

**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

FOR ALL ZONING INFO AND ZONING TABLE SEE ENGINEERING DRAWINGS PREPARED BY RICHARD WOSTBROCK AND ASSOCIATES, MIDLAND PARK, NJ PHONE NUMBER 201 978 4519

GENERAL INFORMATION	
ADDRESS:	SHADOW LN., UPPER SADDLE RIVER, N.J. BLOCK 1005 LOT 1
CONSTRUCTION TYPE	V-B
USE GROUP	R-5
AREA :	
- 1ST FLOOR :	3,050 SQ FT
- 2ND FLOOR :	2,692 SQ FT
	TOTAL AREA : 5,742 SQ FT
- GARAGE :	768 SQ FT
- TOTAL VOLUME :	70,044 CU FT
CODES USED :	
	2021 INTERNATIONAL RESIDENTIAL CODE - NEW JERSEY EDITION
	2021 INTERNATIONAL MECHANICAL CODE - NEW JERSEY EDITION
	2021 INTERNATIONAL FUEL GAS CODE - NEW JERSEY EDITION
	2021 NATIONAL STANDARD PLUMBING CODE
	2020 NATIONAL ELECTRICAL CODE

BUILDING DATA	
DESIGN LOADS CHART	
DEAD LOAD FLOOR	20 PSF
DEAD LOAD CEILING	20 PSF
DEAD LOAD ROOF	15 PSF
LIVE LOAD LIVING AREAS	40 PSF
LIVE LOAD SLEEPING AREAS	30 PSF
LIVE LOAD FOR ATTIC W/ STORAGE	20 PSF
DESIGN WIND SPEED	90 MPH
GROUND SNOW LOAD	35 PSF
LIVE LOAD FOR ATTIC SERVED W/ FIXED STAIRS	30 PSF

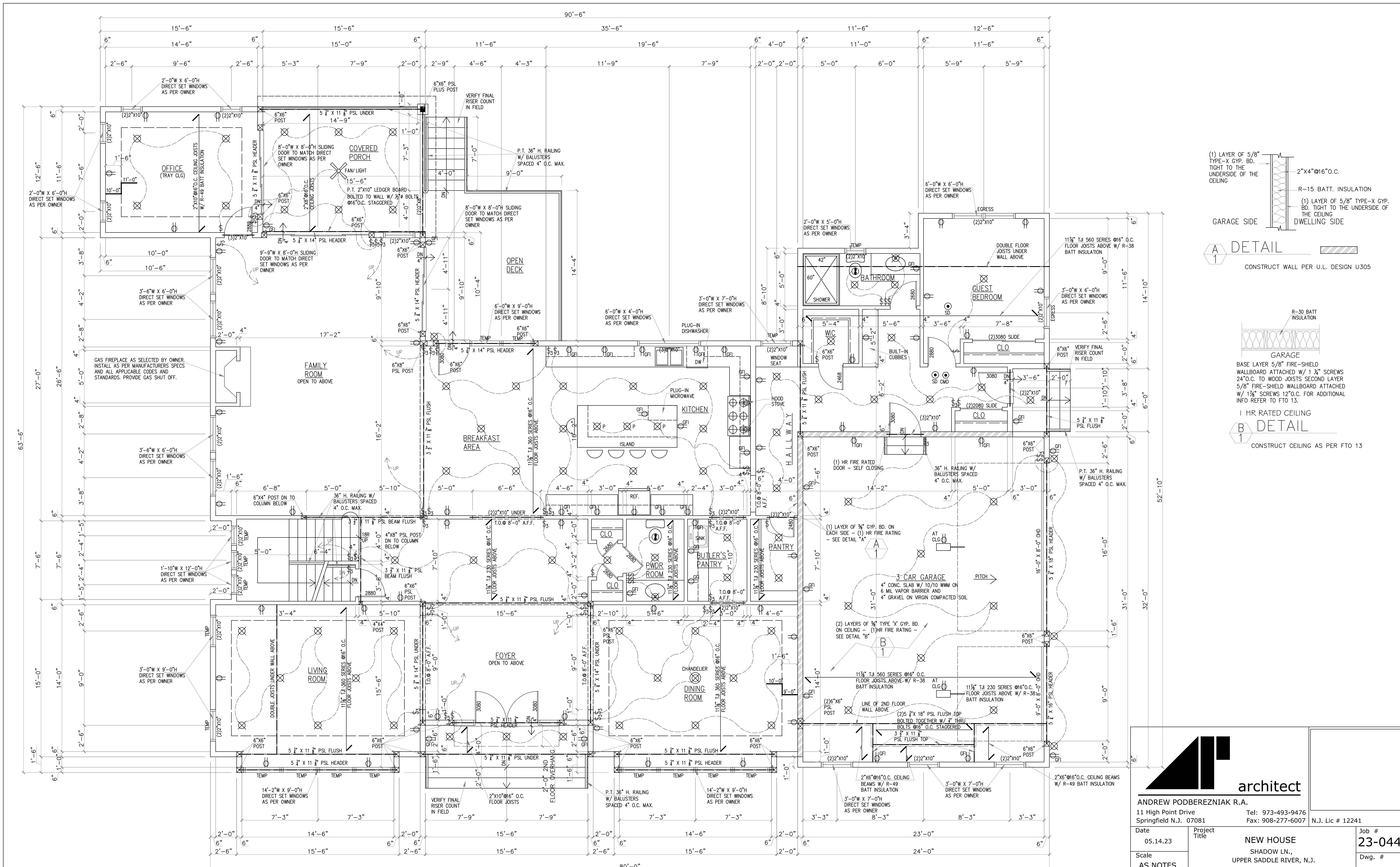
**WINDOW NOTE:**  
PROVIDE FINAL WINDOW SELECTION SCHEDULE FOR ARCHITECT'S REVIEW BEFORE ORDERING

LEGEND	
[Symbol]	NEW MASONRY WALLS
[Symbol]	NEW 2" X 4" @ 16" O.C. PARTITION W/ 1/2" GYP. BD. B/S UNLESS OTHERWISE NOTED.
[Symbol]	NEW 2" X 6" @ 16" O.C. PARTITION W/ 1/2" GYP. BD. B/S UNLESS OTHERWISE NOTED.
[Symbol]	ELECTRIC OUTLET
[Symbol]	ELECTRIC GROUND FAULT INTERRUPTER OUTLET
[Symbol]	ELECTRIC SWITCH
[Symbol]	THREE WAY SWITCH
[Symbol]	CEILING LIGHTING FIXTURE
[Symbol]	SMOKE DETECTOR HARD WIRED, INTERCONNECTED W/ BATTERY BACK-UP
[Symbol]	CARBON MONOXIDE DETECTOR HARD WIRED
[Symbol]	CEILING FAN - EXHAUST TO EXTERIOR

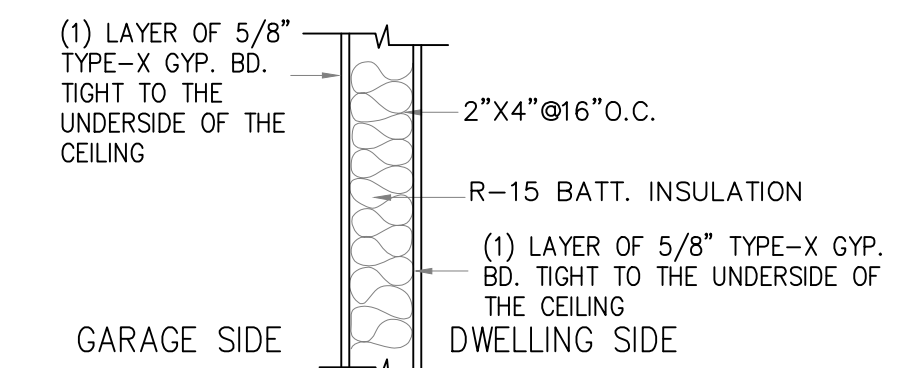
**architect**

**ANDREW PODBEREZNIAK R.A.**  
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Fax: 908-277-6007  
N.J. Lic # 12241

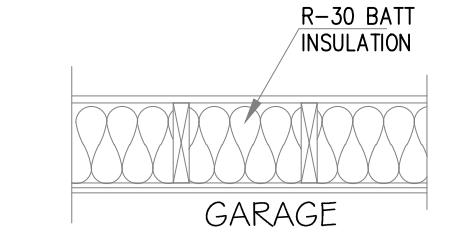
Date	05.14.23	Project Title	<b>NEW HOUSE</b> SHADOW LN., UPPER SADDLE RIVER, N.J. BLOCK 1005 LOT 1	Job #	<b>23-044</b>
Scale	AS NOTED	Drawn by	J.D.	Dwg. #	<b>A - 1</b>
Checked by	A.P.	Drawing Title	FRONT ELEVATION, GENERAL INFORMATION.		



