

**PROPERTY INFORMATION**

LOT 7 BLOCK 4

SUBDIVISION:  
TERAVISTA SECTION 324

RECORDING INFO:  
RECORDED UNDER DOC.NO. 2014063710,  
OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY TEXAS.

**PLAN INFORMATION**

PLAN NUMBER 3735 A3 L

**PLAN OPTIONS:**

- COVERED PATIO
- MASTER BATH W/SHOWER ONLY
- STUDY IN LIEU OF DINING

**FENCE TYPE LEGEND**

A - (BRICK) BY NEWLAND COMMUNITIES  
 C - ORNAMENTAL FENCE - BY BUILDER  
 E - (CONCRETE SLAT) BY NEWLAND COMMUNITIES  
 F - GOOD NEIGHBOR FENCE - BY BUILDER  
 G - BOUNDARY FENCE - BY BUILDER  
 H - WOOD BOUNDARY - BY NEWLAND COMMUNITIES

**NOTES:**

ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.

NOTE: PROPERTY SUBJECT TO RECORDED RESTRICTIONS, REGULATIONS, & ORDINANCES, IF ANY.

RESTRICTIVE COVENANTS AND EASEMENTS AS DEFINED PER PLAT RECORDED IN DOC. 2014063710 OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS.

THIS PLOT PLAN DOES NOT ADDRESS EAVES, GUTTERS OR OTHER OVERHANGING STRUCTURE FEATURES, WHICH MAY PROTRUDE OVER BOUNDARY, EASEMENTS AND/OR BUILDING LINES, UNLESS OTHERWISE SHOWN HEREON

BUILDER SHALL VERIFY ALL DIMENSIONS, BUILDING SETBACK LINES AND EASEMENTS, AND VERIFY BUILDING PLACEMENTS FOR COMPLIANCE WITH ALL ORDINANCES AND RESTRICTIONS, AND SHALL NOTIFY THIS OFFICE OF ANY ERRORS, OMISSIONS AND/OR DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.

THIS PLOT PLAN HAS BEEN DRAWN BASED ON INFORMATION GIVEN ON RECORDED PLAT AND IS SUBJECT TO ANY AND ALL BUILDING SETBACK LINES AND/OR EASEMENTS PRESENT BUT NOT SHOWN HEREON. BUILDER SHALL VERIFY AND LOCATE ANY AND ALL ADDITIONAL BUILDING SETBACK LINES AND/OR EASEMENTS AND VERIFY THAT NO ENCROACHMENTS EXIST PRIOR TO COMMENCING CONSTRUCTION.

**DRAWING INFORMATION**

TT JOB NO: SMS-LR2652-17

CLIENT JOB NO: N/A

DRAWN BY: CR / JTL

BEARING BASE: REFERRED TO PLAT NORTH

DATE: 02-04-17

**REVISIONS**

NO.	DATE	REASON	BY

**OWNER/BUILDER MUST VERIFY MINIMUM PROPOSED FINISHED FLOOR REQUIREMENTS OF F.E.M.A. AND/OR LOCAL GOVERNMENT AUTHORITIES, INCLUDING APPLICABLE BENCHMARK DATUM AND ADJUSTMENT, PRIOR TO PLANNING AND/OR CONSTRUCTION.**

THIS PLOT PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AT THE REQUEST OF LENNAR HOMES AND MAY NOT SHOW ALL ENCUMBRANCES OF RECORD. THE BUILDER MUST VERIFY ALL BUILDING LINES, EASEMENTS, RESTRICTIONS AND ORDINANCES, IF ANY, THAT MAY AFFECT SUBJECT PROPERTY PRIOR TO STARTING CONSTRUCTION. THIS PLOT PLAN DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. SURVEYOR RECOMMENDED A CURRENT TITLE REPORT SHOULD HAVE BEEN OBTAINED.

**LENNAR®**

THIS IS NOT A BOUNDARY SURVEY. ALL BEARINGS AND DISTANCES ARE FROM THE SUBDIVISION PLAT.

