRIATE STATE. THE SHOP DRAWINGS DO NOT REPLACE ORIGINAL CONTRACT DRAWINGS. THE ADEQUACY OF ENGINEERING DESIGNS AND LAYOUT PERFORMED BY OTHERS RESTS WITH THE DESIGNING OR SUBMITTING AUTHORITY. REVIEWING IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR CORRECTNESS SHALL REST WITH THE CONTRACTOR.

FOUNDATION NOTES:

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

CONCRETE STRENGTH,
3,500 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI).
3,500 PSI AT 28 DAYS FOR ALL OTHER CONDITION.
MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE

CONCRETE EXPANSION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

REINFORCEMENT SCHEDULE:

20X10 CONTINUOUS- (2) #4 BARS CONTINUOUS
30X30X10-(3) #4 BARS EACH WAY
36X36X10-(4) #4 BARS EACH WAY
STEM WALL- (1) #4 BAR BOTTOM, MIDDLE & TOP HORIZONTAL
(1) #4 BAR VERTICAL @ 24" O.C.
8"x9'-0" CONCRETE WALL W/ #4 BAR @ 18" O.C. EACH WAY

GENERAL PLUMBING & HVAC NOTES:

1. HVAC SHALL HAVE TWO ZONES, ONE FOR EACH FLOOR.
2. THE FURNACE AND WATER HEATER ON FLOOR 3 SHALL SERVE FLOOR 3.
3. THE FURNACE AND WATER HEATER ON FLOOR 1 SHALL SERVE FLOORS 1 & 2.
4. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND.
5. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER.
6. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
7. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F.
8. WATER SOFTENER UNIT SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE.
9. EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK FLOW PREVENTION DEVICE.
10. HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS APPROPRIATE.
11. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.
12. INSULATE WASTE LINES FOR SOUND CONTROL.

DOOR AND WINDOW NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.
ALL WALK-THRU DOORS SHALL BE SOLID CORE
INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING
DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING
EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60
GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCROACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.

TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".

STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.

ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

REVISION TABLE	
NUMBER	DESCRIPTION

NUMBER	DATE	REVISD BY	DESCRIPTION

Customer Name: Bruce Kuglerdall	
Drawing by: Ben Carter	
Location: Canyon Ridge	
Drawn For: Diamond K Builders	

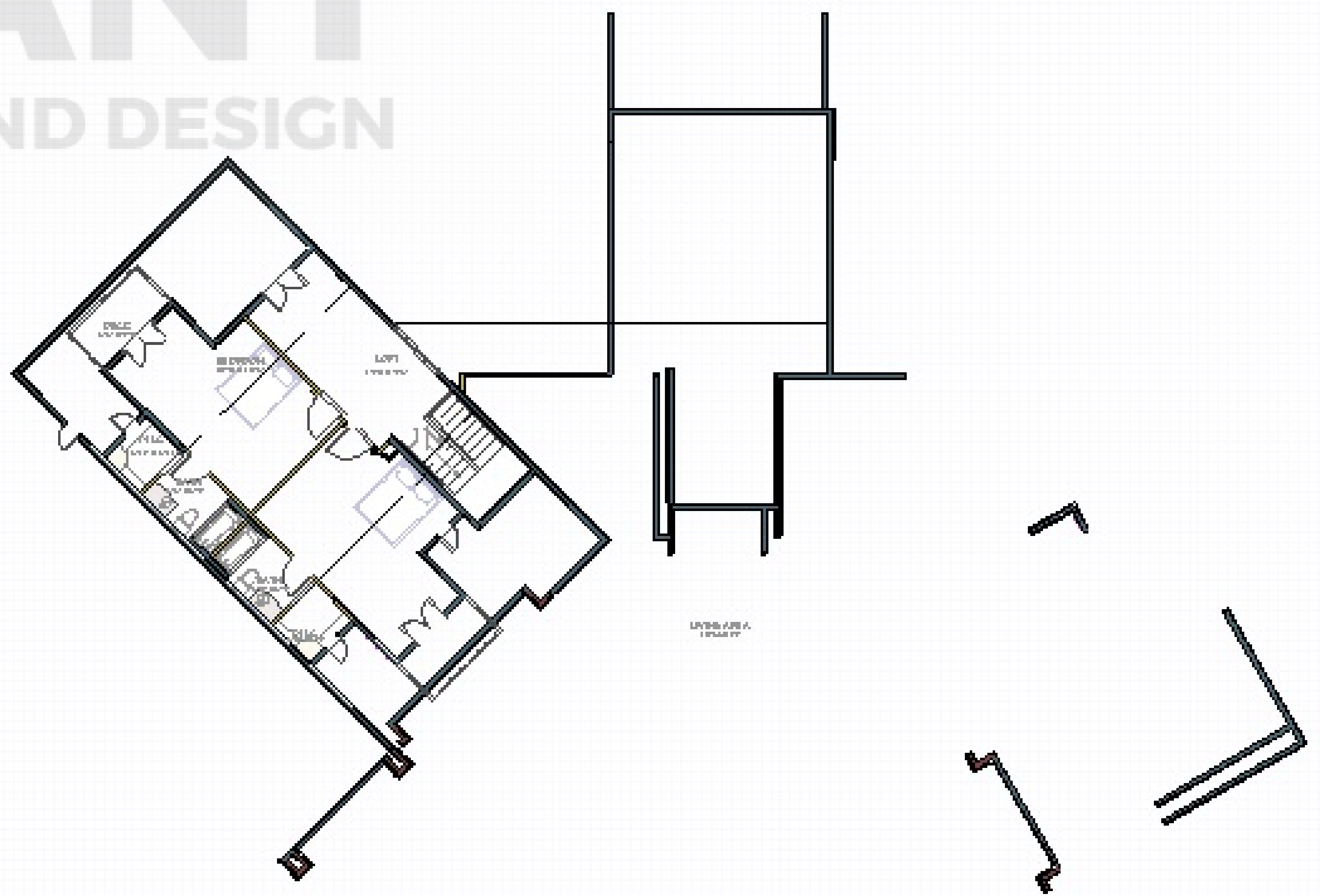
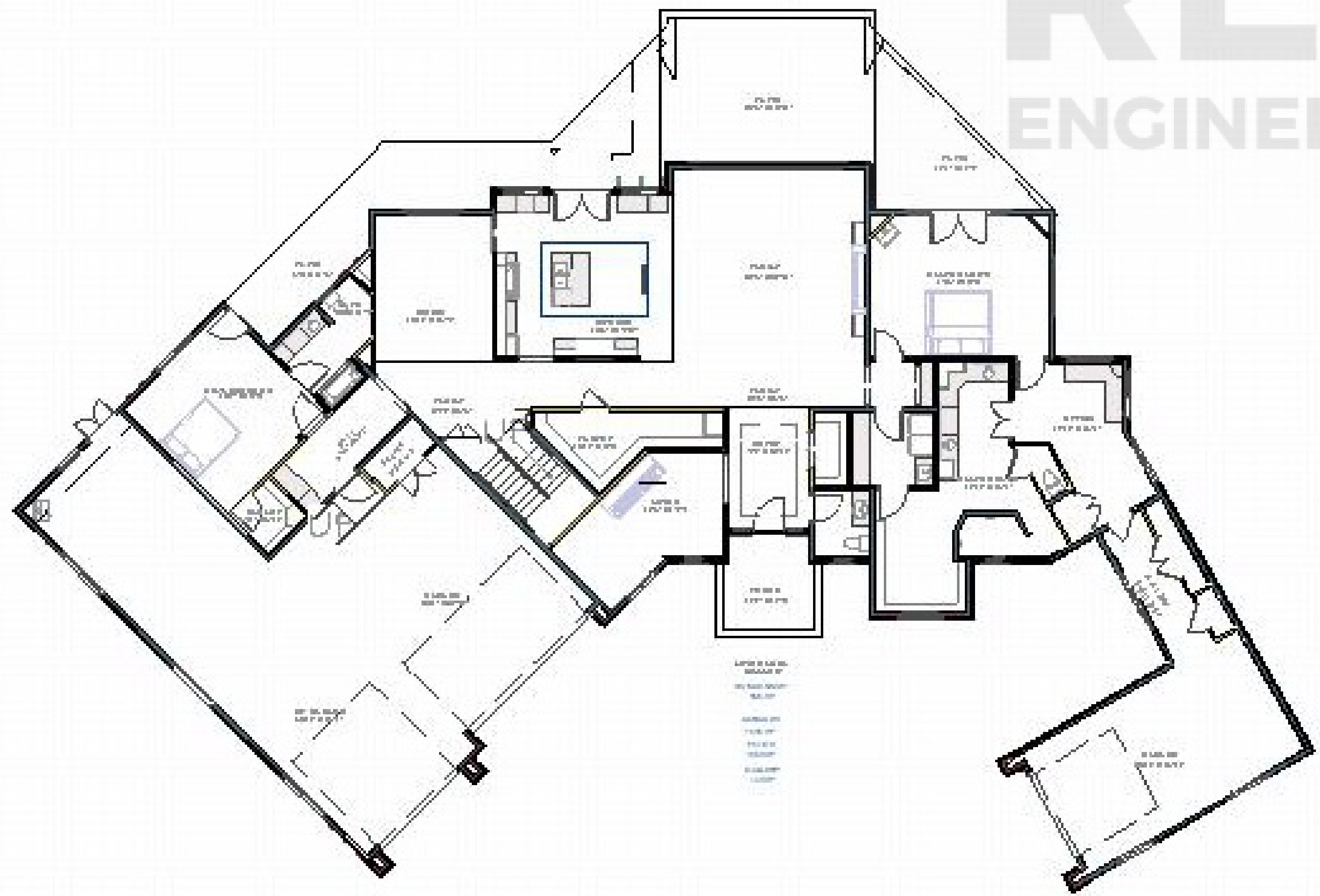
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DRAWINGS PROVIDED BY:	
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DATE:
3/7/2019
SCALE:
1/4"=1'
SHEET:
P-1