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



DETAIL A  
CONSTRUCT WALL PER U.L. DESIGN U305

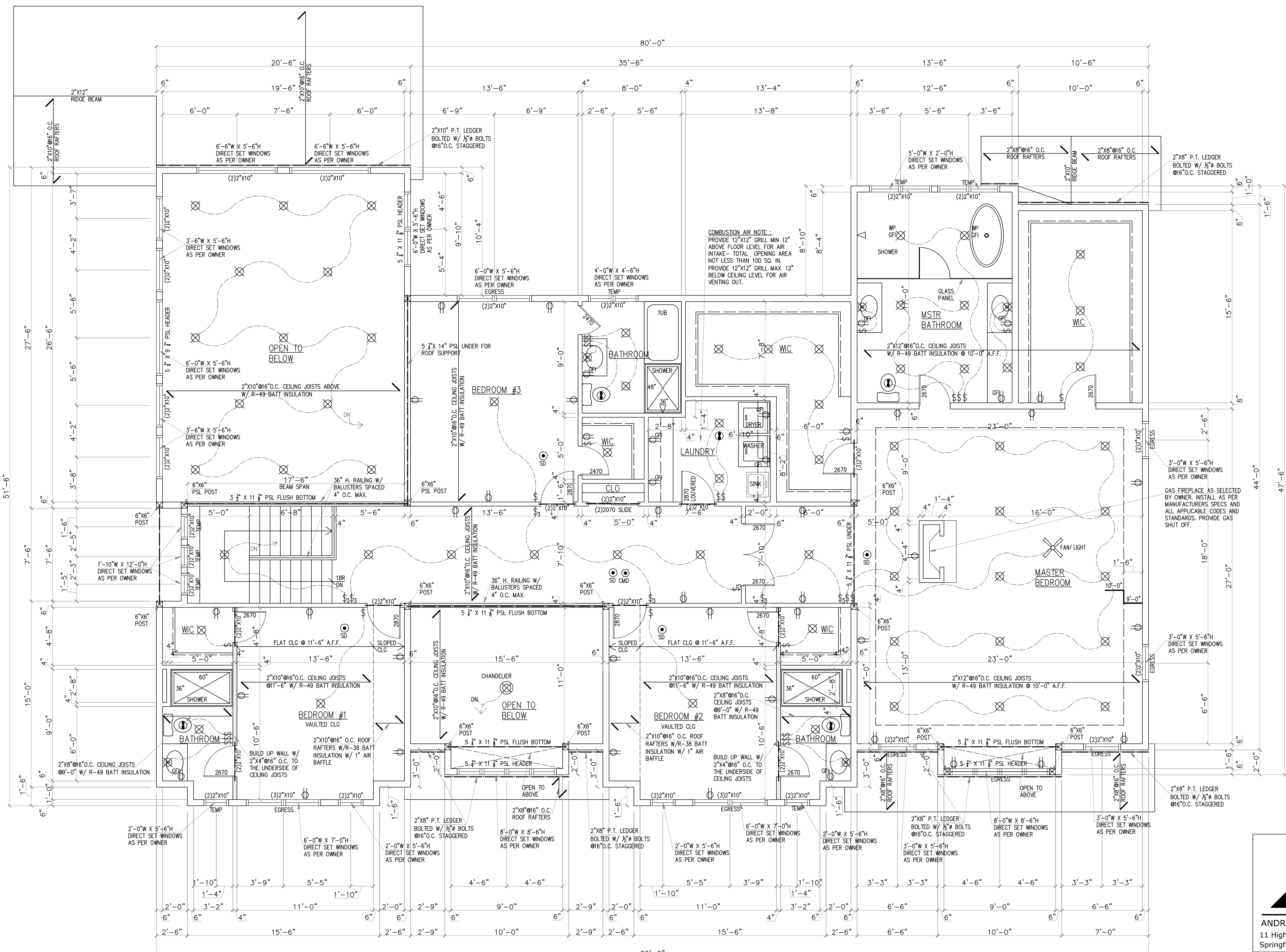


DETAIL B  
CONSTRUCT CEILING AS PER FTO 13




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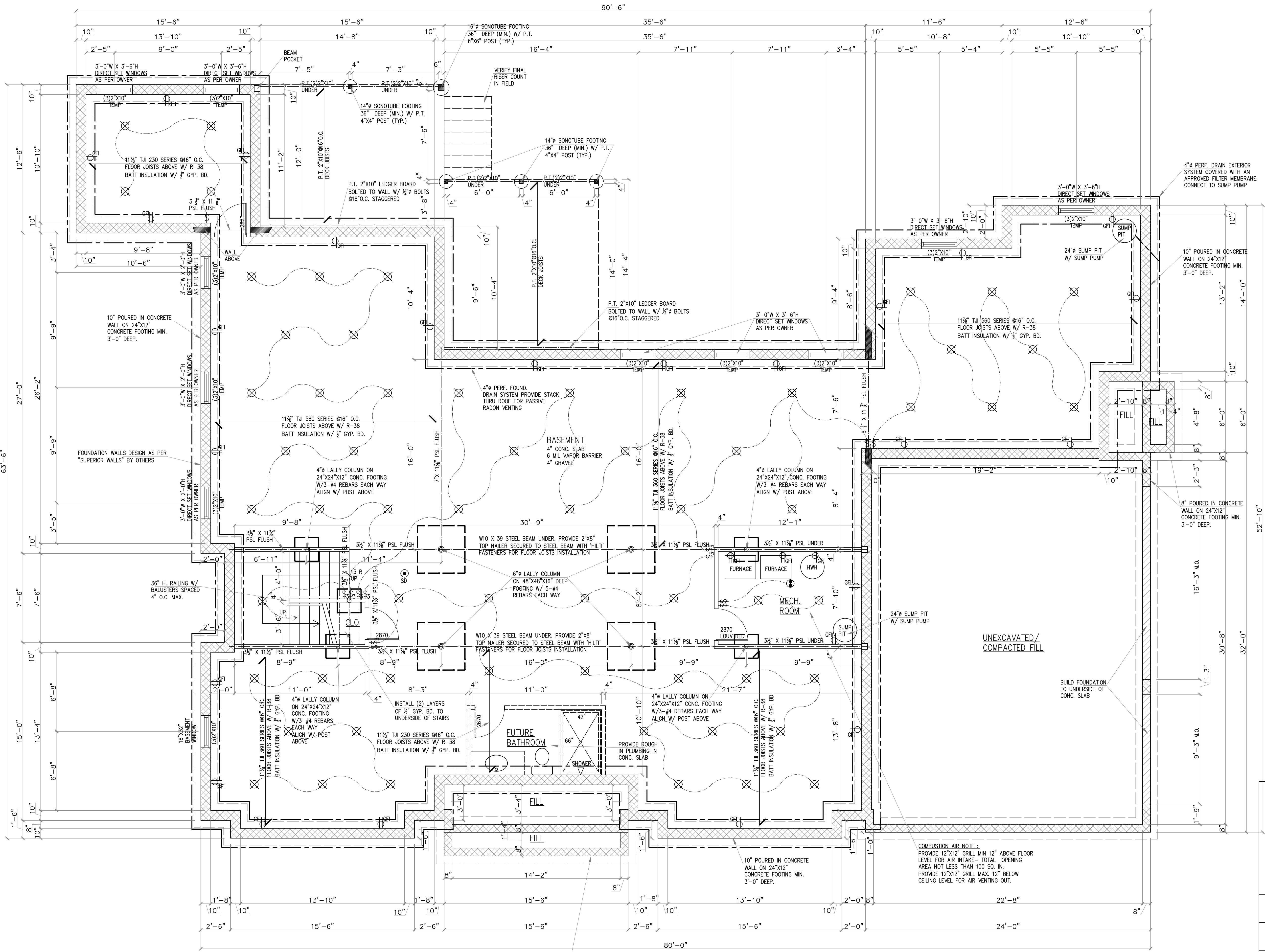
Date	05.14.23	Project Title	NEW HOUSE SHADOW LN., UPPER SADDLE RIVER, N.J. BLOCK 1005 LOT 1	Job #	23-044
Scale	AS NOTES	Drawn by	J.D.	Dwg. #	A - 2
Checked by	A.P.	Drawing Title	FIRST FLOOR PLAN, DETAILS.	OF	9



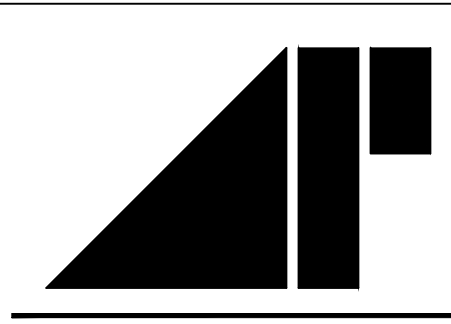
**SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

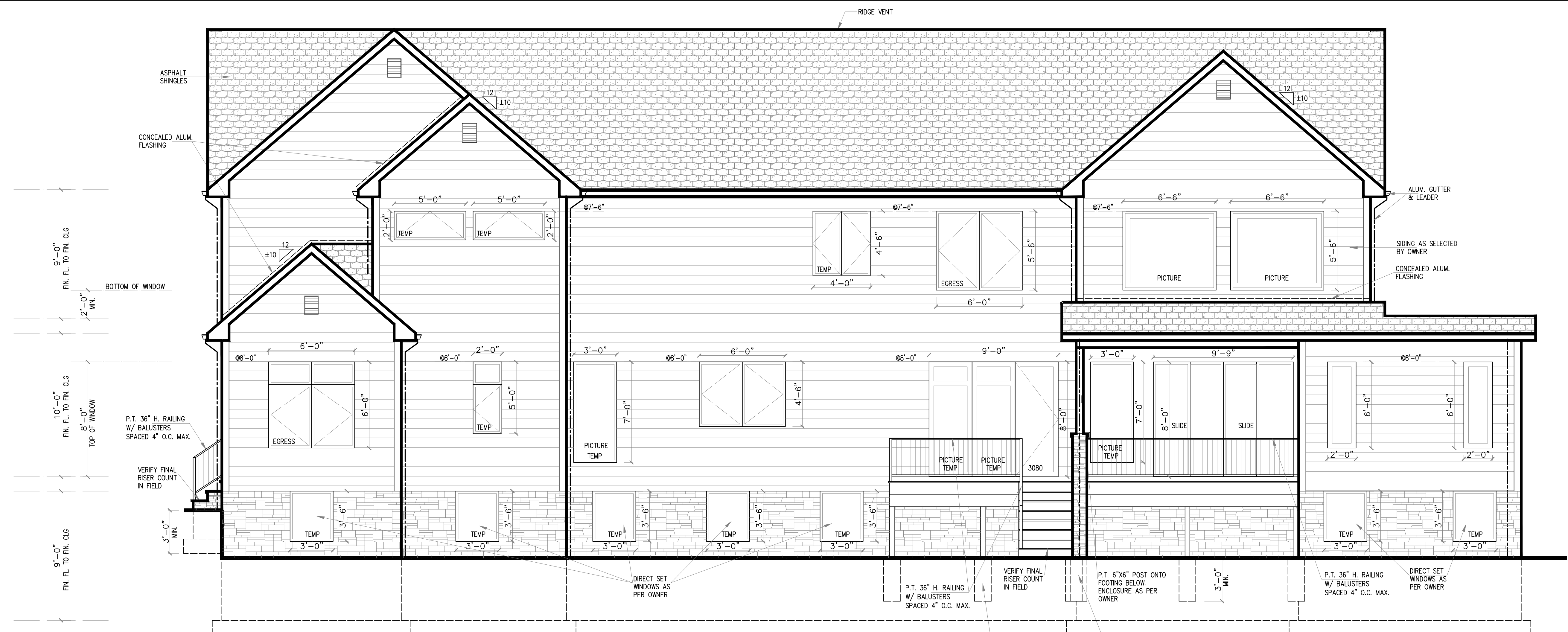
 <b>architect</b> ANDREW PODBERZNIAK R.A. 11 High Point Drive Springfield N.J. 07081		Tel: 973-493-9476 Fax: 908-277-6007 N.J. Lic # 12241	
		Date 05.14.23	Project Title <b>NEW HOUSE</b> SHADOW LN., UPPER SADDLE RIVER, N.J. BLOCK 1005 LOT 1
Scale AS NOTES	Drawing Title SECOND FLOOR PLAN.	Dwg. # <b>A - 3</b>	
Drawn by J.D.	Checked by A.P.	OF <b>9</b>	