**TRI-TECH SURVEYING CO., L.P.**

Firm Reg. Number 10193729

[WWW.SURVEYINGCOMPANY.COM](http://WWW.SURVEYINGCOMPANY.COM)

100 E. San Antonio St. Ste. 100 Phone: (512) 440-0222  
 San Marcos, Texas 78666 Fax: (512) 440-0224

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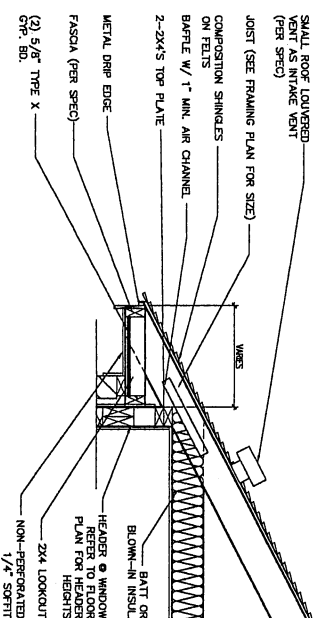
1109 Fountain Grass Way



# HKTG#CVGF#JQHKK#GVCIN

## 40' BROOKSTONE II COLLECTION

ONLY USE THIS COVER SHEET FOR COMMUNITIES THAT REQUIRE THIS APPLICATION, OTHERWISE DISREGARD COVER SHEET.