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REVISION TABLE	
NUMBER	DESCRIPTION

Customer Name: Bruce Kuykendall
Drawing by: Ben Carter
Location: Canyon Ridge
Drawn For: Diamond K Builders

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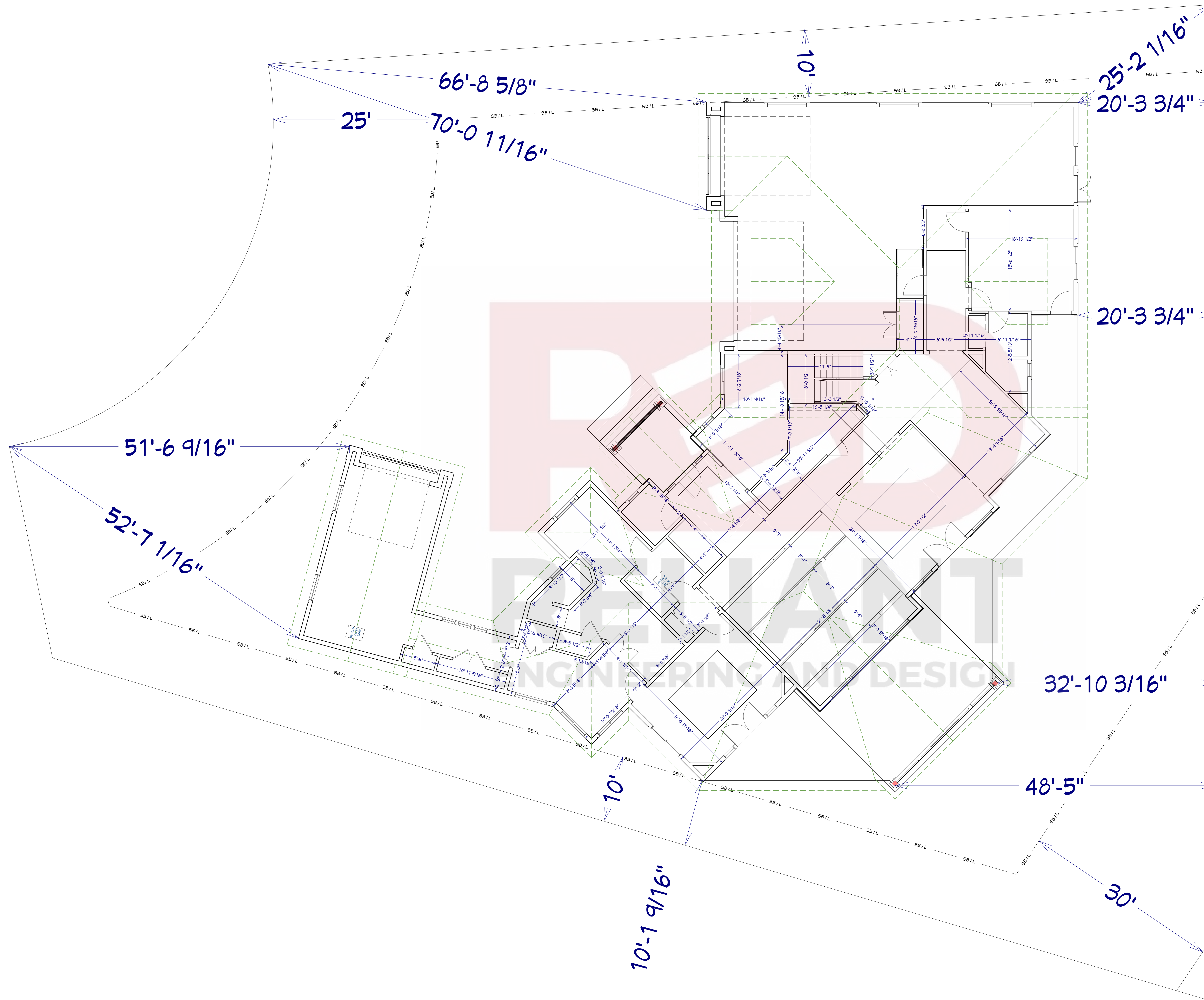
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SCALE:
1/4"=1'

SHEET:
P-2



Site Plan
1" = 6'