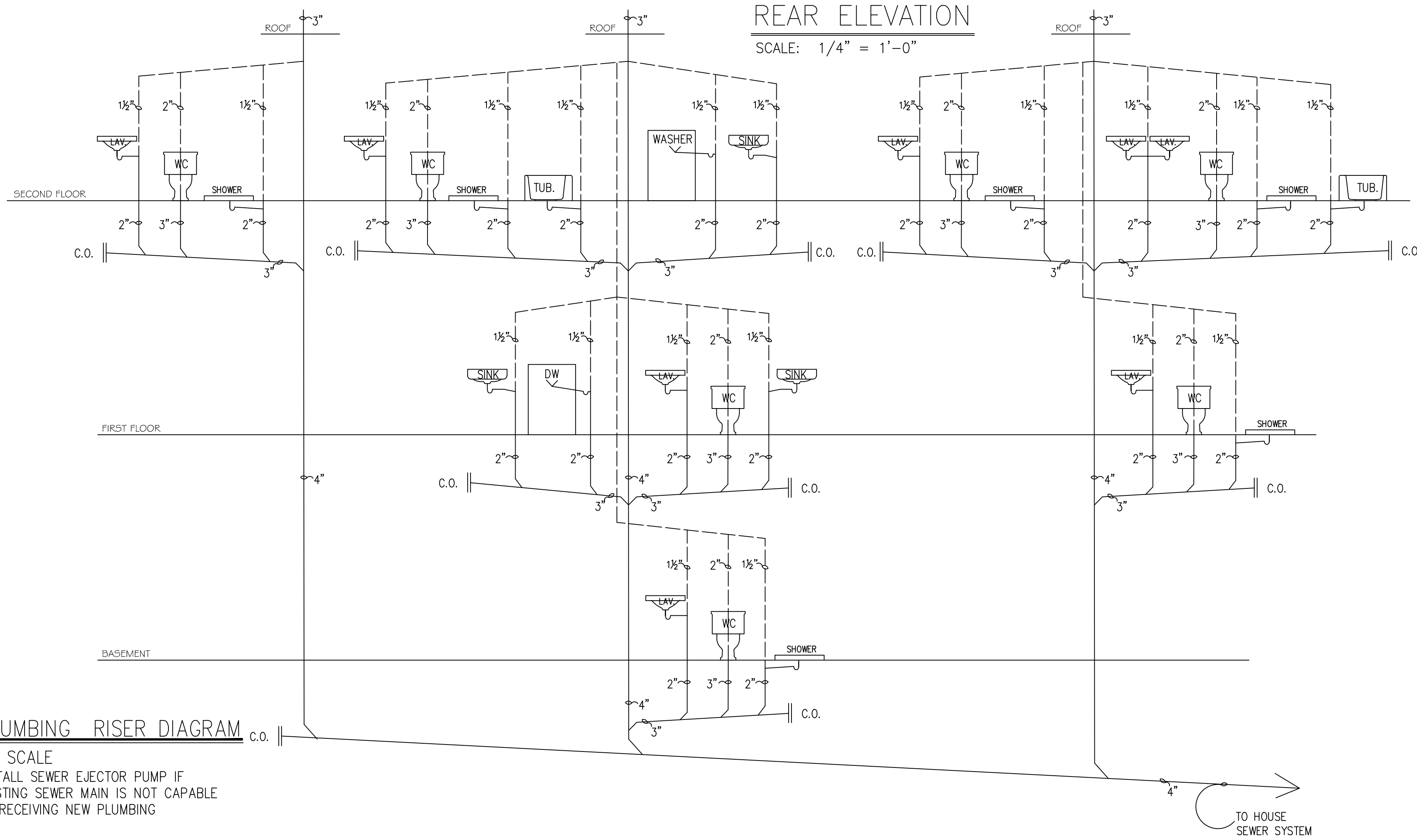


**BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

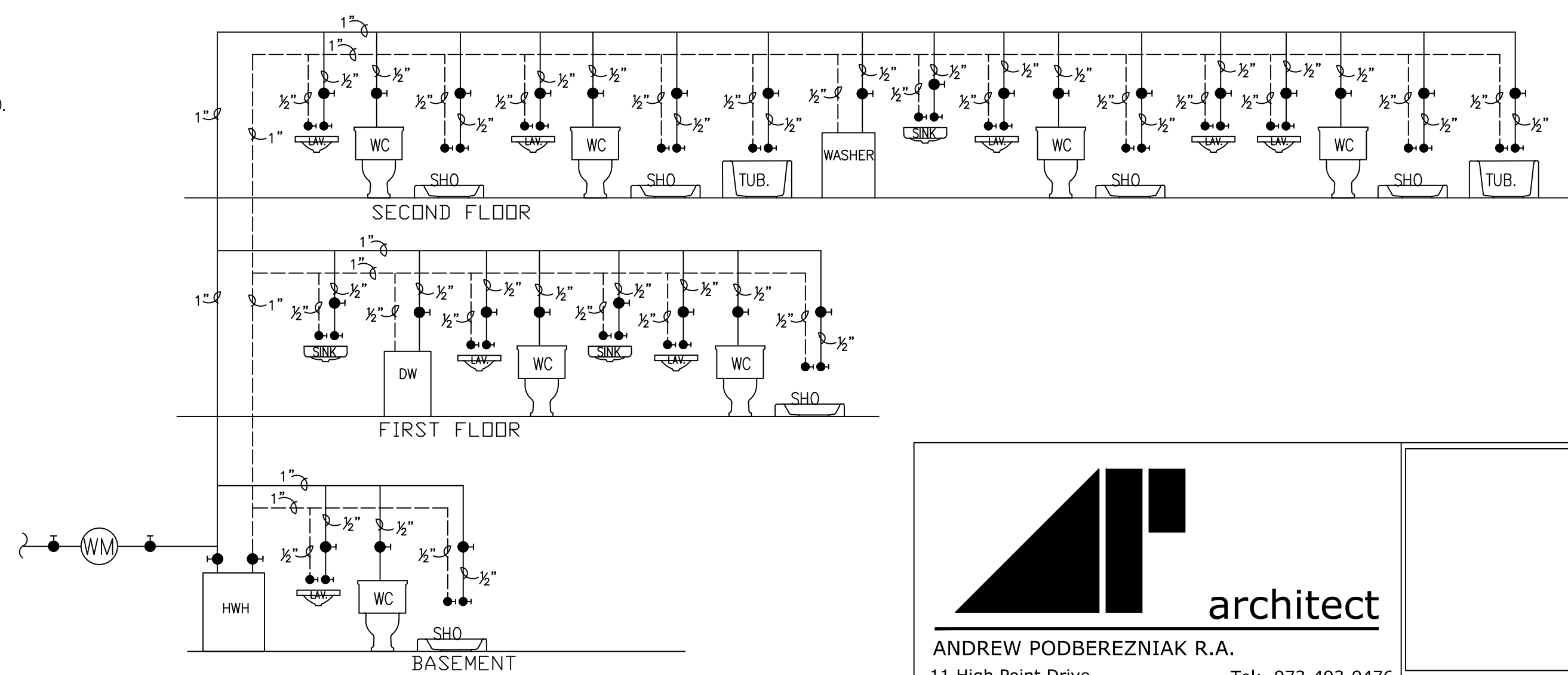
 <p><b>architect</b> ANDREW PODBEREZNIAK R.A. 11 High Point Drive Springfield N.J. 07081</p>		<p>Tel: 973-493-9476 Fax: 908-277-6007 N.J. Lic # 12241</p>	
		<p>Date: 05.14.23 Scale: AS NOTES Drawn by: J.D. Checked by: A.P.</p>	<p>Project Title: <b>NEW HOUSE</b> SHADOW LN., UPPER SADDLE RIVER, N.J. BLOCK 1005 LOT 1</p>



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



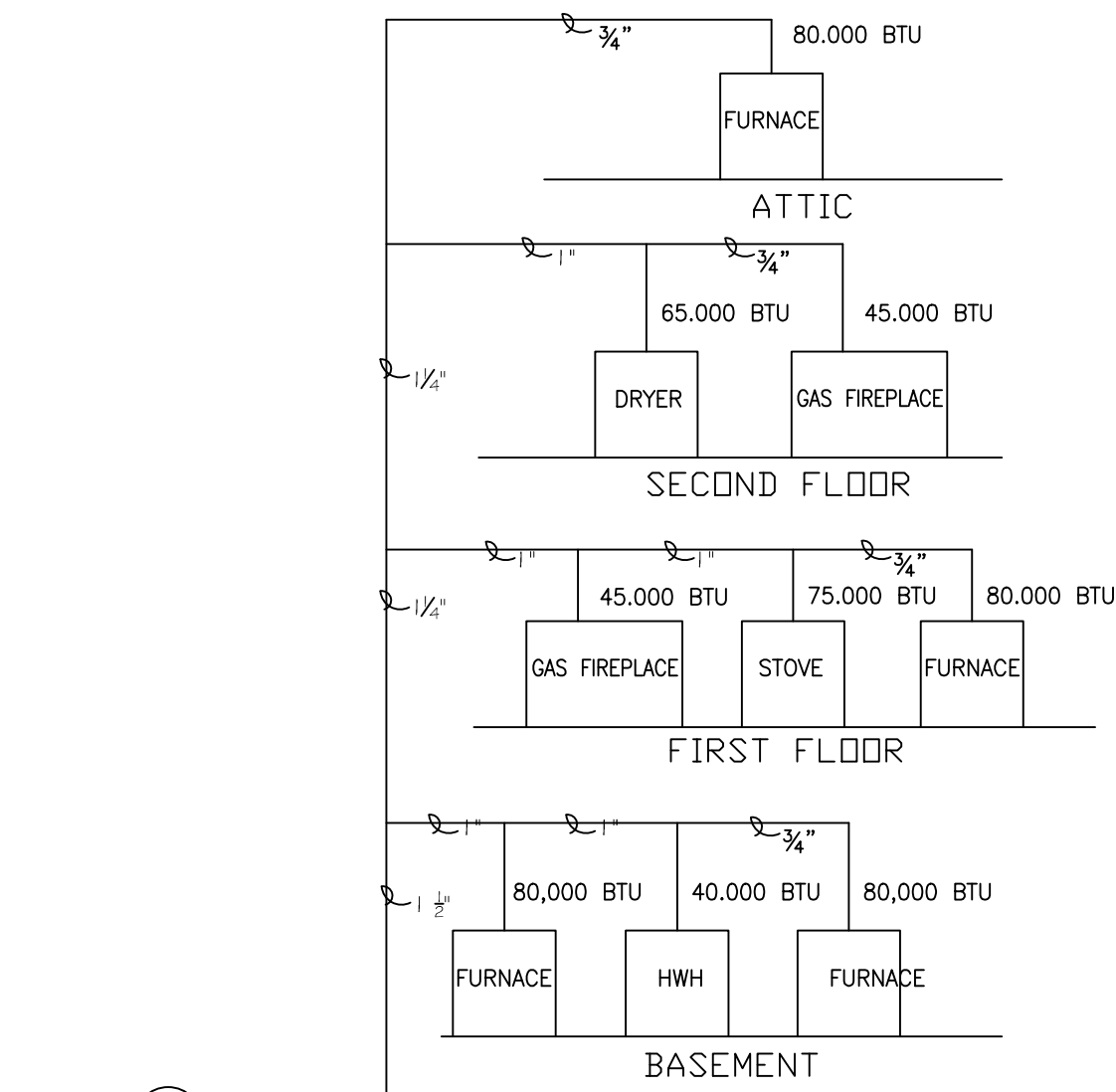
**PLUMBING RISER DIAGRAM**  
NO SCALE  
INSTALL SEWER EJECTOR PUMP IF  
EXISTING SEWER MAIN IS NOT CAPABLE  
OF RECEIVING NEW PLUMBING



**WATER RISER DIAGRAM**  
N.T.S.

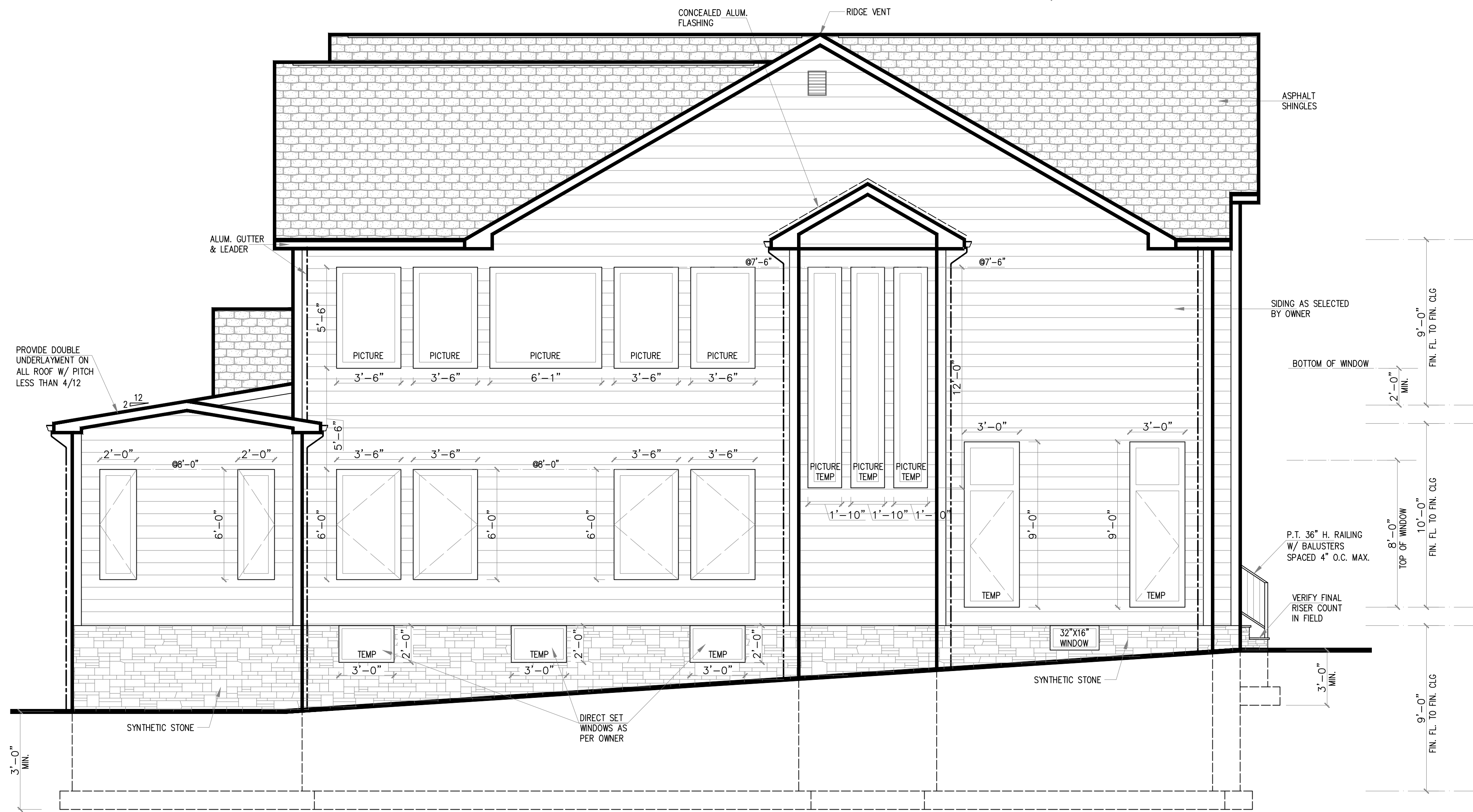
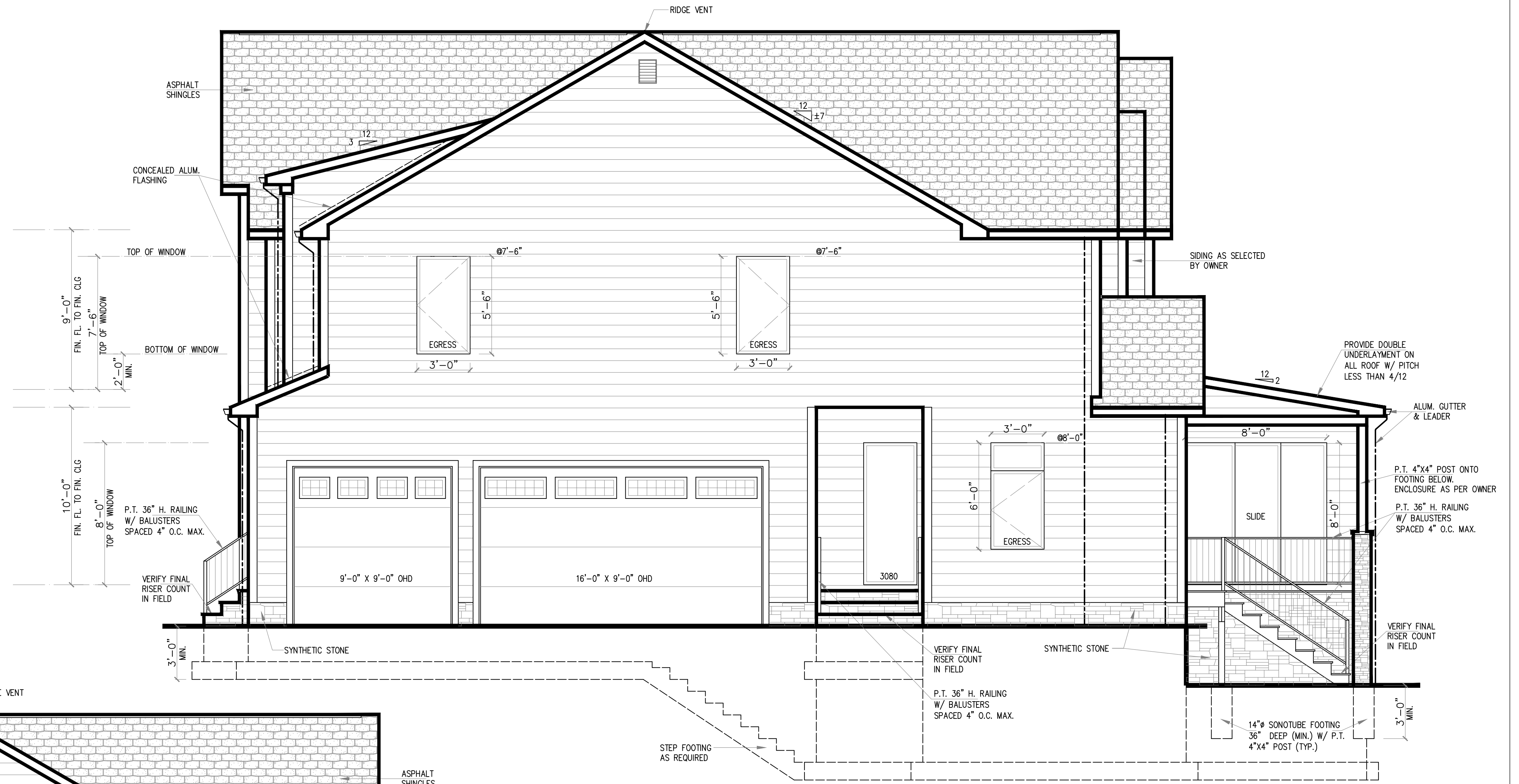
POTABLE WATER PIPING MATERIAL:  
MATERIAL TO CONFORM WITH NSCP 2021 TABLE 3.4  
"MATERIALS FOR POTABLE WATER".