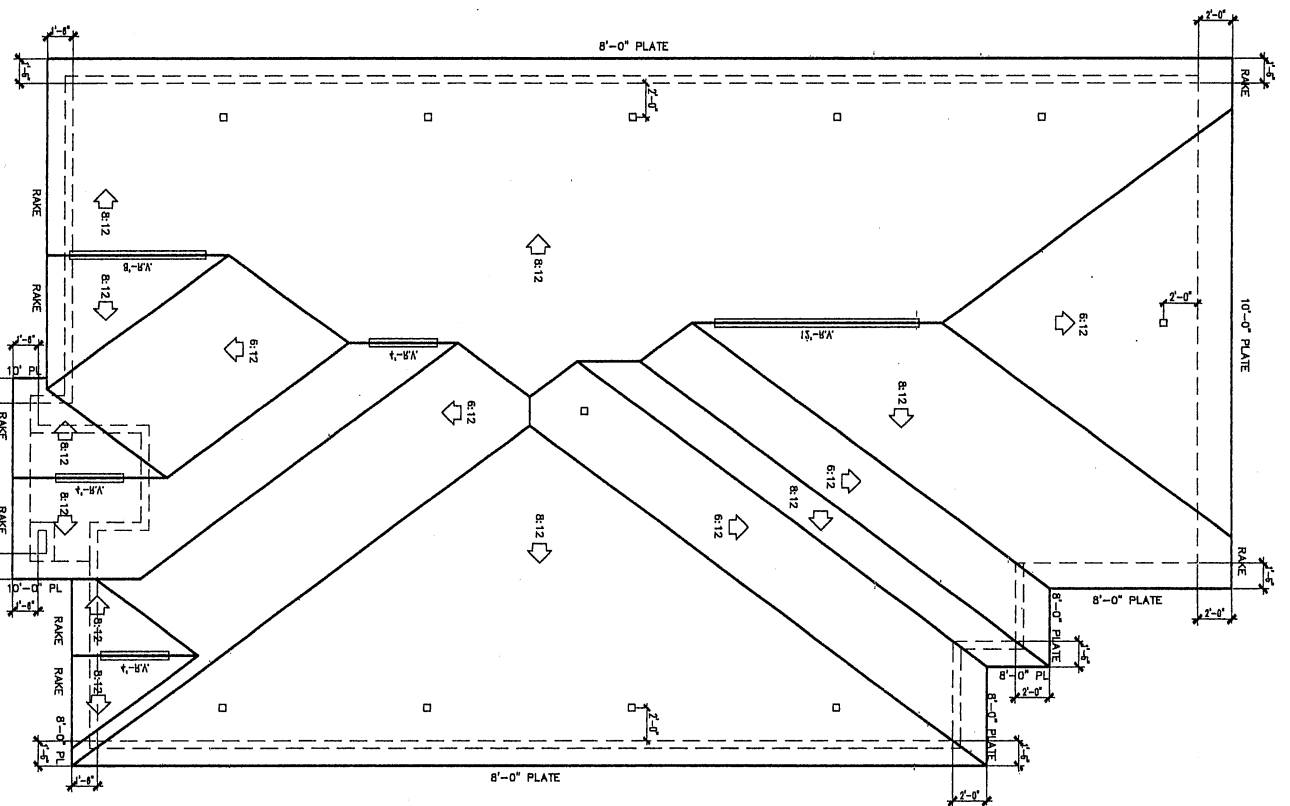


1 HOUR FIRE RATED SOFT DETAIL

SCALE: N.T.S.  
REF. PLANS & ELEV.'S FOR FRAMING & PITCH

RNC P #5957#N5

ROOF PLAN - "A-3" W/ SMALL ROOF LOUVER VENT  
 SCALE 1/8" = 1'-0"



VENTILATION NOTES

- DENOTES SMALL ROOF LOUVER VENT
- DENOTES LARGE ROOF LOUVERS

▬ DENOTES RIDGE VENT

NFA CALCULATIONS

ATTIC SQ. FT.	2793
NFA SQ. IN.	1341
LF OF RIDGE VENT	32
NUMBER OF LARGE ROOF LOUVERS	0
NUMBER OF SMALL ROOF LOUVER VENT	11
SQ. IN. OF NFA EXHAUST	641
LF OF PERFORATED SOFFIT VENT	0
LF OF LOW PROFILE CONTINUOUS VENT	0
SQ. IN. OF NFA INTAKE	700


ROOF NOTES

- 1.) ALL ROOF SLOPES TO BE 6:12 OR 8:12 U.N.O.
- 2.) OVERHANG TO BE 2'-0" FROM EXTERIOR FACE OF STUD @ 6:12 U.N.O.
- 3.) OVERHANG TO BE 1'-6" FROM EXTERIOR FACE OF STUD @ 8:12 U.N.O.
- 4.) REFER TO DIMENSIONS FOR OVERHANG AT RAKE.
- 5.) ARROWS INDICATE DRAINAGE.

\* SMALL ROOF LOUVER VENTS TO BE PLACED NO HIGHER THAN BOTTOM 1/3 OF ROOF TO BE USED AS INTAKE VENTS PER MANUFACTURER'S SPECIFICATIONS.