REVISION TABLE	
NUMBER	DATE

Customer Name: Bruce Kuykendall
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Location: Canyon Ridge
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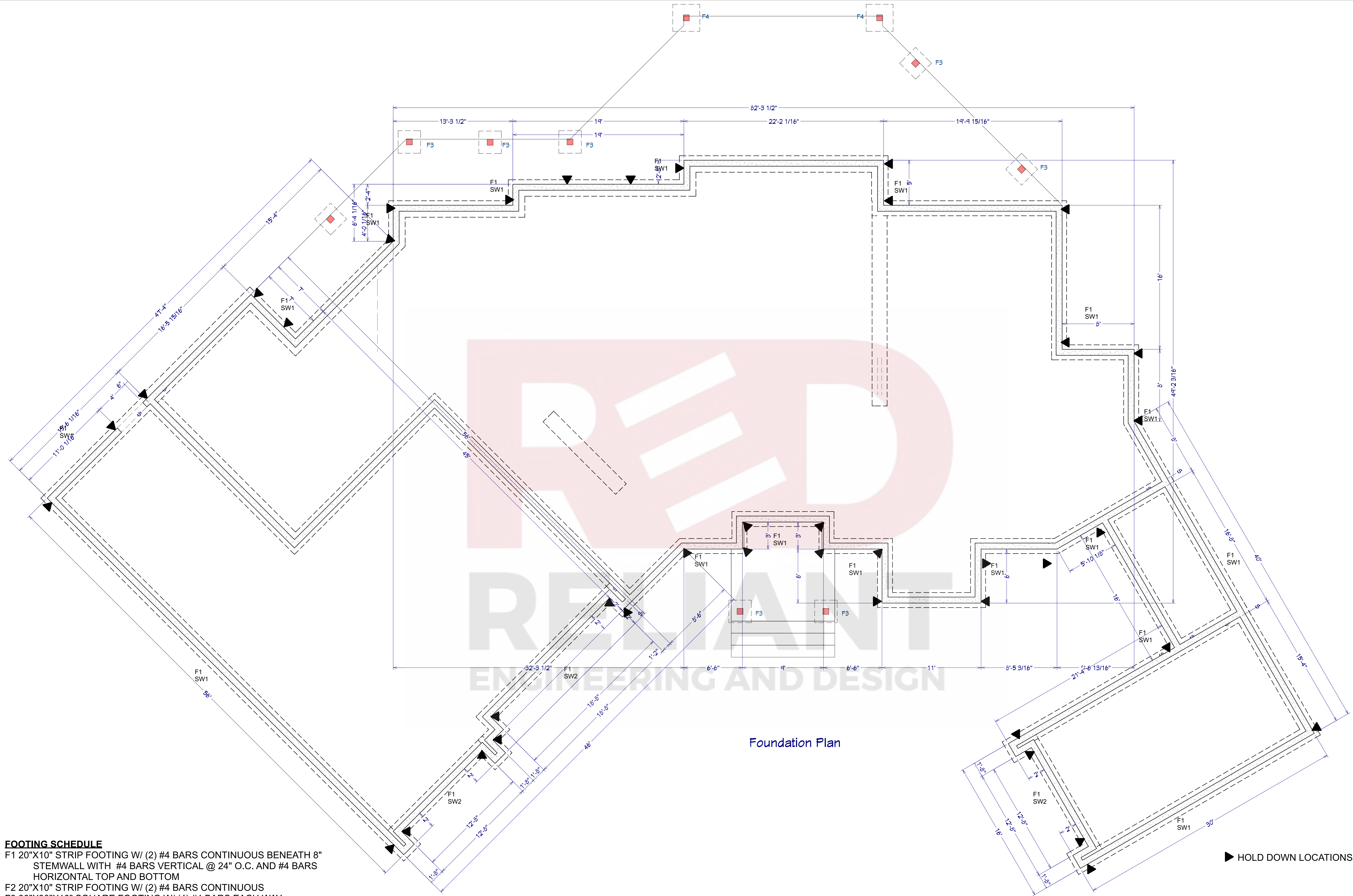
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Foundation Plan

FOOTING SCHEDULE
F1 20"x10" STRIP FOOTING W/ (2) #4 BARS CONTINUOUS BENEATH 8" STEMWALL WITH #4 BARS VERTICAL @ 24" O.C. AND #4 BARS HORIZONTAL TOP AND BOTTOM
F2 20"x10" STRIP FOOTING W/ (2) #4 BARS CONTINUOUS
F3 30"x30"x10" SQUARE FOOTING W/ (4) #4 BARS EACH WAY
F4 42"x42"x10" SQUARE FOOTING W/ (6) #4 BARS EACH WAY

Shear Wall Schedule						
SW	Sheathing	Nailing	Holdowns	Edge Studs	Anchor Bolts (Min Spacing)	Comments
SW-1	7/16" OSB	8d Nails @ 6" perimeter, 12" field	STHD10	(2) 2X6	1/2 in. @ 32" O.C.	
SW-2	7/16" OSB	8d Nails @ 3" perimeter, 12" field	STHD10	(2) 2X6	1/2 in. @ 16" O.C.	

► HOLD DOWN LOCATIONS

REVISION TABLE	
NUMBER	DESCRIPTION

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Location: Canyon Ridge
Drawn For: Diamond K Builders

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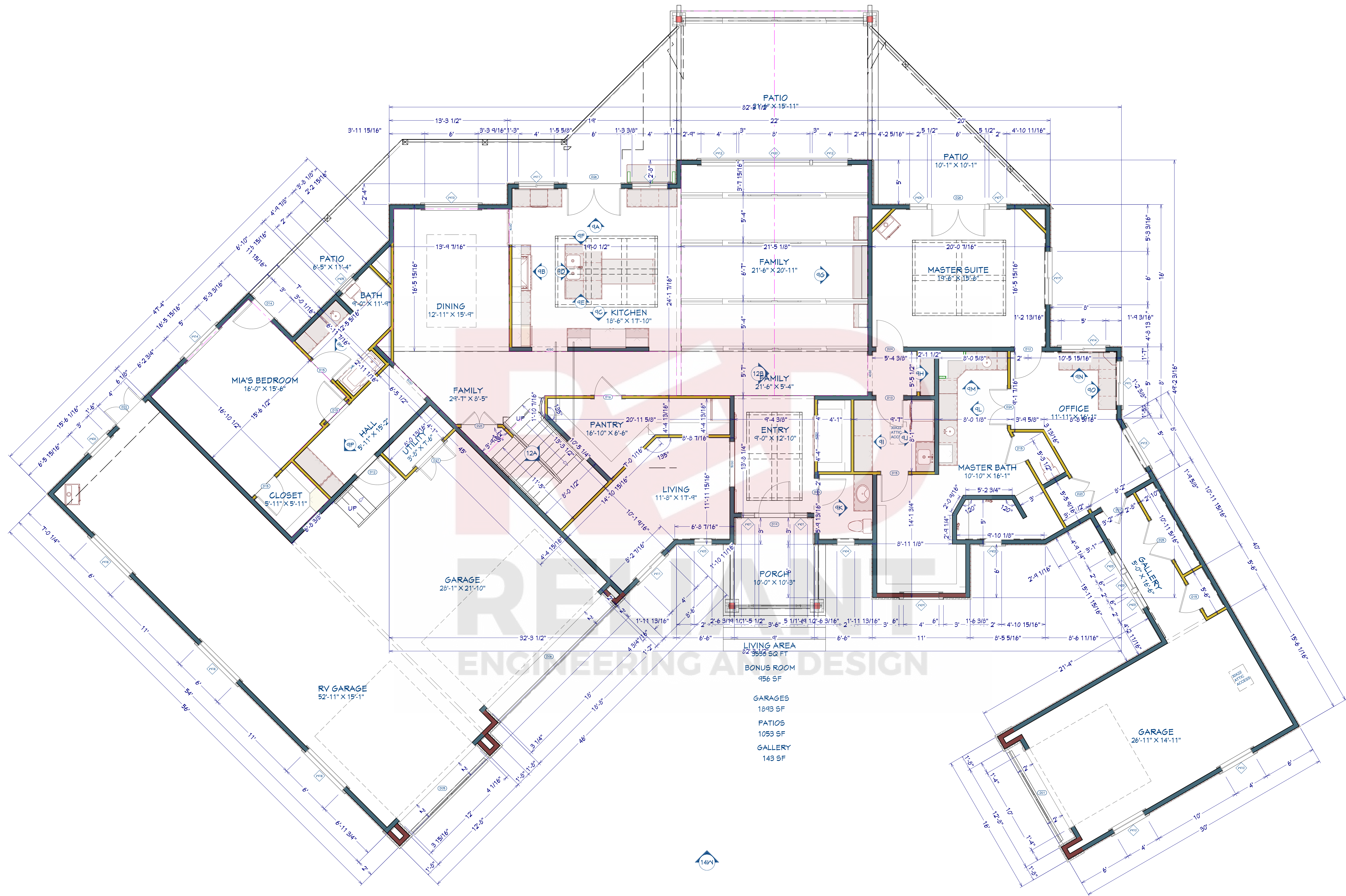
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Main Floor Plan