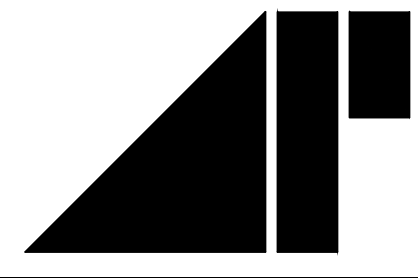
		ANDREW PODBEREZNIAK R.A. 11 High Point Drive Springfield N.J. 07081 Tel: 973-493-9476 Fax: 908-277-6007 N.J. Lic # 12241	
		Date 05.14.23	Project Title <b>NEW HOUSE</b> SHADOW LN., UPPER SADDLE RIVER, N.J. BLOCK 1005 LOT 1
Scale AS NOTES		Drawing Title PLUMBING, WATER RISERS DIAGRAMS, REAR ELEVATION.	Dwg. # <b>A - 5</b>
Drawn by J.D.		Checked by A.P.	
		OF 9	

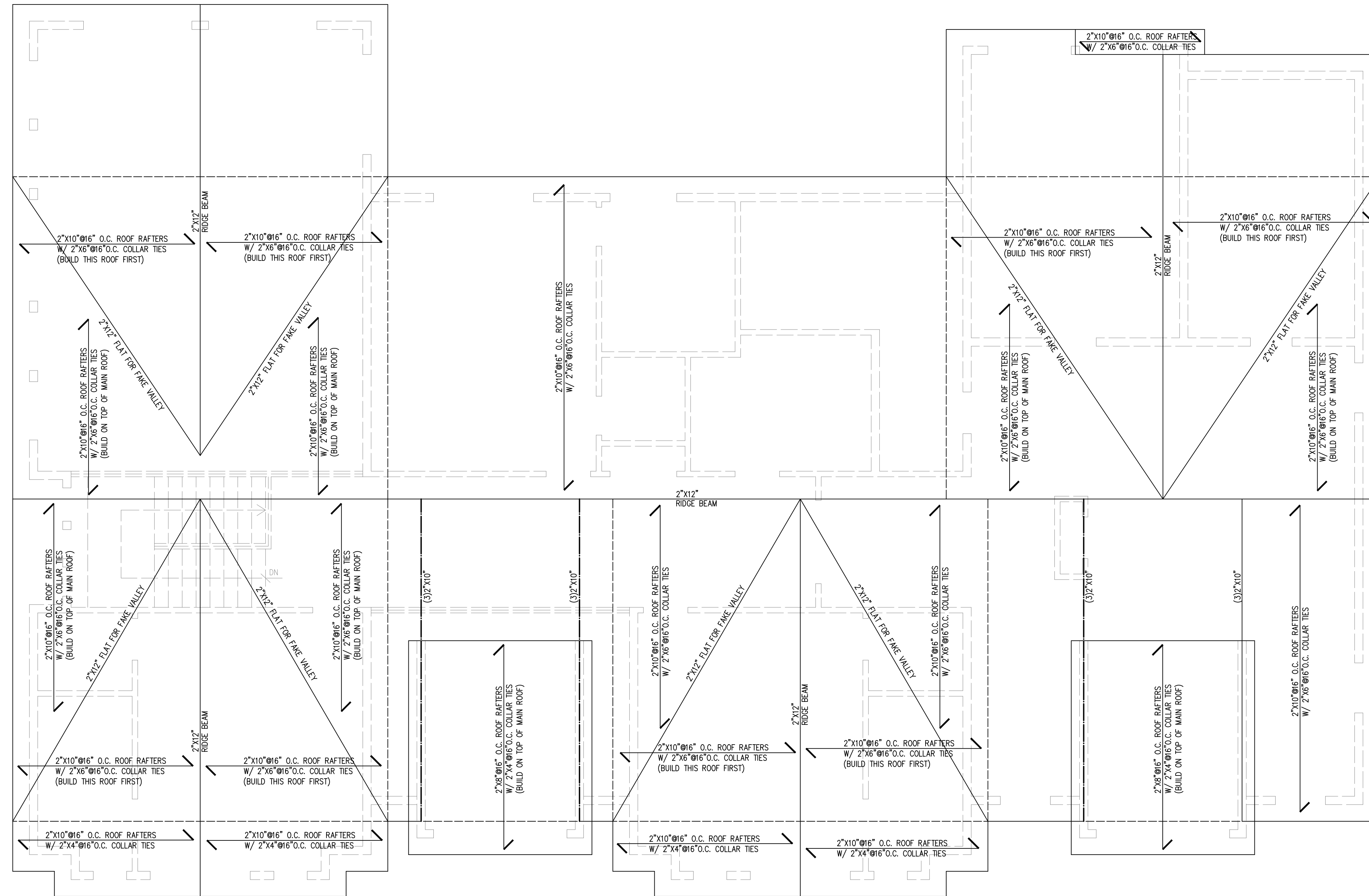


**GAS PIPING RISER DIAGRAM**  
N.T.S.

GAS PIPE MATERIAL BASED ON 100 FEET LENGTH OF PIPE (MAX):  
STEEL AND WROUGHT-IRON PIPE SHALL BE AT LEAST OF STANDARD WEIGHT (SCHEDULE 40) AND SHALL COMPLY WITH ONE OF THE FOLLOWING:  
1. ASME B36.10, 10M  
2. ASTM A53  
3. ASTM A106




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<p>Scale AS NOTES</p>	<p>Project Title <b>NEW HOUSE</b> SHADOW LN., UPPER SADDLE RIVER, N.J. BLOCK 1005 LOT 1</p>	<p>Job # <b>23-044</b></p>
<p>Drawn by J.D.</p>	<p>Drawing Title ELEVATIONS, GAS RISER DIAGRAM.</p>	<p>Dwg. # <b>A - 6</b></p>
<p>Checked by A.P.</p>		<p>OF <b>9</b></p>



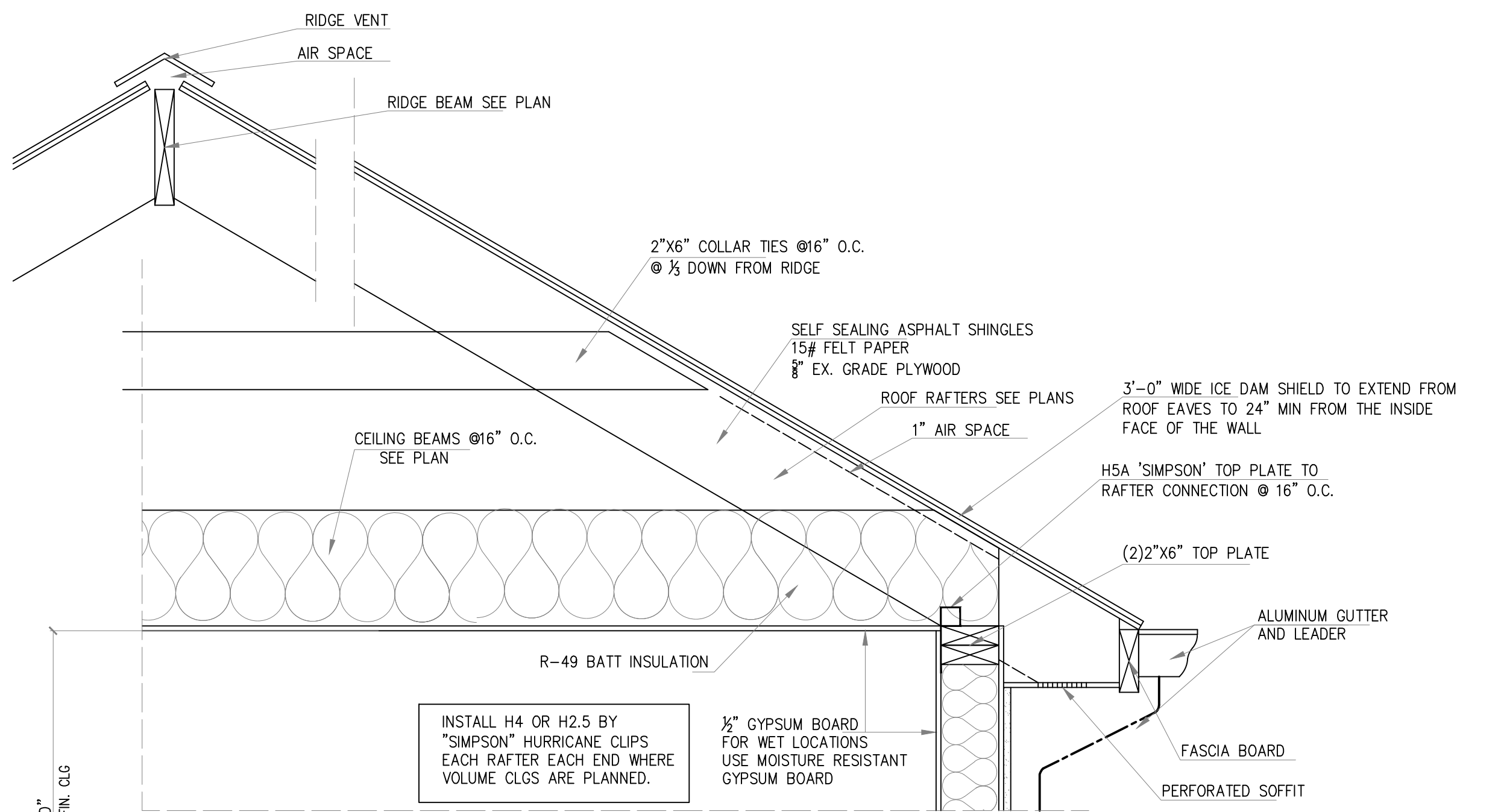
**ROOF PLAN**

SCALE: 1/4" = 1'-0"