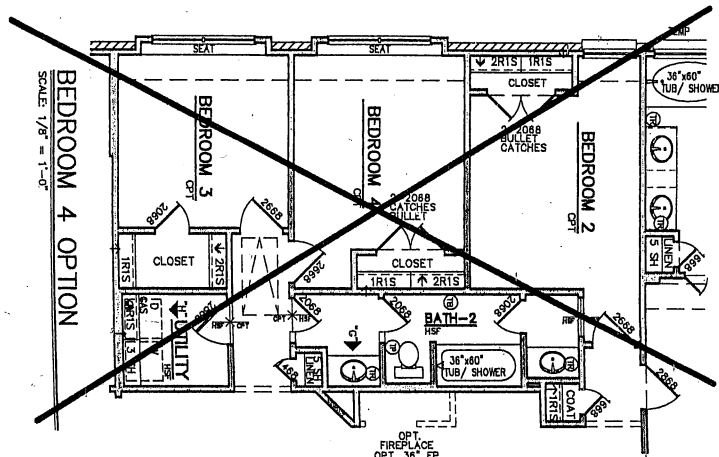
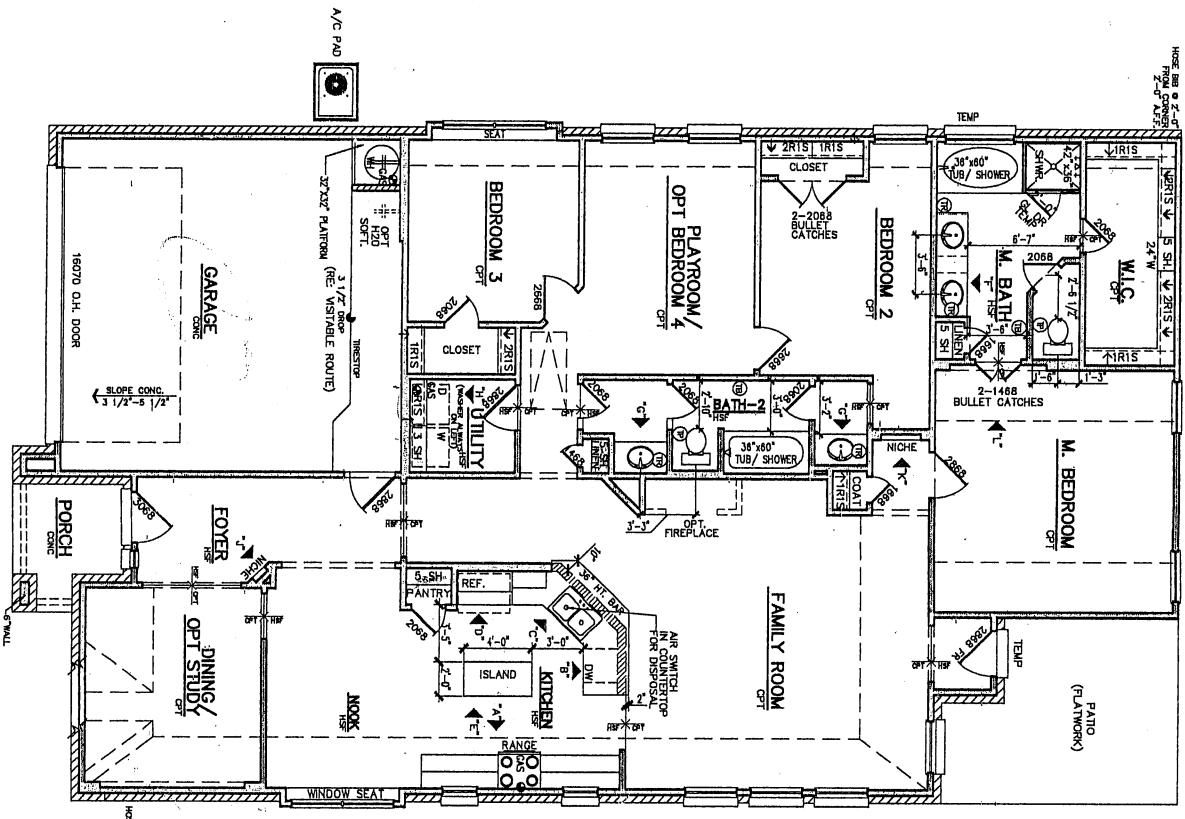
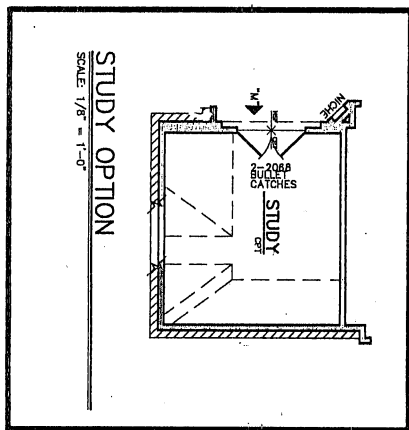
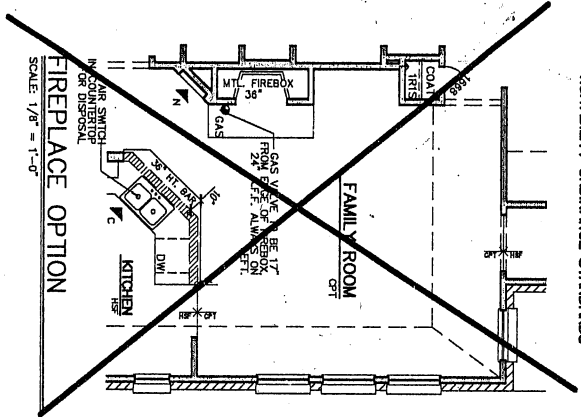
REVISIONS	DATE	BY	DESCRIPTION
	07/27/16	M.S.-HR	
	07/29/16	M.S.-BS	
	11/02/16	M.S.-MC	