REVISION TABLE	
NUMBER	DESCRIPTION

Customer Name: Bruce Kuykendall
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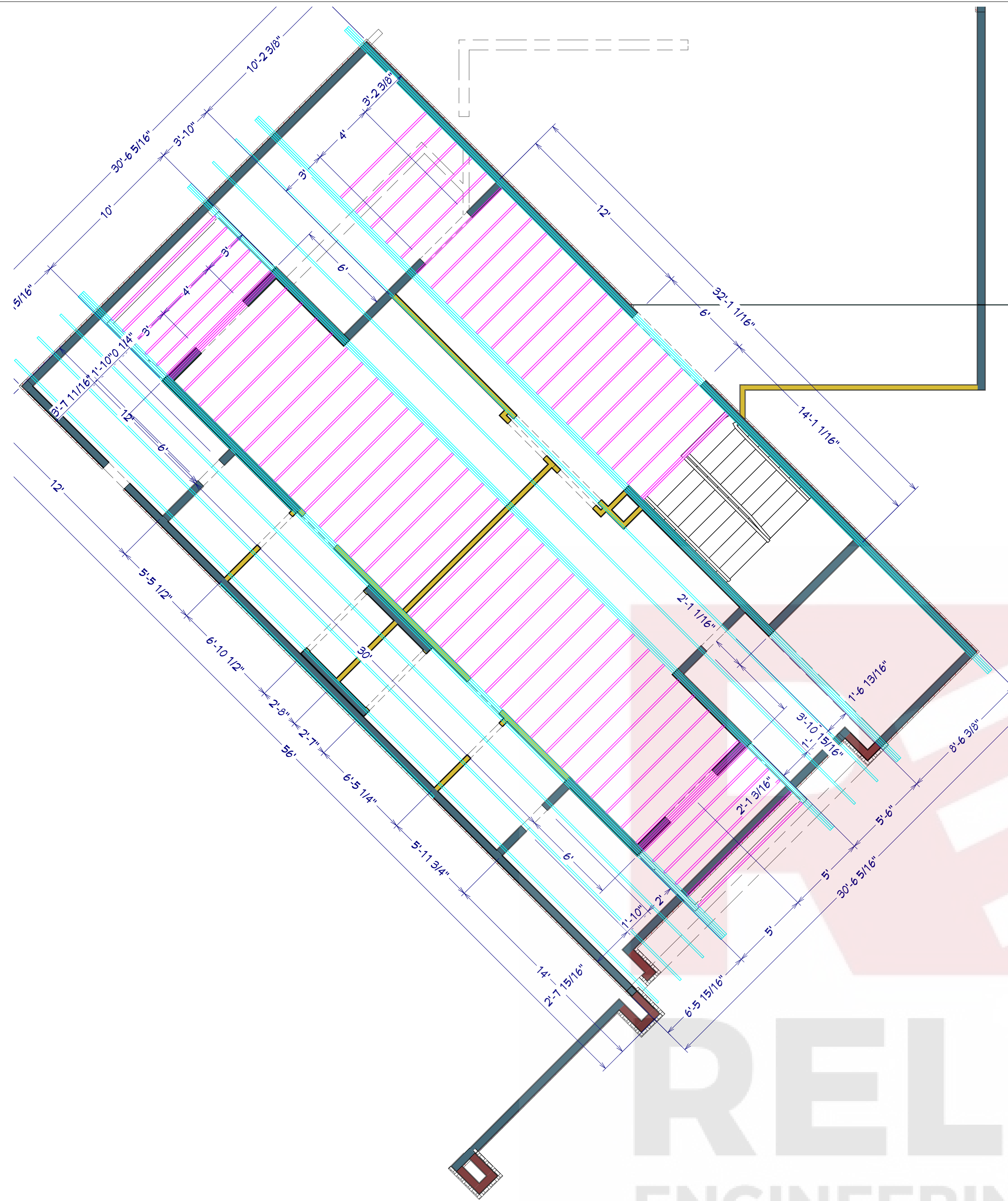
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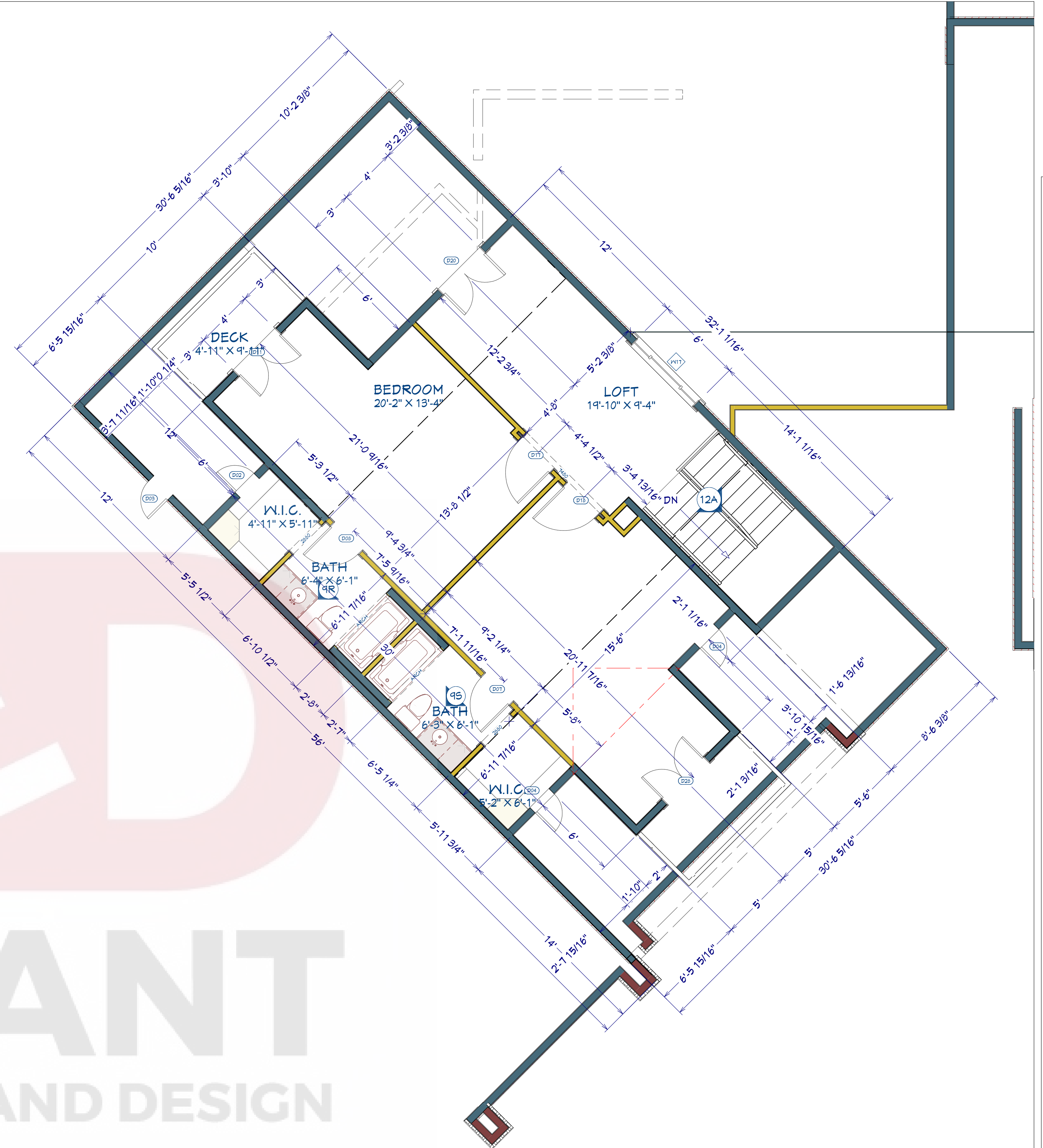
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P-5