CONTRACTOR TO BUILD-UP TOP PLATES AS REQUIRED TO MATCH FASCIAS OF ROOFS WITH DIFFERENT PITCH

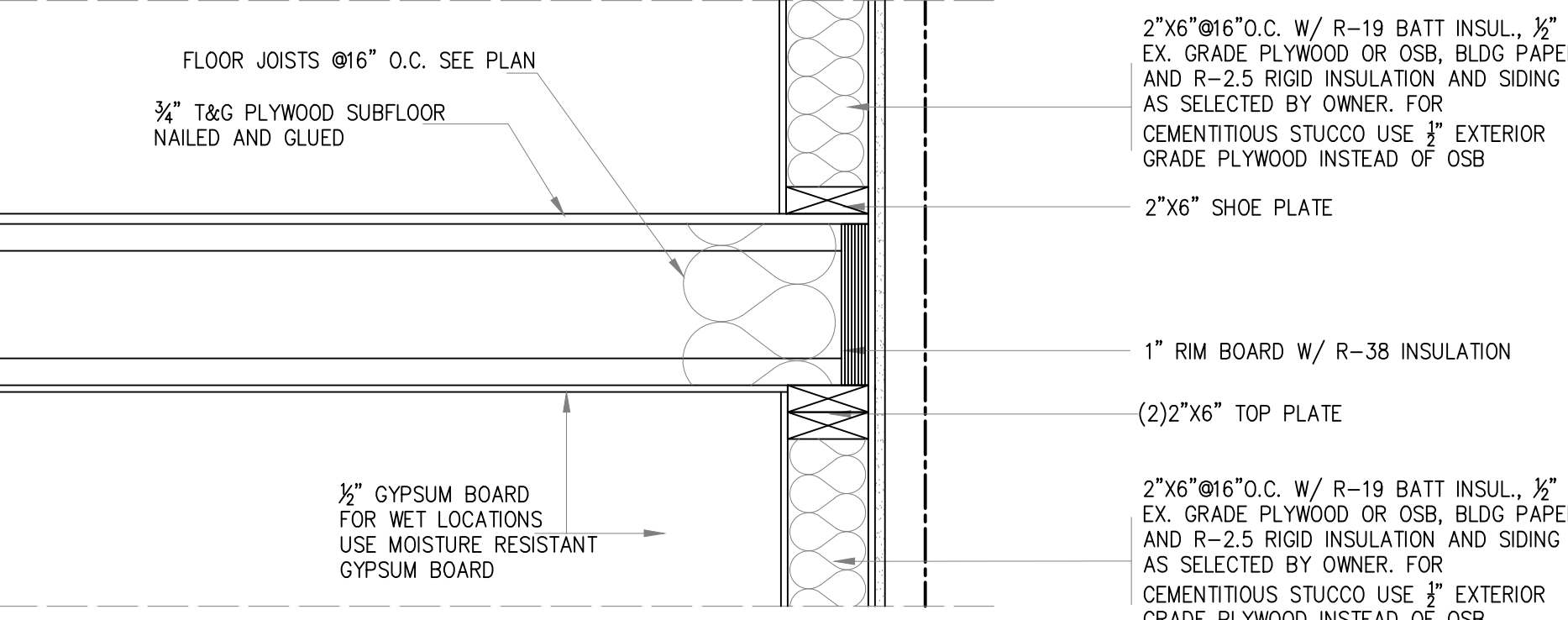
 <p><b>ANDREW PODBEREZNAK R.A.</b> 11 High Point Drive Springfield N.J. 07081 Tel: 973-493-9476 Fax: 908-277-6007 N.J. Lic # 12241</p>		<p>Job # <b>23-044</b></p>
<p>Scale AS NOTES</p>	<p>Project Title <b>NEW HOUSE</b> SHADOW LN., UPPER SADDLE RIVER, N.J. BLOCK 1005 LOT 1</p>	<p>Dwg. # <b>A - 7</b></p>
<p>Drawn by J.D.</p>	<p>Drawing Title ROOF PLAN.</p>	<p>OF <b>9</b></p>
<p>Checked by A.P.</p>		



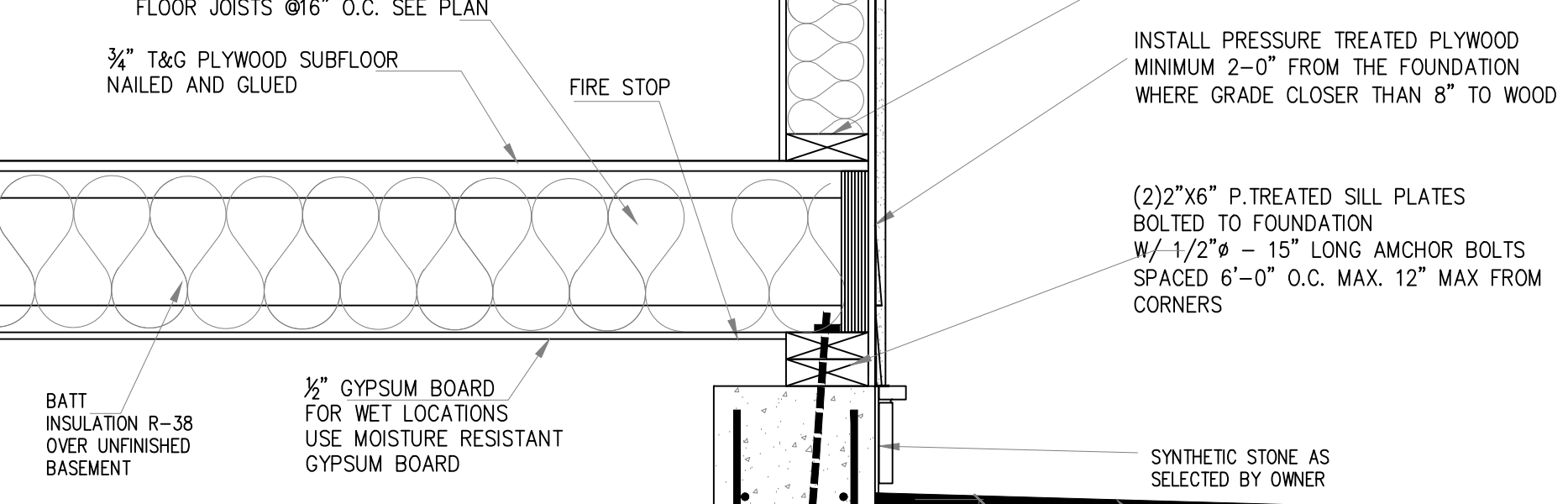


INSTALL H4 OR H2.5 BY "SIMPSON" HURRICANE CLIPS EACH RAFTER EACH END WHERE VOLUME CLGS ARE PLANNED.

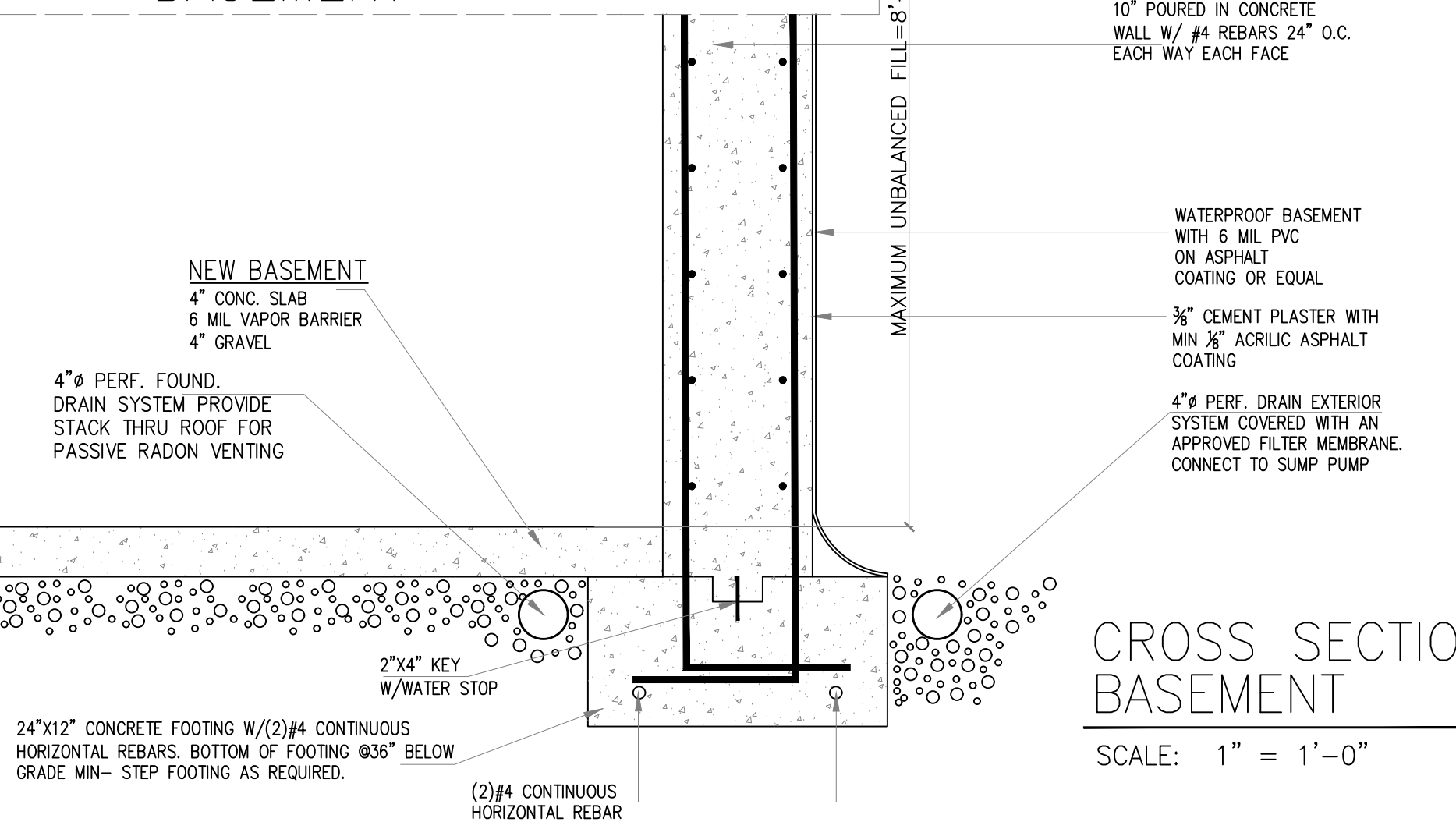
**2ND FLOOR**



**1ST FLOOR**



**BASEMENT**



**CONCRETE**

- CONCRETE SLABS SHALL BE NORMAL WEIGHT CONTROLLED CONCRETE COMPLYING WITH ALL ACI BUILDING CODE REQUIREMENTS, OF A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4,000 P.S.I. AIR-ENTRAINED AT 28 DAYS AND 3,000 P.S.I. NON AIR-ENTRAINED AT 28 DAYS FOR FOUNDATIONS.
- WHEN CONSTRUCTION JOINTS ARE USED IN SLABS, THEY SHALL BE LOCATED AT POINTS OF MINIMUM SHEAR AND SHALL BE KEPT.
- CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
  - (a) WALL, INSIDE FACE .....1"
  - (b) WALLS, EXTERIOR FACE (AGAINST EARTH)..... 2"
  - (c) CONCRETE PLACED ON EARTH ..... 3"
  - (d) SLABS EXPOSED TO WEATHER .....1-1/2"
- ALL CONCRETE IS TO BE VIBRATED AS PER ACI BUILDING CODE REQUIREMENTS. VIBRATORS SHALL NOT BE USED TO TRANSPORT CONCRETE.
- ALL EMBEDMENTS, INCLUDING ANCHOR BOLTS, SHALL BE IN PLACE PRIOR TO POURING CONCRETE.
- CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 304, LATEST EDITION. CONCRETE SHALL NOT BE SUBJECT TO DROPS IN EXCESS OF 5 FEET.
- ALL CONCRETE SHALL BE FORMED, UNLESS OTHERWISE APPROVED BY ENGINEER.
- GENERAL CONTRACTOR SHALL GROUT UNDER ALL LEVELING OR BEARING PLATES WITH AN APPROVED NON SHRINKING GROUT.
- THE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL SLEEVES, INSERTS, ANCHOR BOLTS, ETC., REQUIRED BY OTHER TRADES. INSTALLATION OF ALL SUCH EMBEDMENTS SHALL BE CHECKED FOR COMPLETENESS AND LOCATION BEFORE CONCRETE IS CAST.
- CURING OF CONCRETE IS TO START AS SOON AS FINISHES WILL NOT BE MARRED. IT WILL NOT BE PERMISSIBLE TO DELAY THE CURING UNTIL THE MORNING AFTER THE CONCRETE IS CAST.
- THE ENGINEER OF RECORD OR AN INDEPENDENT CERTIFIED TESTING LABORATORY APPROVED BY THE ENGINEER OF RECORD MUST CHECK AND APPROVE ALL STEEL REINFORCING PRIOR TO CONCRETE PLACEMENT.
- CONCRETE SLAB SHALL BE SEALED WITH A SIKA OR APPROVED EQUAL COMPOUND.