SUPPLIED TO:  
 1.) FRAMER  
 2.) CORNICHE LABOR  
 3.) DECKER

<p>ISSUE DATE 07-05-13</p> <p>DRAWN BY TRAF-SMAN</p> <p>CHECKED BY ACF-APD</p> <p>PLAN NAME</p> <p>AUSSA PLAN NUMBER 3735 L3</p> <p>FIRE RATED SOFFIT/ROOF "A-3"</p> <p>SHEET 0-2</p>	<p>BUILDER</p> 	<p>DESCRIPTION:</p> <p>40' BROOKSTONE II COLLECTION</p>
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DOOR SCHEDULE	
STANDARD HOME	VISIBILITY HOME
Ⓐ 2068	2868
Ⓑ 2868	2868
Ⓒ 2868	3068

\* INTERIOR DOORWAY ON THE FIRST FLOOR OF AT LEAST ONE ROOM SHALL BE 36" MINIMUM CLEAR OPENING OF 20" MINIMUM NET CLEAR OPENING OF 20" MINIMUM. SEE VISIBILITY SHEET FOR OPPOSITE DOOR SWING. SEE COVER SHEET FOR LIST OF VISIBILITY ORDINANCE STANDARDS.

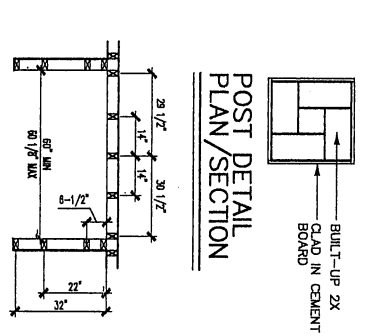
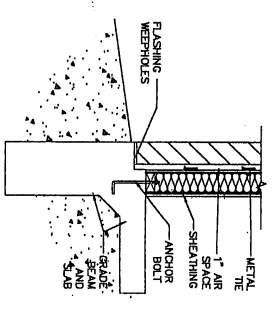
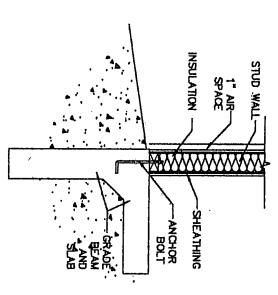
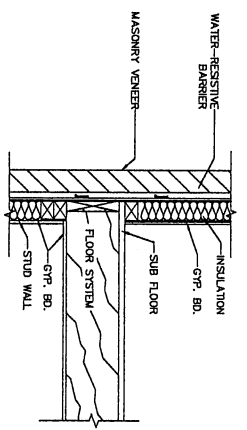
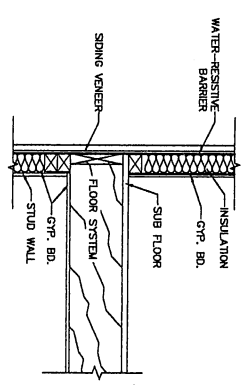
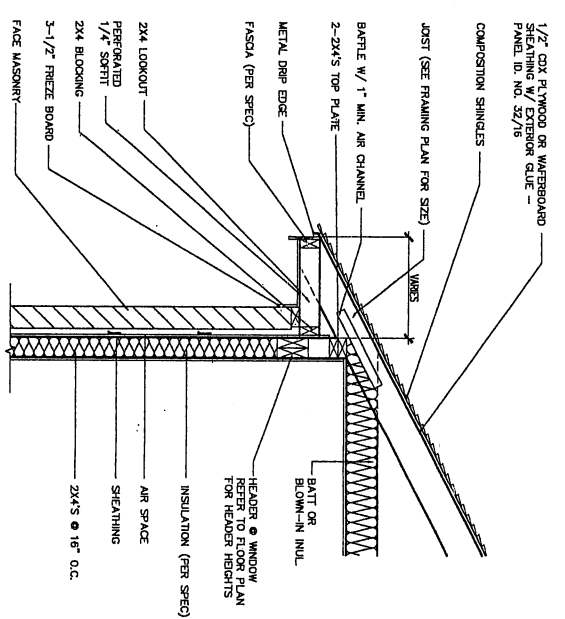
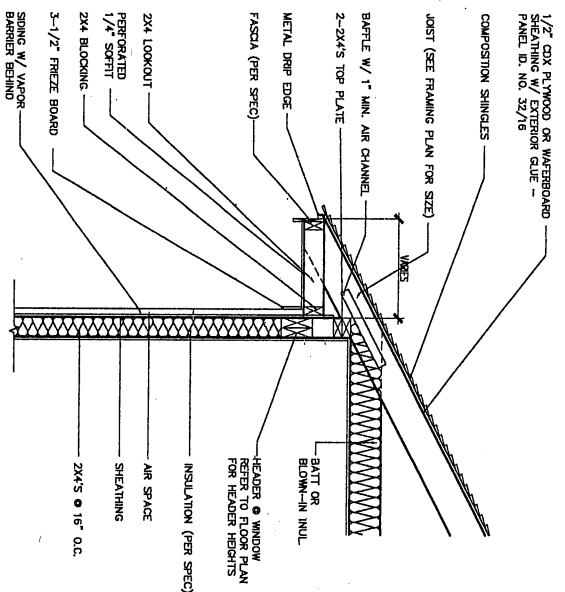