Loft Floor Framing Plan



Loft Floor Plan

DOOR SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER
D01	120100	1	1	120100	120"	120"	122"X123"	GARAGE-GARAGE DOOR CHD22	2X12X128" (2)
D02	11026	1	2	11026 L EX	22"	30"	24"X33"	EXT. HINGED DOOR F01	2X6X21" (2)
D03	11026	1	2	11026 L IN	22"	30"	24"X32 1/2"	HINGED DOOR F01	2X6X24" (2)
D04	11026	2	2	11026 R EX	22"	30"	24"X33"	EXT. HINGED DOOR F01	2X6X21" (2)
D05	120130	1	1	120130	144"	156"	146"X154"	GARAGE-GARAGE DOOR CHD22	2X12X152" (2)
D06	120100	1	1	120100	216"	120"	218"X123"	GARAGE-GARAGE DOOR CHD22	2X12X224" (2)
D07	2880	1	2	2880 L IN	32"	46"	34"X48 1/2"	HINGED DOOR F501	2X6X31" (2)
D08	2880	1	2	2880 R IN	32"	46"	34"X48 1/2"	HINGED DOOR F501	2X6X31" (2)
D09	3068	1	1	3068 L IN	36"	80"	38"X82 1/2"	HINGED DOOR F501	2X6X41" (2)
D10	3068	1	1	3068 R IN	36"	80"	38"X82 1/2"	HINGED DOOR F501	2X6X41" (2)
D11	4068	1	2	4068 L/R EX	48"	80"	50"X83"	EXT. DOUBLE HINGED GLASS PANEL	2X6X53" (2)
D12	3080	1	1	3080 L EX	36"	46"	38"X49"	EXT. HINGED DOOR F501	2X6X41" (2)
D13	3080	2	1	3080 L IN	36"	46"	38"X48 1/2"	HINGED DOOR F501	2X6X41" (2)
D14	3080	1	1	3080 R EX	36"	46"	38"X49"	EXT. HINGED GLASS PANEL	2X6X41" (2)
D15	3080	6	1	3080 L IN	36"	46"	38"X48 1/2"	HINGED DOOR F501	2X6X41" (2)
D16	3080	1	1	3080 R IN	36"	46"	38"X48 1/2"	HINGED GLASS PANEL	2X6X41" (2)
D17	3080	1	2	3080 L IN	36"	46"	38"X48 1/2"	HINGED DOOR F501	2X6X41" (2)
D18	3080	1	2	3080 R IN	36"	46"	38"X48 1/2"	HINGED DOOR F501	2X6X41" (2)
D19	3680	1	1	3680 R EX	42"	46"	44"X49"	EXT. HINGED DOOR E02	2X6X47" (2)
D20	4068	1	2	4068 L/R EX	48"	80"	50"X83"	EXT. DOUBLE HINGED DOOR F501	2X6X53" (2)
D21	3080	1	1	3080 L IN	36"	46"	38"X48 1/2"	HINGED DOOR F501	2X6X41" (2)
D22	4080	1	1	4080 L/R EX	48"	46"	50"X91"	EXT. DOUBLE HINGED DOOR F501	2X6X53" (2)
D23	4080	2	1	4080 L/R IN	48"	46"	50"X98 1/2"	DOUBLE HINGED DOOR F501	2X6X53" (2)
D24	4080	1	1	4080 L/R IN	48"	46"	50"X98 1/2"	DOUBLE HINGED GLASS PANEL	2X6X53" (2)
D25	5080	1	1	5080 L IN	60"	46"	62"X98 1/2"	DOUBLE HINGED DOOR F501	2X6X65" (2)
D26	6080	2	1	6080 L/R EX	72"	46"	74"X94"	EXT. DOUBLE HINGED GLASS PANEL	2X6X77" (2)
D27	4080	1	1	4080 L/R EX	48"	46"	50"X94"	EXT. DOUBLE HINGED DOOR S02	2X6X53" (2)
D28	4068	1	2	4068 L/R IN	48"	80"	50"X82 1/2"	DOUBLE HINGED GLASS PANEL	2X6X53" (2)

WINDOW SCHEDULE									
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION
W01	1680FX	2	1	1680FX	16"	96"	19"X41"		FIXED GLASS
W02	2020SG	1	1	2020SG	24"	24"	25"X25"		SINGLE CASEMENT-HR
W03	2040FX	4	1	2040FX	24"	48"	25"X49"		FIXED GLASS
W04	2040SG	1	1	2040SG	24"	48"	25"X49"		SINGLE CASEMENT-HR
W05	2040SH	1	1	2040SH	24"	48"	25"X49"		SINGLE HUNG
W06	2080SG	1	1	2080SG	24"	96"	25"X47"		SINGLE CASEMENT-HL
W07	2080SG	1	1	2080SG	24"	96"	25"X47"		SINGLE CASEMENT-HL
W08	3050SH	1	1	3050SH	36"	60"	37"X61"		SINGLE HUNG
W09	4010FX	1	1	4010FX	48"	12"	49"X13"		FIXED GLASS
W10	4020FX	2	1	4020FX	48"	24"	49"X25"		FIXED GLASS
W11	4050LS	3	1	4050LS	48"	60"	49"X61"		LEFT SLIDING
W12	4060FX	2	1	4060FX	48"	72"	49"X73"		FIXED GLASS
W13	5050FX	1	1	5050FX	60"	60"	61"X61"		FIXED GLASS
W14	5050LS	2	1	5050LS	60"	60"	61"X61"		LEFT SLIDING
W15	5050RS	1	1	5050RS	60"	60"	61"X61"		RIGHT SLIDING
W16	6016FX	3	1	6016FX	72"	18"	73"X19"		FIXED GLASS
W17	6050TS	1	2	6050TS	72"	60"	73"X61"		TRIPLE SLIDING
W18	6060FX	1	1	6060FX	72"	72"	73"X73"		FIXED GLASS
W19	6060LS	1	1	6060LS	72"	72"	73"X73"		LEFT SLIDING
W20	8084FX	1	1	8084FX	96"	100"	97"X101"		FIXED GLASS

REVISION TABLE		REVISION BY	
NUMBER	DATE	NUMBER	DATE

Customer Name: Bruce Kuykendall
Drawing by: Ben Carter
Location: Canyon Ridge
Drawn For: Diamond K Builders