**CONCRETE REINFORCEMENT**

- WELDED WIRE FABRIC SHALL BE SMOOTH FINISH, ASTM A185 GRADE 60 AND SHALL COMPLY WITH ALL ACI CODE REQUIREMENTS.
- REINFORCING BARS SHALL BE GRADE 60, DEFORMED AS PER ASTM 615.
- PROVIDE MINIMUM REINFORCING IN ALL CONCRETE AS PER ACI BUILDING CODE REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE ALL HIGH CHAIRS, SPACERS, SUPPORTS, ETC., NECESSARY FOR PROPER PLACEMENT AND SUPPORT OF WELDED WIRE FABRIC.

	FOR 4"x4" POSTS USE PC44 POST TO BEAM CONNECTORS BY "SIMPSON"		FOR 4"x4" POSTS USE PB44 POST TO FOOTING CONNECTORS BY "SIMPSON"
	FOR 6"x6" POSTS USE PC66 POST TO BEAM CONNECTORS BY "SIMPSON"		FOR 6"x6" POSTS USE PB66 POST TO FOOTING CONNECTORS BY "SIMPSON"
	FOR 4"x4" POSTS USE EPC44 POST TO BEAM CONNECTORS BY "SIMPSON" FOR GIRDER END CONDITIONS		SECURE PLATE TO MASONRY FOUNDATION WITH 3/8" ANCHOR BOLTS MIN 15" LONG. 60-0" MAX AND MAXIMUM 12" FROM CORNERS.
	FOR 6"x6" POSTS USE EPC66 POST TO BEAM CONNECTORS BY "SIMPSON" FOR GIRDER END CONDITIONS		

**GENERAL NOTES:**

- Architect is not responsible for means and methods of construction, construction supervision, and construction safety procedures.
- Contractor shall use only written measurements. In absence of same, he shall scale drawings ONLY AFTER APPROVAL by architect. If there is a conflict of measurements, scale, etc. we shall not proceed until all conditions are verified.
- Contractor shall provide every item of framing as required, whether specifically shown or not to make a complete job in accordance with governing codes and good practice.
- No changes are to be made from drawings and specifications without the consent of the architect.
- The owner and contractor shall hold harmless the architect from and against all claims, damages, losses, and expenses, including attorney's fees arising out of or resulting from any deviations from the submitted permit set and or negligent or faulty work by contractor.
- General construction lumber shall have a minimum fiber stress as follows: Doug. Fir-Iarch #2, Fb = 1450, E = 1,700,000
- All framing lumber shall be continuous to support with bearing area per code minimum. Provide metal clips, securing cathedral ceiling/roof framing to wall framing.
- Provide solid blocking under all beams posts through to foundation. Posts are to be the full width of beam above. Provide double joists under all partitions running parallel with floor framing, provide solid bridging under those that are perpendicular.
- Dimensions are based on nominal material sizes, actual dimensions will vary slightly and be adjusted and coordinated in the field.
- Verify actual stair dimensions, clearances, code requirements, and coordinate framing as required. Provide minimum thread of 9", minimum riser to be 8 1/4". Provide head room of 6'-8" minimum.
- All concrete to be minimum 3,000 psi at 28 days. Provide 3,500 psi at garage slabs, exterior steps and porches.
- All footings to be minimum 3'-0" below finished grade and shall bear on soil with 4,000 p.s.f. capacity.
- All concrete masonry units are to be load-bearing grade N, Type 1 (ASTM C90 & C145) with type M mortar (ASTM C270)
- Construct masonry chimney and fireplace per code chapter 9. Provide clearance to wood framing per code. Provide exterior air supply to all fireplace as per code.
- All structural steel to be ASTM A-36 steel, painted. Connections are to be per AISC standards. Provide minimum 6" beam bearing on masonry supports.
- All applicable laws pertaining to guards, hand rails and safety. Glass is to be conformed with and to be part of these plans. See code section R-214 and R-208. Handrails shall be provided for stairs of (3) or more risers and shall be between 34" and 38" above the tread nosing and are to be continuous for the full length of the stair. The handrail shall be maximum 2'-5/8" in cross section and shall provide minimum 1'-1.2" clearance from walls. Guardrails shall be provided at porches, balconies, open stairs, and raised floor areas located 30" above floor or grade below and be minimum of 36" high and prohibit the passage of a 6" dia object. Horizontal spacing of vertical members shall prohibit the passage of a 4" dia object. Provide temporary guards at all wells, drop-offs, etc. during construction.
- Provide and coordinate all required continuous blind and step plating, waterproofing, etc. to ensure a tight, waterproofing building.
- Complete electrical wiring shall be in accordance with the latest national electrical codes and any additional state and local regulations even if plan layout does not comply with latest requirements.
- The electrical layout shown is only diagrammatic and based on minimum code requirements. Review with owner, room by room, verify layout and actual fixture location before and after rough wiring.
- All plumbing is to be installed in accordance with the latest plumbing and local codes.
- Mechanical equipment and appliance shall be installed in accordance with manufacturer's installation and instructions for the labeled equipment and in accordance with latest national mechanical code and all governing rules and regulations.
- All windows to be Anderson windows, all windows to be double glazed with screens and mullions (or equal) or as approved by owner.
- Insulation: See energy calculations/ res-check or notes on the plans.
- Provide in-line smoke detectors with battery back-up in all bedrooms and at each floor as required by local codes.
- Verify all colors/finishes with owner.
- All construction debris will be removed per local regulations and the project will be left broom clean.
- Provide water resistant gyp. bd. at bathrooms. Provide poles and shelves in all closets.
- Provide fire stopping per code at all concealed draft openings (both vertical and horizontal) and form an effective fire barrier between stories and between upper story and roof.
  - In concealed spaces of stud walls and partitions.
  - At all interconnections between concealed vertical and horizontal spaces such as soffits, drop ceilings, cove ceilings, etc.
  - In concealed spaces between stairs stringers at top and bottom of run.
  - At all openings around vents, pipes, ducts, chimneys and fireplaces, etc. at ceiling and floor level noncombustible.
- Electrical contractor to provide 300 amp electric service. Provide decor style, switches, dimmers & outlets.
- Mechanical contractor to provide:
  - (3) Zone gas fired hot air heat
  - (3) Zone air condition units
  - (2) 50 Gallon gas fired hot water heater
- Guarantee:
  - Equipment, labor and workmanship for a period of one (1) year from date of final inspection or as per direction of Owner.
  - Two (2) year warranty on all equipment or as per direction of Owner.
- Heating Cycle: System to deliver 70 F at 0 F outdoors with 15 MPH prevailing wind. Cooling Cycle: System to deliver 75 F at 95 F outdoors with 50% relative humidity.

**NOTE - CARBON MONOXIDE**

INSTALL BATTERY OPERATED OR AC OR HARDWIRED CARBON MONOXIDE DETECTOR IN EVERY HALLWAY OUTSIDE OF BEDROOM

**NOTE - SMOKE DETECTORS**

PROVIDE HARDWIRED SMOKE DETECTORS

- ONE IN EACH BEDROOM
- ONE DIRECTLY OUTSIDE IN EACH HALLWAY
- ONE IN ENTER FOYER
- ONE IN BASEMENT
- SMOKE DETECTORS TO BE HARDWIRED IN SUCH A WAY THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL ALARMS
- SMOKE ALARMS TO HAVE BATTERY BACK-UP.

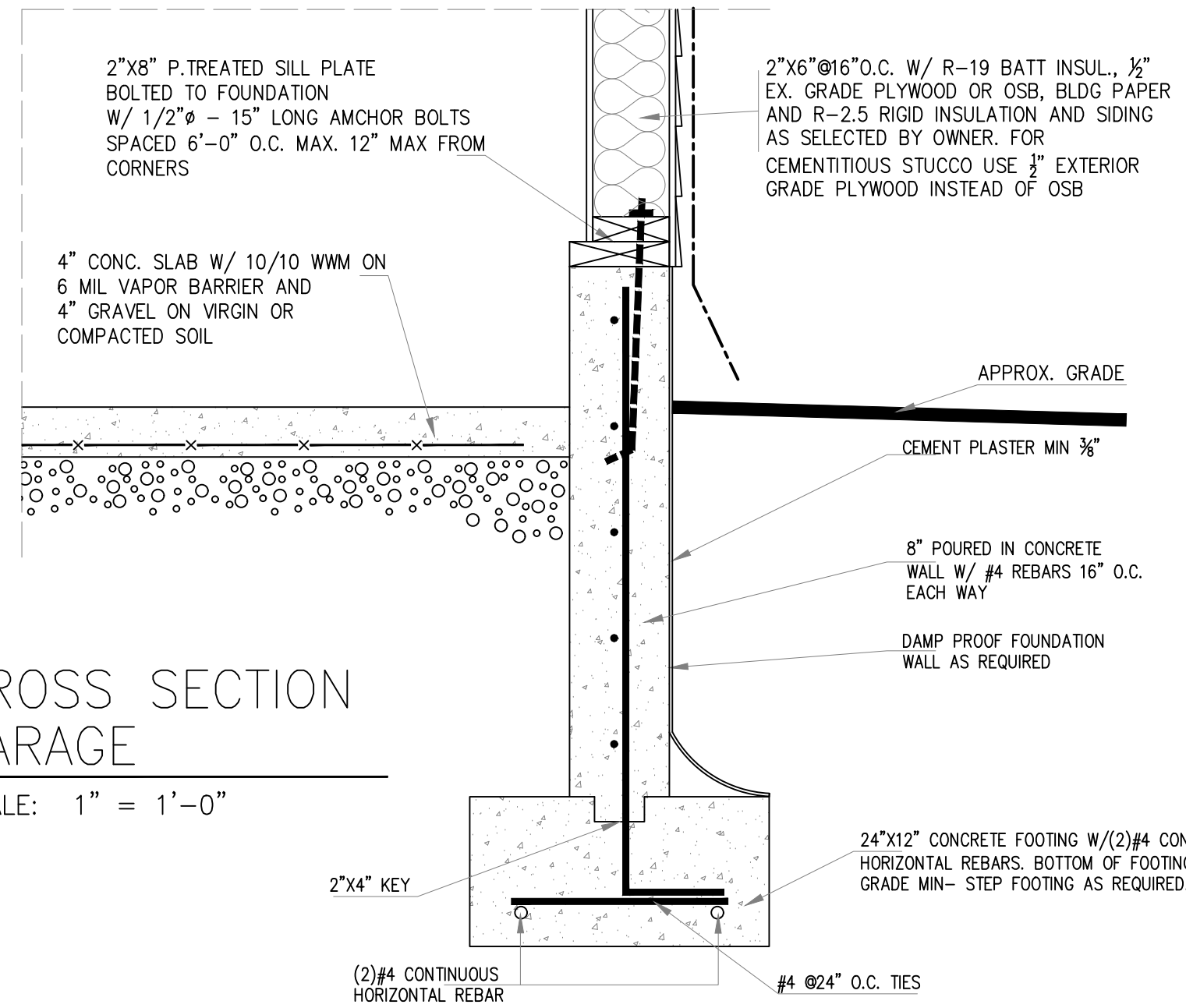
**FLASHING NOTE**

CONTRACTOR TO PROVIDE APPROVED CORROSION-RESISTIVE FLASHING IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL COMPONENTS. FLASHING SHOULD EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE.

CONTRACTOR TO INSTALL FLASHING IN ALL OF THE FOLLOWING LOCATIONS:

- AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAKPROOF, EXCEPT THAT SELF FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1 1/8" OVER THE SHEATING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DO NOT REQUIRE ADDITIONAL FLASHING.
- AT INTERSECTIONS OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING UPS ON BOTH SIDES UNDER STUCCO COPINGS.
- UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
- CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
- WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
- AT WALL AND ROOF INTERSECTIONS.
- AT BUILT IN GUTTERS.