REVISIONS	
01/27/14	ACF - AB3
05/27/15	M. ROOM - 1
07/01/15	M. S - 311
07/01/15	M. S - 303
07/01/15	M. S - 311
07/01/15	M. S - 311

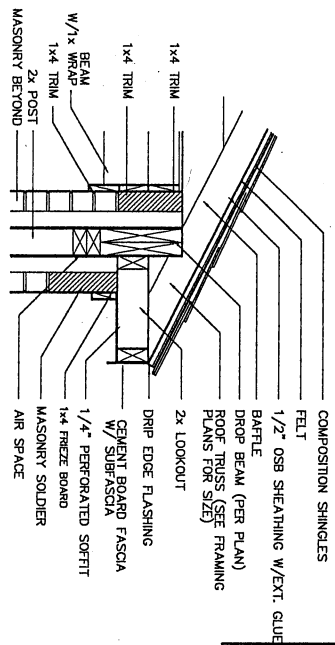
TRIM/ FINISH-OUT 1 SHEET 1-2	AUSSA PLAN NUMBER 3735 L3	DRAFTSMAN ACF-AFD PLAN NAME	ISSUE DATE 07-05-15	BUILDER: <b>LENNAR</b>	DESCRIPTION: 40' BROOKSTONE II COLLECTION
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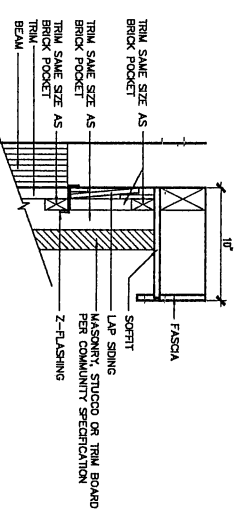




SECONDARY BATH DETAIL



COVERED PORCH BEAM DETAIL  
W/MASONRY COLUMN



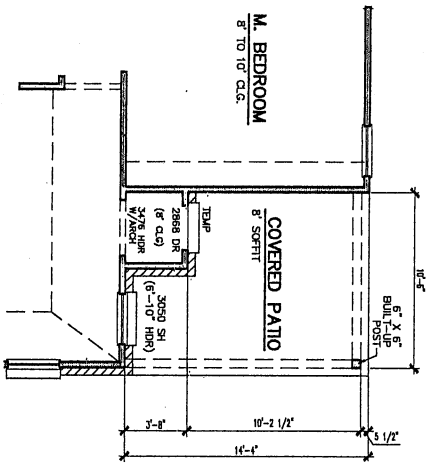
SHED ROOF PORCH/PATIO WALL  
TERMINATION AT RAKE DETAIL

SUPPLIED TO:

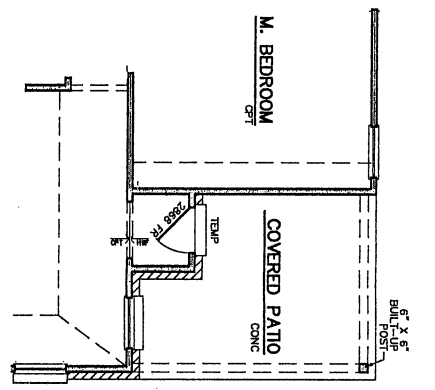
1.) FRAMER	4.) TRIM LABOR	7.) CABINET LABOR
2.) SHEETROCKER	5.) CARPET LABOR	8.) PLUMBER
3.) STAIR LABOR	6.) C-TILE LABOR	