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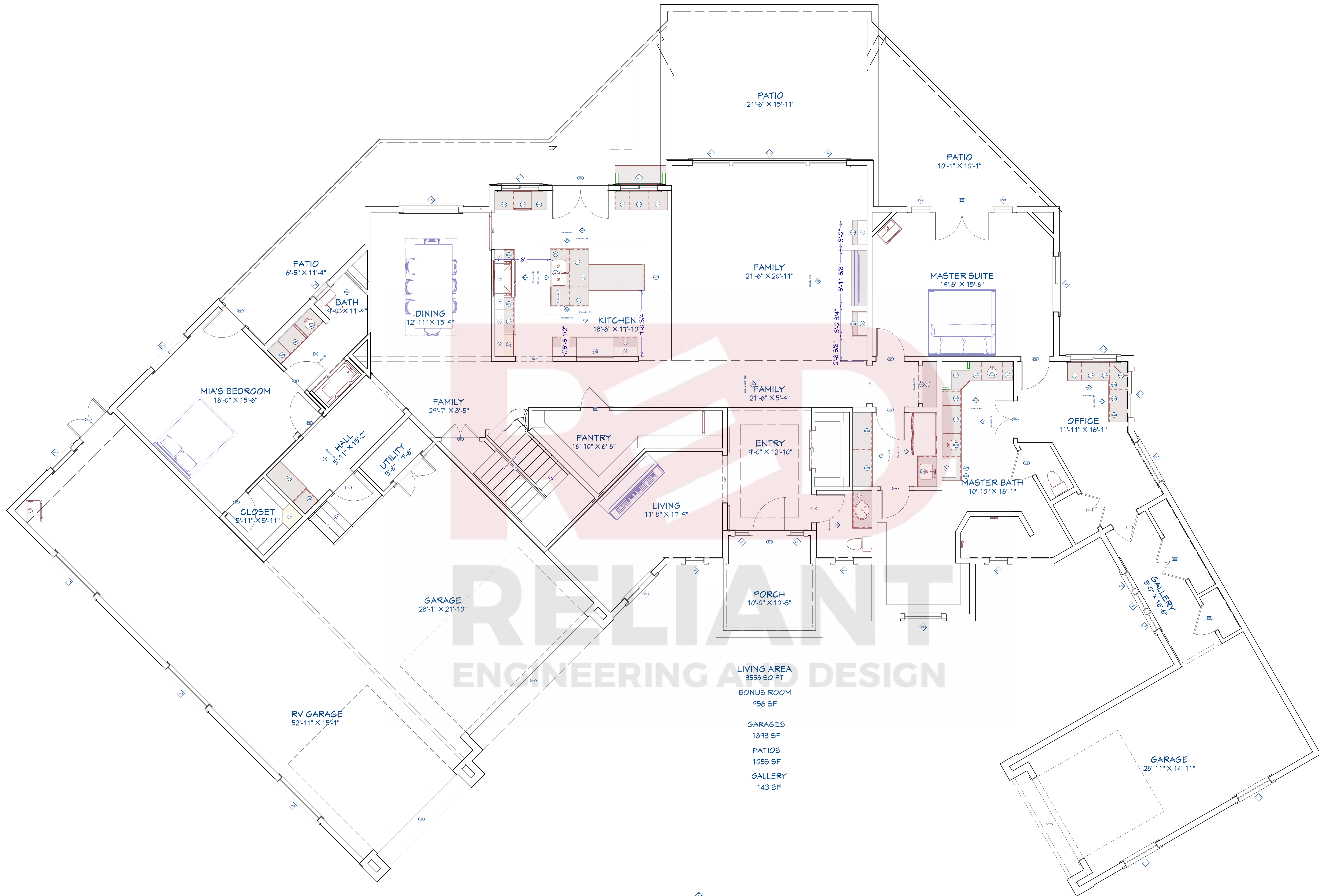
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SHEET:
P-6



Cabinet Main Floor Plan

REVISION TABLE	
NUMBER	DATE

Customer Name: Bruce Kuykendall
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Drawn For: Diamond K Builders

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CABINET SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	DESCRIPTION	COMMENTS
C01	4DB12	1	1	12"	24"	36"	BASE CABINET	
C02	4DB18	4	1	18"	24"	36"	BASE CABINET	
C03	4DB241824	1	1	24"	18"	24"	BASE CABINET	
C04	4DB4818	1	1	48"	24"	18"	BASE CABINET	
C05	4DB15	1	1	15"	24"	36"	BASE CABINET	
C06	B12R	2	1	12"	36"	36"	BASE CABINET	
C07	B15L	1	2	15"	24"	36"	BASE CABINET	
C08	B15R	1	1	15"	24"	36"	BASE CABINET	
C09	B15R	1	2	15"	24"	36"	BASE CABINET	
C10	B18L	1	1	18"	24"	36"	BASE CABINET	
C11	B18R	1	1	18"	24"	36"	BASE CABINET	
C12	B21R	1	1	21"	36"	36"	BASE CABINET	
C13	B24R	6	1	24"	24"	36"	BASE CABINET	
C14	1DB24	2	1	24"	24"	36"	BASE CABINET	
C15	B30	4	1	30"	24"	36"	BASE CABINET	
C16	B3018	2	1	30"	18"	36"	BASE CABINET	
C17	B3030	1	1	30"	24"	30"	BASE CABINET	
C18	B343	1	1	33 1/2"	3"	36"	BASE CABINET	
C19	B3630	1	1	36"	24"	30"	BASE CABINET	
C20	B48	3	1	48"	24"	36"	BASE CABINET	
C21	DCB1836	1	1	18"	18"	36"	CORNER BASE CABINET	
C22	B5418	1	1	54"	18"	36"	BASE CABINET	
C23	DCB36R	1	1	36"	36"	36"	CORNER BASE CABINET	
C24	SCB12R	1	1	12"	24"	36"	BASE CABINET	
C25	DCU2484L	1	2	24"	24"	84"	CORNER UTILITY CABINET	
C26	DCU2490R	1	1	24"	24"	40"	CORNER UTILITY CABINET	
C27	DCU2484R	1	2	24"	24"	84"	CORNER UTILITY CABINET	
C28	FHB24R	1	1	24"	24"	36"	BASE CABINET	
C29	OTC302440	1	1	30"	40"	24"	UTILITY CABINET	
C30	SB24L	2	2	24"	24"	36"	BASE CABINET	
C31	SB24R	1	2	24"	24"	36"	BASE CABINET	
C32	SB2T	1	1	21"	24"	36"	BASE CABINET	
C33	SB30	2	1	30"	24"	36"	BASE CABINET	
C34	SB36	1	1	36"	24"	36"	BASE CABINET	
C35	SB34	1	1	34"	36"	24"	BASE CABINET	
C36	U36330	1	1	36"	3"	40"	UTILITY CABINET	
C37	W1818R	1	1	18"	12"	18"	WALL CABINET	
C38	W1836R	1	1	18"	12"	36"	WALL CABINET	
C39	W2118R	1	1	21"	12"	18"	WALL CABINET	
C40	W2136R	1	1	21"	12"	36"	WALL CABINET	
C41	W243618R	1	1	24"	18 1/16"	36"	WALL CABINET	
C42	W3015	2	1	30"	12"	15"	WALL CABINET	
C43	W3018	5	1	30"	12"	18"	WALL CABINET	
C44	W3036	3	1	30"	12"	36"	WALL CABINET	
C45	W3830	1	1	38 1/2"	12"	30"	WALL CABINET	
C46	W481824	1	1	48"	24"	18"	WALL CABINET	
C47	W4824	1	1	48"	12"	41"	WALL CABINET	
C48	W4830	1	1	48"	24"	36"	BASE CABINET	

[illegible]

Customer Name: Bruce Kuykendall
Drawing by: Ben Carter
Location: Canyon Ridge
Drawn For: Diamond K Builders