**GARAGE**



**CROSS SECTION GARAGE**

SCALE: 1" = 1'-0"

**CROSS SECTION BASEMENT**

SCALE: 1" = 1'-0"

**architect**

**ANDREW PODBEREZNIAK R.A.**

11 High Point Drive  
Springfield N.J. 07081

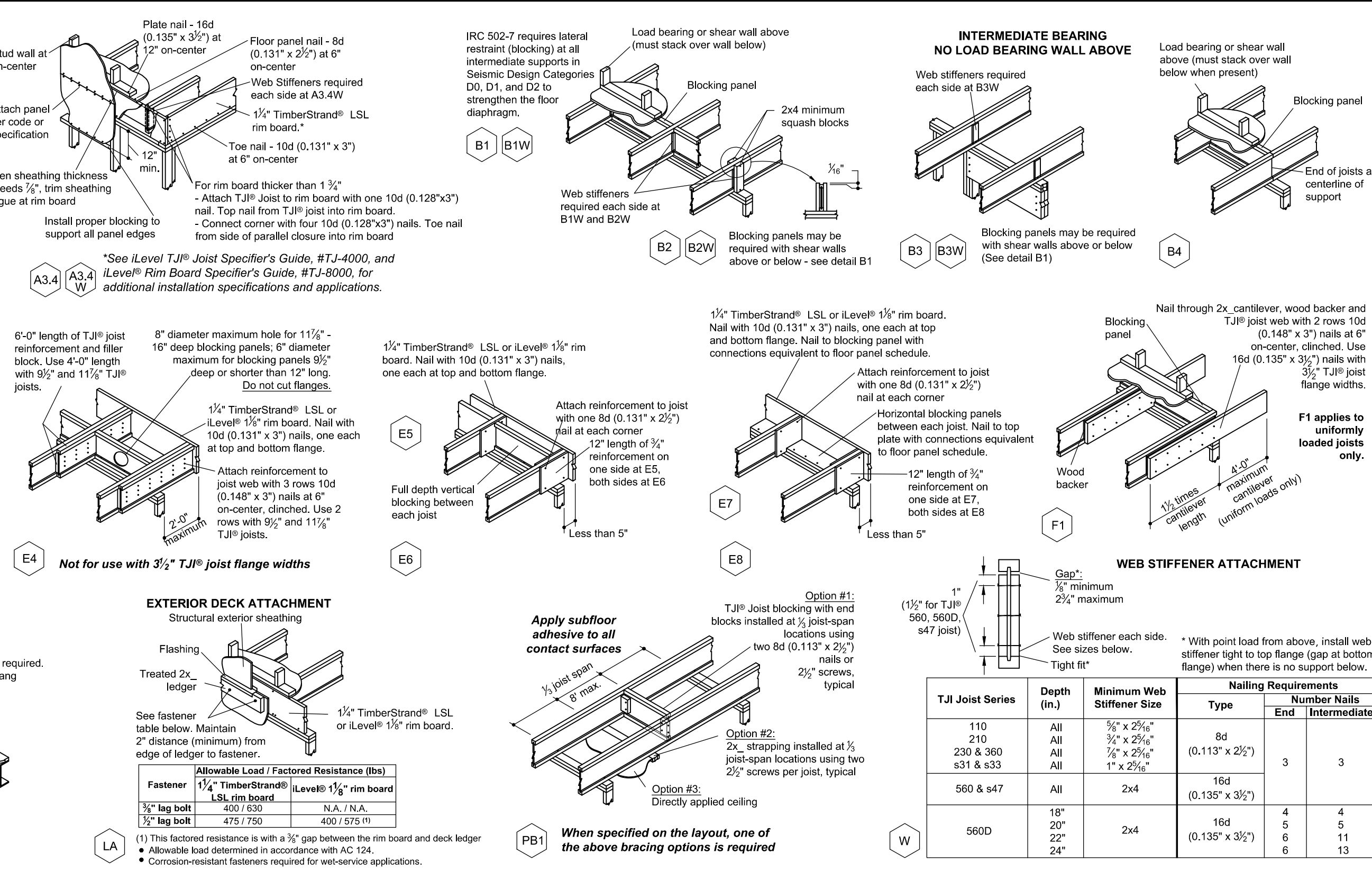
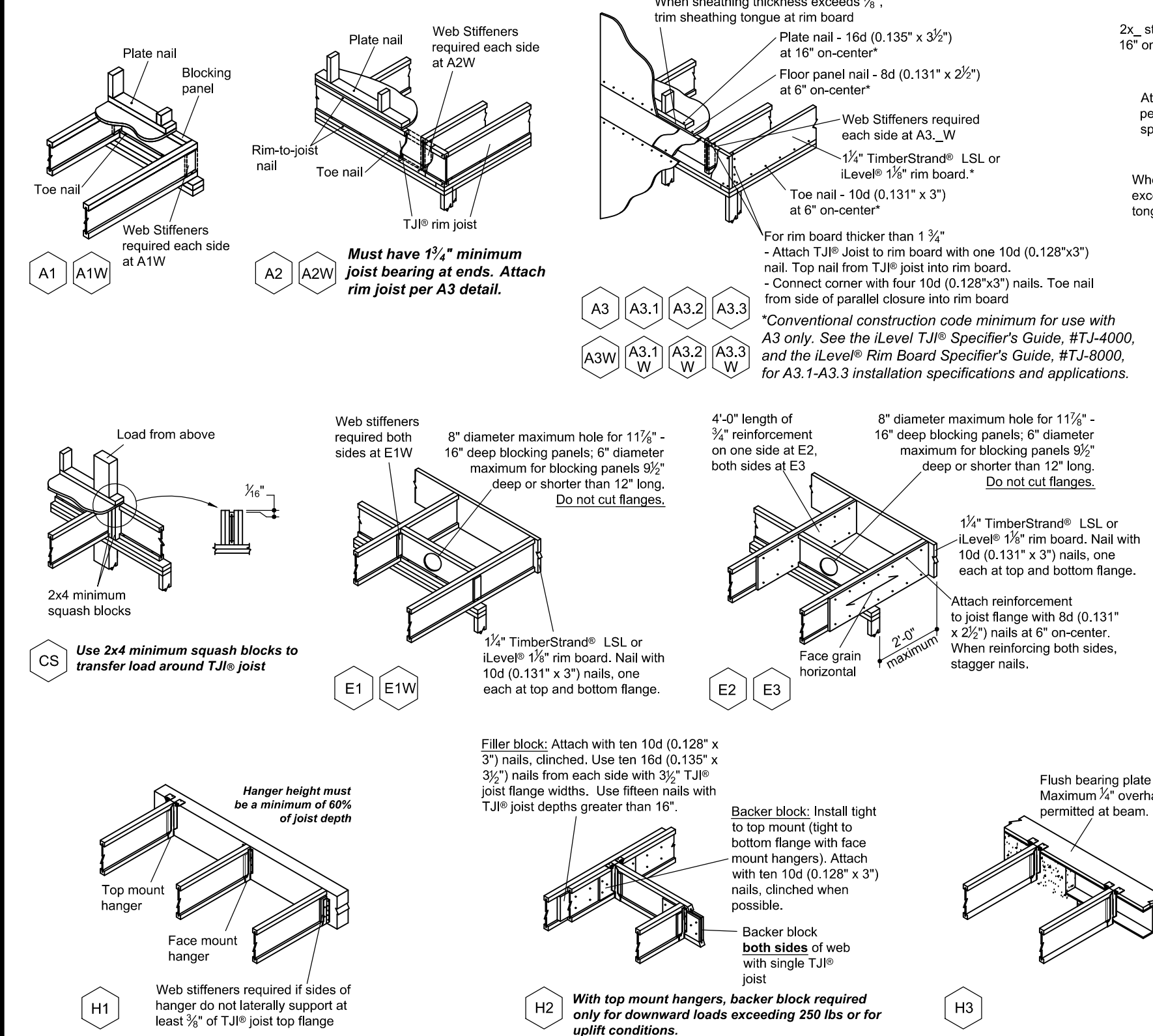
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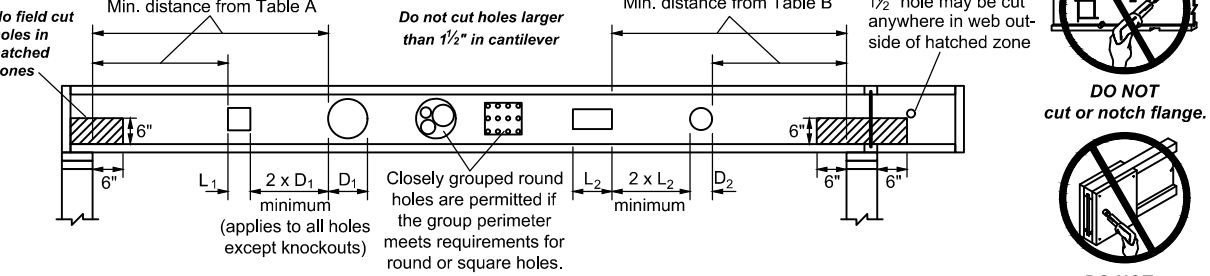
Date	05.14.23	Project Title	NEW HOUSE	Job #	23-044
Scale	AS NOTES	SHADOW LN., UPPER SADDLE RIVER, N.J. BLOCK 1005 LOT 1		Dwg. #	A - 8
Drawn by	J.D.	Drawing Title	SECTIONS, NOTES.	OF 9	
Checked by	A.P.				



# JOIST DETAILS



# ALLOWABLE HOLES - TJI® Joists



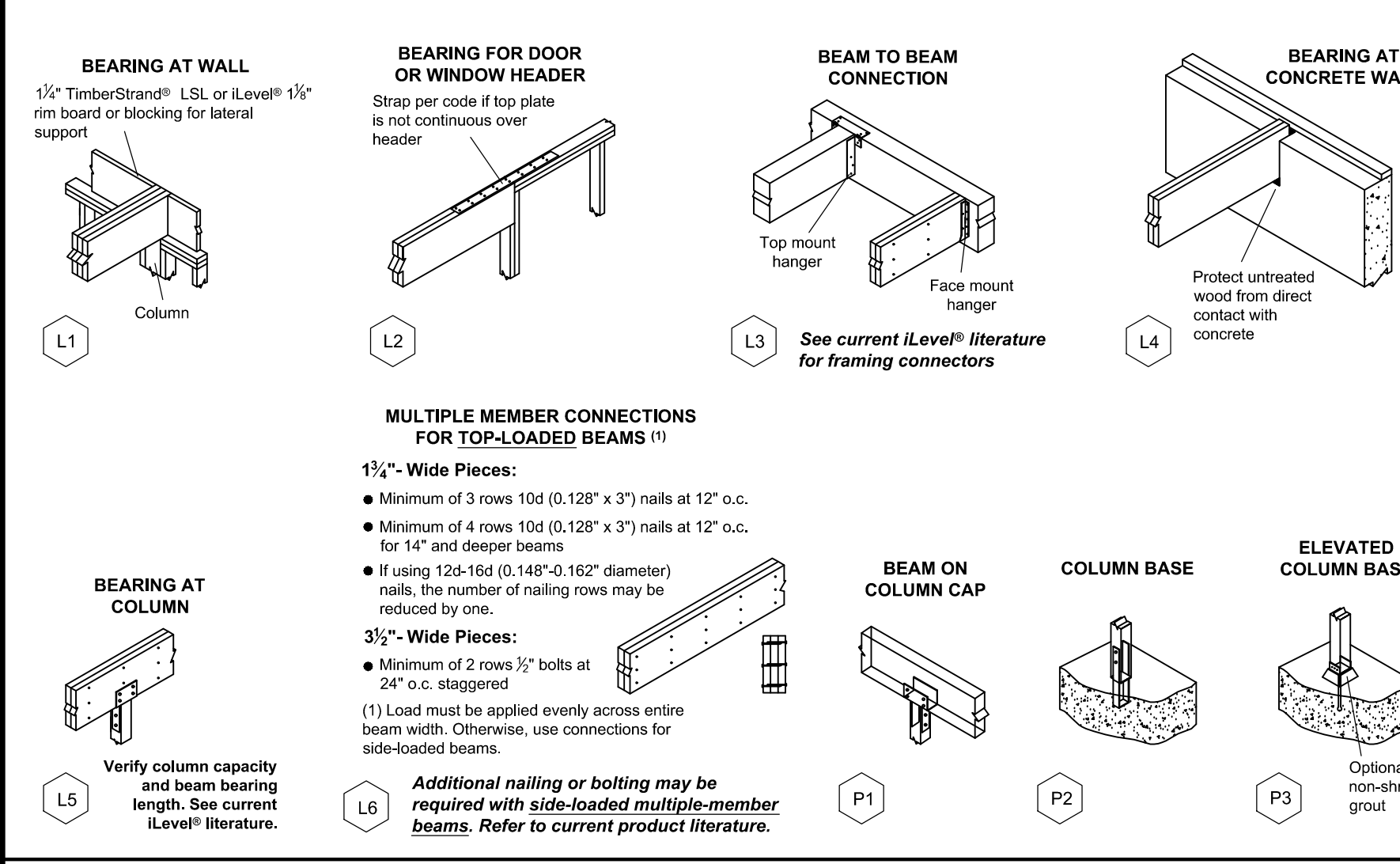
**Table A - End Support**  
Minimum distance from edge of hole to inside face of nearest end support