NO.	DATE	REVISIONS

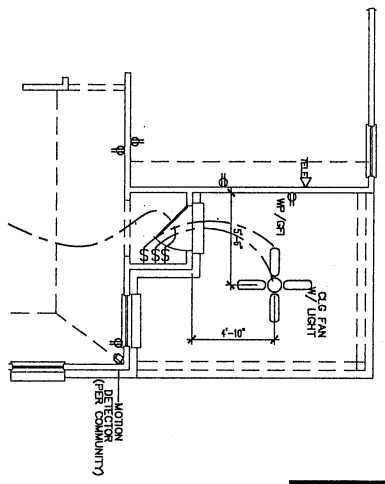
BUILDER: 	DESCRIPTION: 40' BROOKSTONE II COLLECTION	ISSUE DATE: 07-05-13
		DRAFTSMAN: ACF-AFD
ALISSA PLAN NUMBER: 3735 L3		DETAILS: 2
SHEET 1-D-2		SCALE: N.T.S. RE: PLANS & ELEV'S FOR FRAMING & FITCH



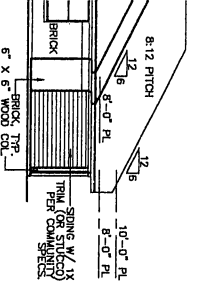
FLOOR PLAN  
SCALE: 1/8" = 1'-0"



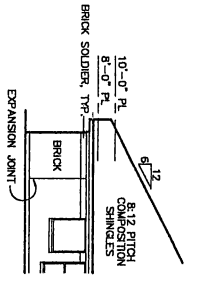
FLOOR PLAN  
SCALE: 1/8" = 1'-0"



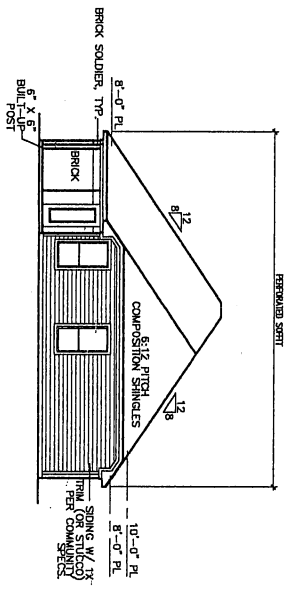
ELECTRICAL PLAN  
SCALE: 1/8" = 1'-0"



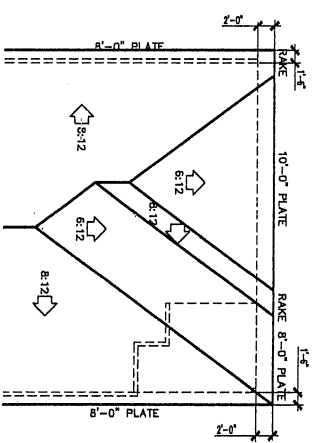
RIGHT SIDE ELEVATION  
SCALE: 1/16" = 1'-0"



LEFT SIDE ELEVATION  
SCALE: 1/16" = 1'-0"



REAR ELEVATION  
SCALE: 1/16" = 1'-0"



ROOF PLAN  
SCALE: 1/16" = 1'-0"

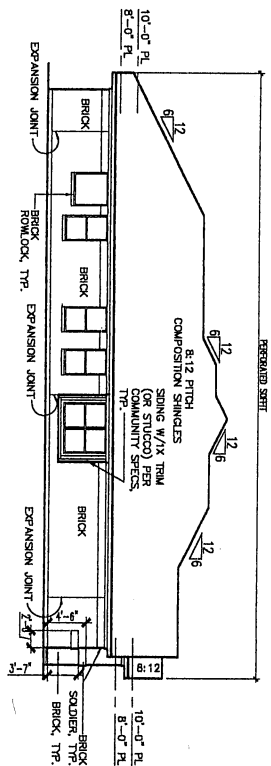
REVISIONS	
03/22/15	16-C-11
04/02/15	16-C-11
01/27/16	16-C-11
02/02/16	16-C-11
11/02/16	16-C-11