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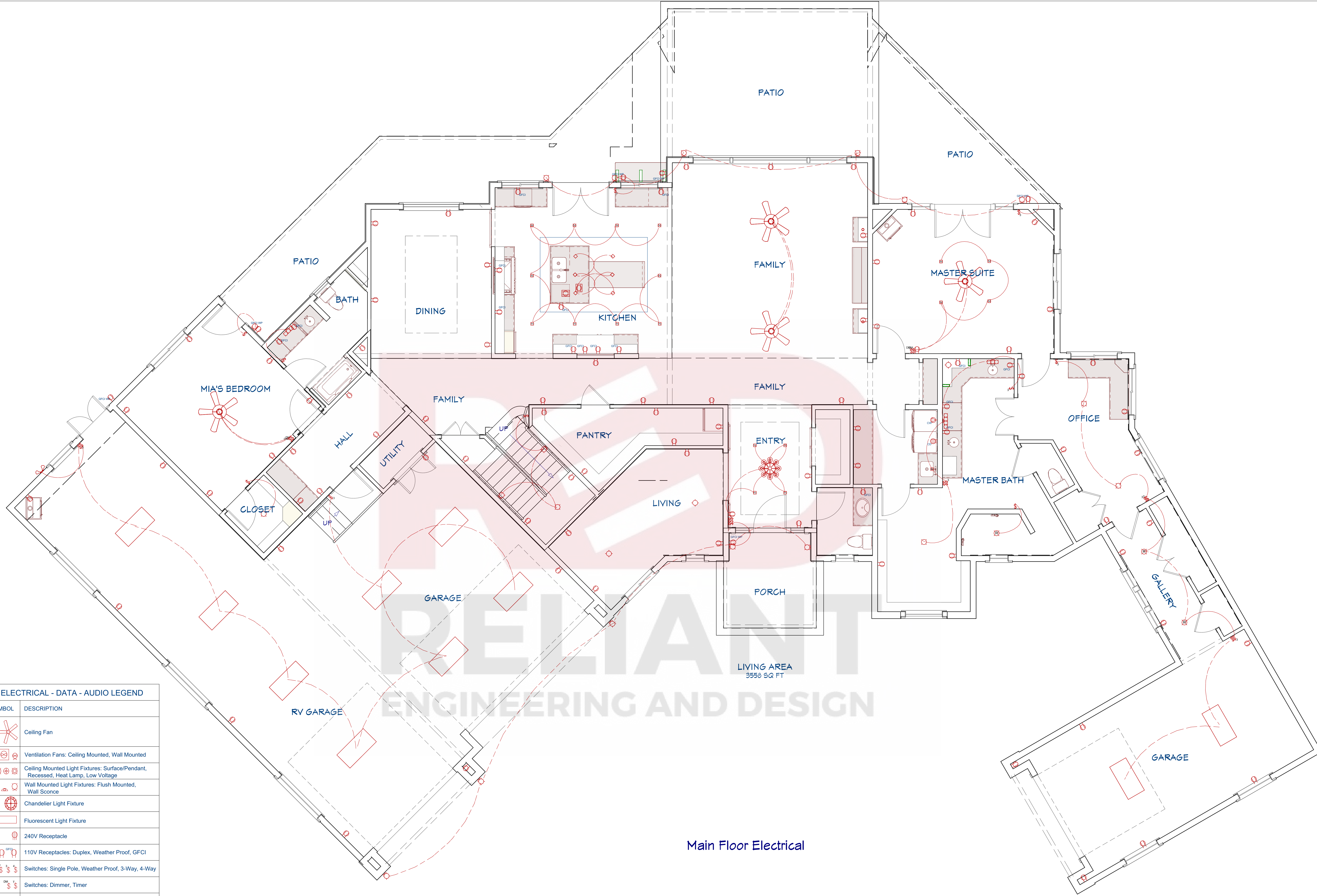
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1/4":1'

SHEET:

p-9

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



Main Floor Electrical

ELECTRICAL
HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:
1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
5. FIXTURES TO BE SELECTED BY HOME OWNER.

REVISION TABLE

NUMBER	DATE	REVISOR	DESCRIPTION

Customer Name: Bruce Kuykendall
Drawing by: Ben Carter
Location: Canyon Ridge
Drawn For: Diamond K Builders

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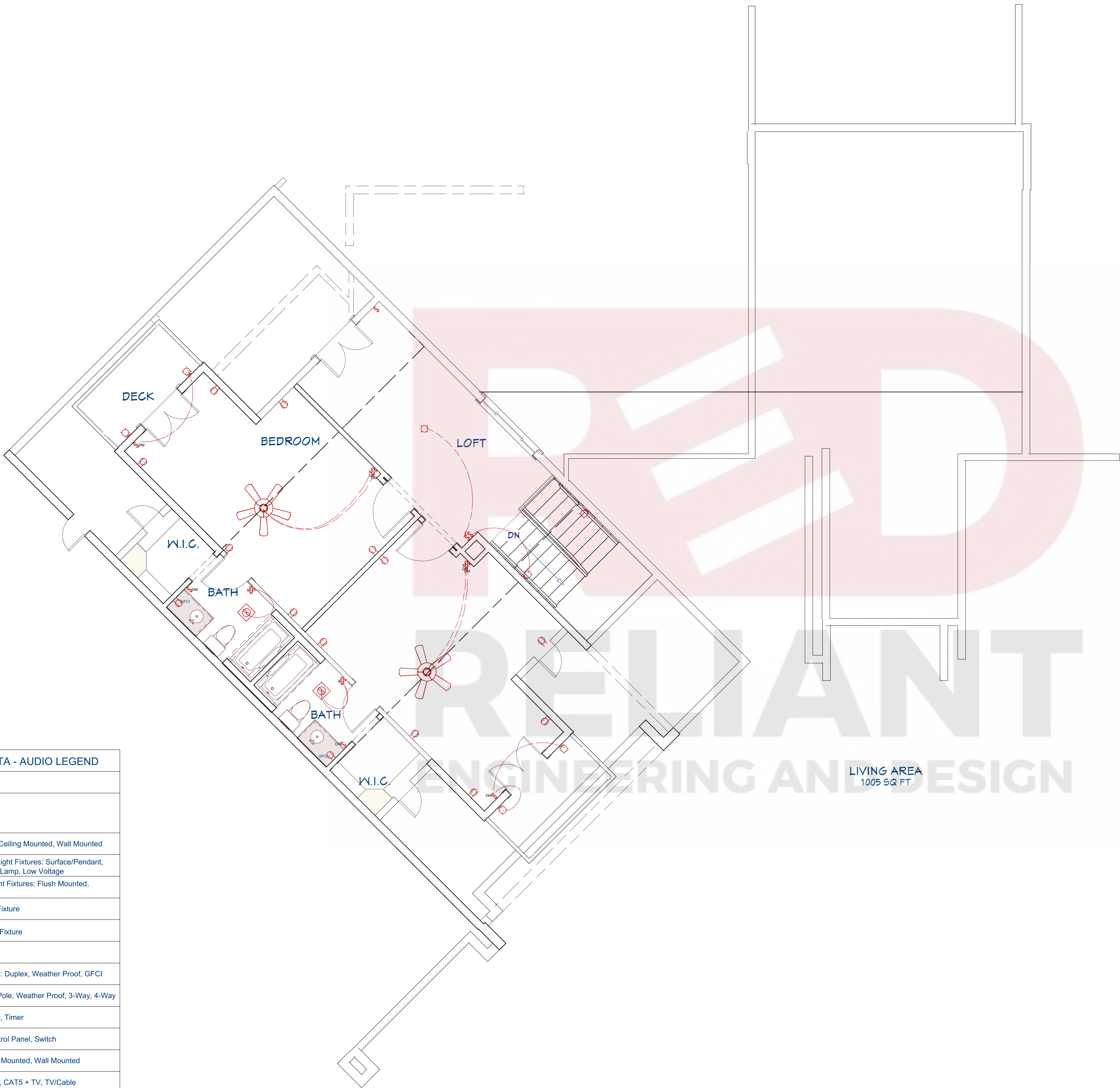
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SHEET:
P-10

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



Loft Floor Electrical

ELECTRICAL
HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:
1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
5. FIXTURES TO BE SELECTED BY HOME OWNER.