JOIST DEPTH	ROUND HOLE SIZE										SQUARE OR RECTANGULAR HOLE SIZE									
	2"	3"	4"	6"	8"	10"	12"	14"	16"	18"	2"	3"	4"	6"	8"	10"	12"	14"	16"	18"
110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
115	115	115	115	115	115	115	115	115	115	115	115	115	115	115	115	115	115	115	115	115
140	140	140	140	140	140	140	140	140	140	140	140	140	140	140	140	140	140	140	140	140
160	160	160	160	160	160	160	160	160	160	160	160	160	160	160	160	160	160	160	160	160
180	180	180	180	180	180	180	180	180	180	180	180	180	180	180	180	180	180	180	180	180
200	200	200	200	200	200	200	200	200	200	200	200	200	200	200	200	200	200	200	200	200

**Table B - Intermediate or Cantilever Support**  
Minimum distance from edge of hole to inside face of nearest intermediate or cantilever support

JOIST DEPTH	ROUND HOLE SIZE										SQUARE OR RECTANGULAR HOLE SIZE									
	2"	3"	4"	6"	8"	10"	12"	14"	16"	18"	2"	3"	4"	6"	8"	10"	12"	14"	16"	18"
110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110	110
115	115	115	115	115	115	115	115	115	115	115	115	115	115	115	115	115	115	115	115	115
140	140	140	140	140	140	140	140	140	140	140	140	140	140	140	140	140	140	140	140	140
160	160	160	160	160	160	160	160	160	160	160	160	160	160	160	160	160	160	160	160	160
180	180	180	180	180	180	180	180	180	180	180	180	180	180	180	180	180	180	180	180	180
200	200	200	200	200	200	200	200	200	200	200	200	200	200	200	200	200	200	200	200	200

# BEAM and COLUMN DETAILS



# FASTENING OF FLOOR PANELS

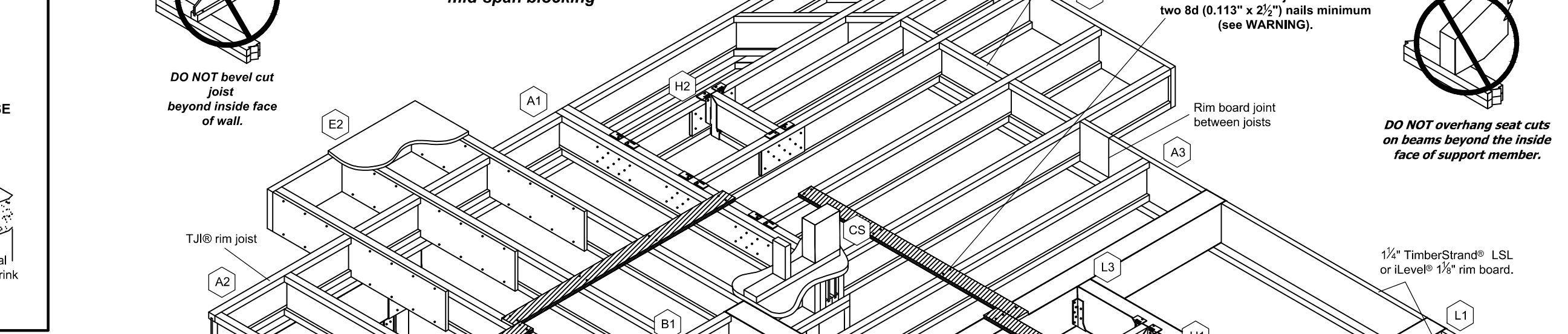
Guidelines for Closest On-Center Spacing per Row

Nail Size	110, 210, and 230	360 and 560	1 1/2" Rim Board	1 1/2" iLevel® or LSL	1 1/2" TimberStrand® LSL or Paraflex® PSL	Microflam® LVL	Paraflex® PSL
8d (0.131" x 2 1/2")	12"	12"	6"	6"	6"	6"	6"
10d (0.148" x 3")	12"	12"	6"	6"	6"	6"	6"
16d (0.162" x 3 1/2")	12"	12"	6"	6"	6"	6"	6"

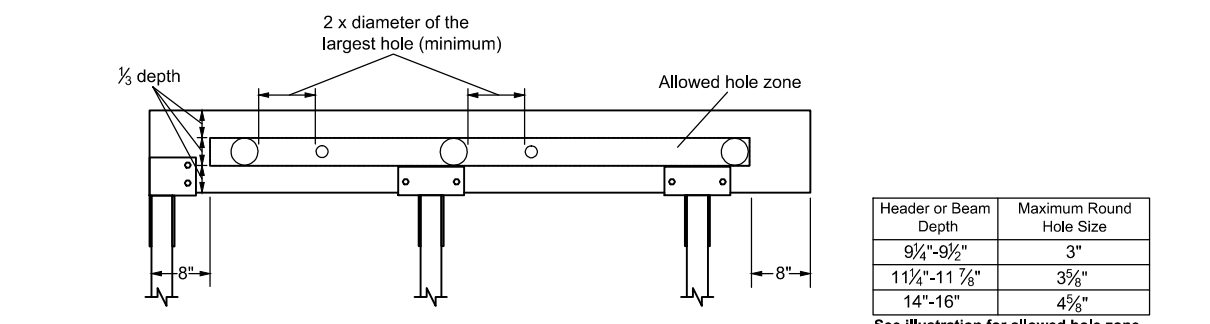
(1) One row of fasteners permitted (two at alternating panel edges) for diaphragms. Stagger nails when using 6" on-center spacing and maintain 1/2" joint and panel edge distance. For other applications, multiple rows of fasteners are permitted if the rows are offset at least 2" and staggered.

(2) Can be reduced to 4" on-center if nail penetration into the name edge is no more than 1/8" (no void splitting).

- Recommended nailing is 12" on-center in field and 6" on-center along panel edge.
- iLevel® recommends using a non-polyurethane subfloor adhesive on all contact points between panels and floor framing.
- Nailing rows must be offset at least 1/2" and staggered.



# ALLOWABLE HOLES - Headers and Beams



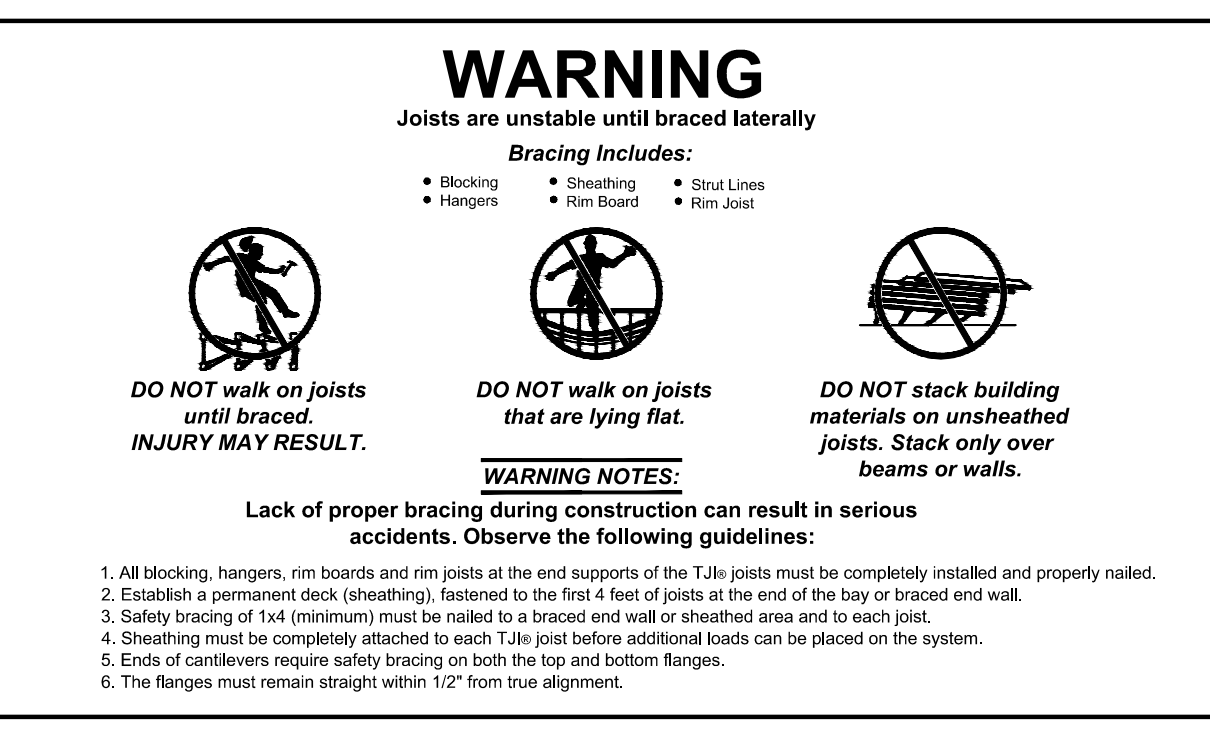
**General Notes**

- Allowed hole zone suitable for headers and beams with uniform and/or concentrated loads.
- Round holes only.
- No holes in headers or beams in plank orientation.

**Other iLevel® Trus Joist® Headers and Beams**

Labels: Microflam® LVL and Paraflex® PSL, 2 x diameter of the largest hole (minimum), Allowed hole zone, 1/2" depth, 1.3E TimberStrand® LSL allowed hole zone.

# WARNING



**Lack of proper bracing during construction can result in serious accidents. Observe the following guidelines:**

- All blocking, hangers, rim boards and rim joists at the end supports of the TJI joists must be completely installed and properly nailed.
- Establish a permanent deck (sheathing), fastened to the first 4 feet of joists at the end of the bay or braced end wall.
- Safety bracing of 1x4 (minimum) must be nailed to a brace end wall or sheathed area and to each joist.
- Sheathing must be completely attached to each TJI joist before additional loads can be placed on the system.
- Ends of cantilevers require safety bracing on both the top and bottom flanges.
- The flanges must remain straight within 1/2" from true alignment.

**Warning:** Drilling, sawing, sanding or machining wood products generates wood dust, a substance known to the state of California to cause cancer. For more information on Proposition 65, visit [www.wy.com/inform](http://www.wy.com/inform).

**SUSTAINABLE FORESTRY INITIATIVE**  
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This sheet is intended as a supplement to the iLevel Framers Pocket Guide, which should be referenced for additional information. THINK SAFETY-READ INSTALLATION INFORMATION BEFORE PROCEEDING

**SINGLE TJI HANGER NOTE:**  
FOR TJI 360 SERIES USE ITS 2.37/11.88 TOP FLANGE HANGERS OR IUS 2.37/11.88 FACE MOUNT HANGERS BY SIMPSON OR EQUAL

FOR TJI 560 SERIES USE ITS 3.56/11.88 TOP FLANGE HANGERS OR IUS 3.56/11.88 FACE MOUNT HANGERS BY SIMPSON OR EQUAL

**DOUBLE TJI HANGER NOTE:**  
FOR TJI 360 SERIES USE MIT 3511.88-2 TOP FLANGE HANGERS OR MIU 4.75/11 FACE MOUNT HANGERS BY SIMPSON OR EQUAL

FOR TJI 560 SERIES USE ITS B7.12/11.88 TOP FLANGE HANGERS OR HU412-2 FACE MOUNT HANGERS BY SIMPSON OR EQUAL

Job # 24-044  
Dwg. # A-9 OF 9

Project Title: NEW HOUSE SHADOW LN., UPPER SADDLE RIVER, N.J. BLOCK 1005 LOT 1

Date: 05.14.23  
Scale: AS NOTED

Drawn by: J.D.  
Checked by: A.P.

Drawing Title: TJI DETAILS

**architect**

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