REVISION TABLE	
NUMBER	DATE

Customer Name: Bruce Krugersdall
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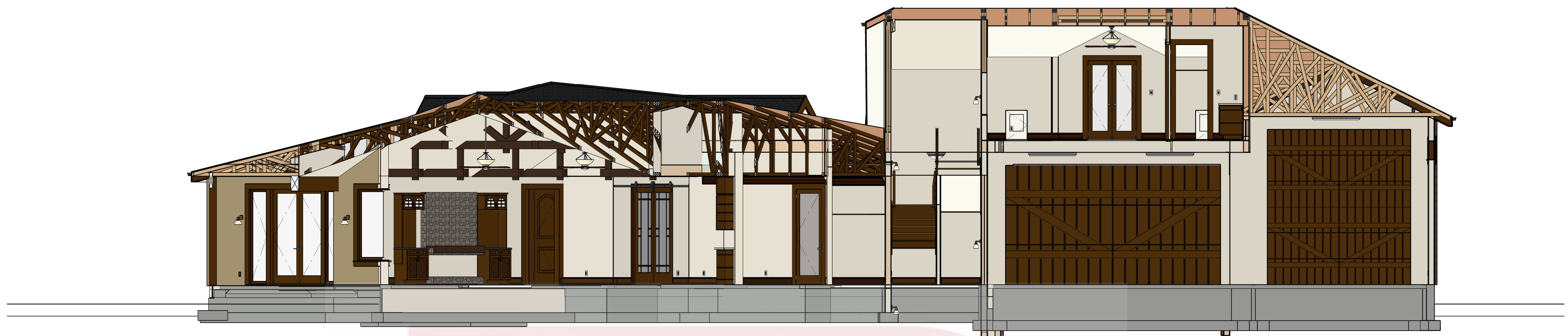
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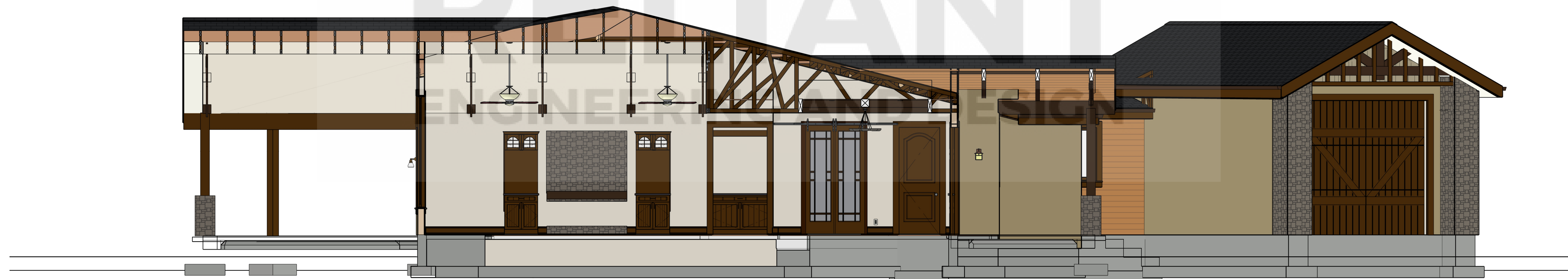
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SHEET:
P-11



Cross Section 12A



Cross Section 12B

REVISION TABLE	
NUMBER	DATE

Customer Name: Bruce Kuykendall
Drawing by: Ben Carter
Location: Canyon Ridge
Drawn For: Diamond K Builders

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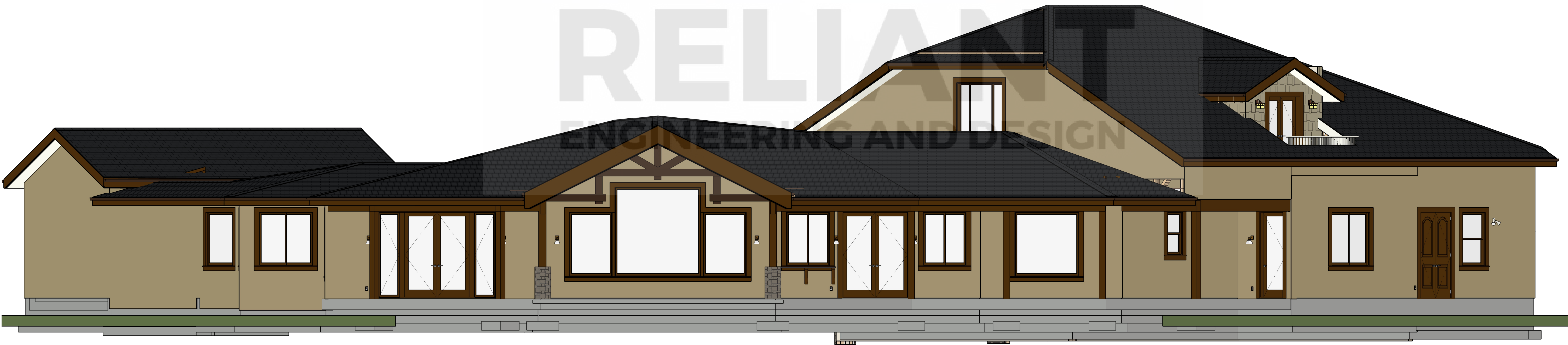
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Elevation North

- EXTERIOR NOTES**
- 1. RIDGE CAP INSTALLED PER MFG.
 - 2. CONCRETE TILE ROOF (COLOR PER OWNER)
 - 3. TURTLE VENTS @ REAR OF HOUSE (OR) RIDGE VENTS PER CONTRACTOR/OWNER
 - 4. METAL SOFFIT AND FASCIA VENTED 7.5 TOTAL SQ FT
 - 5. EXTERIOR STUCCO AND BRICK VENEER
 - 6. WATERPROOF EXTERIOR EXPOSED POSTS AND BEAMS (OR METAL WRAP PER CONTRACTOR)
 - 7. 4"-6" STUCCO POP-OUTS AROUND WINDOW & DOORS
 - 8. FINISHED GRADE TO SLOPE 6" FOR FIRST 10' (MIN)
 - 9. FTGS. TO BE @ OR BELOW FROST DEPTH 30"
 - 10. ALL EXPOSED BEAMS & WOOD IS TO BE WEATHER TREATED OR METAL WRAPPED



Elevation East

REVISION TABLE	REVISION BY	DESCRIPTION
NUMBER	DATE	

Customer Name: Bruce Kuykendall
Drawing by: Ben Carter
Location: Canyon Ridge
Drawn For: Diamond K Builders

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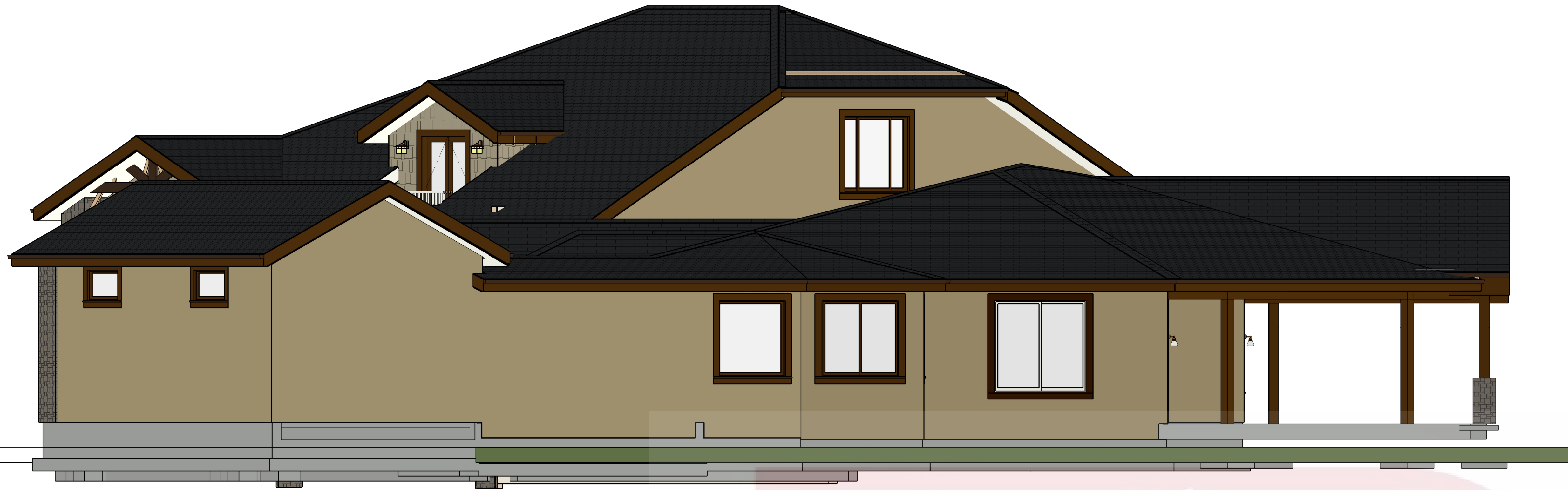
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P-13



Elevation South



Elevation West

REVISION TABLE	
NUMBER	DESCRIPTION

Customer Name: Bruce Kuykendall
Drawing by: Ben Carter
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Drawn For: Diamond K Builders

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