ADD THE FOLLOWING SQUARE FOOTAGES TO ALL ELEVATIONS WHEN OPTION IS SELECTED

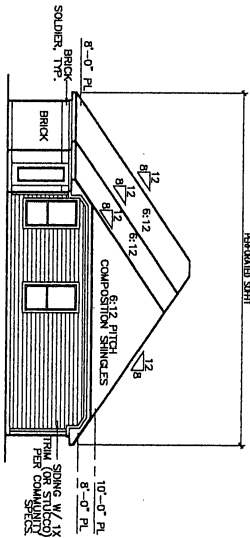
SQUARE FOOTAGES - OPTIONS	
FRAME	129
W/ M.A.S.	134
EXTENDED COVERED PATIO	

BUILDER:	<b>LENNAR</b>
DESCRIPTION:	40' BROOKSTONE II COLLECTION
ISSUE DATE:	07-05-13
DRAFTSMAN:	ACF-APD
PLAN NAME:	
M.A.S.A. PLAN NUMBER:	3735 L3
COVERED PATIO OPTION	
SHEET 1-5	

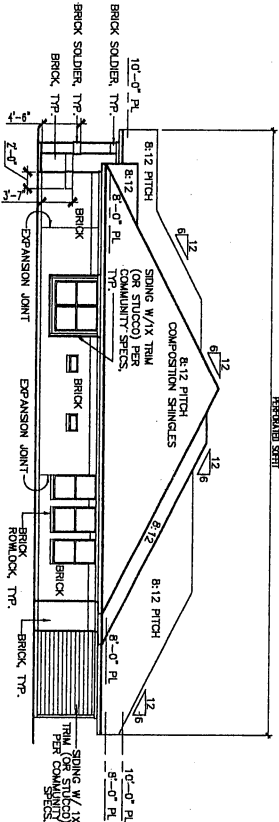




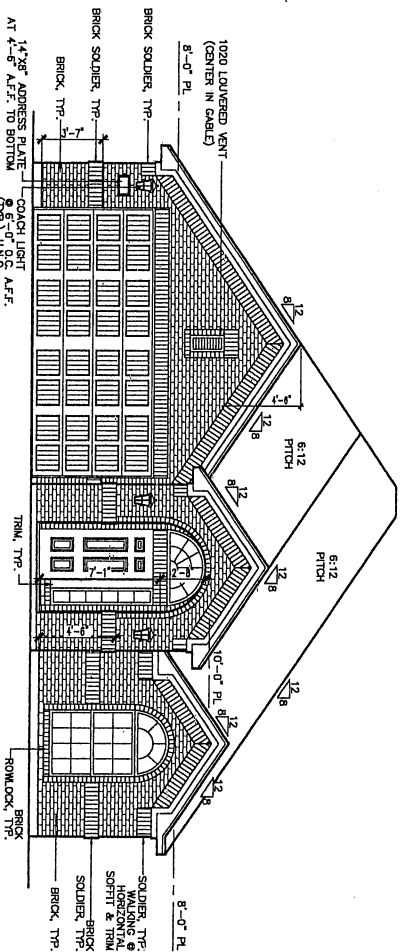
**LEFT SIDE ELEVATION**  
SCALE: 1/16" = 1'-0"



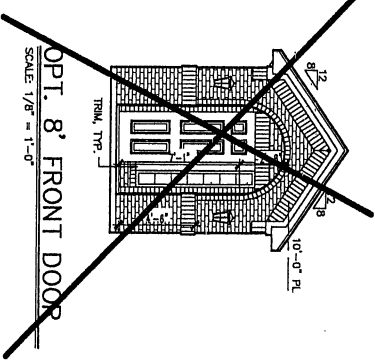
**REAR ELEVATION**  
SCALE: 1/16" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/16" = 1'-0"



**FRONT ELEVATION - A-3**  
SCALE: 1/8" = 1'-0"



**BRICK NOTES:**

- 1) WEEP-HOLES EVERY HEAD JOINT @ 1ST. COURSE
- 2) LEAVE JOINT EVERY FOURTH BRICK ON BOTTOM COURSE. FILL BRICK COMPLETE
- 3) WINDOW ROWLOCKS TO HAVE 1/2" SLOPE. MINIMUM NO CORE HOLES TO BE VISIBLE AT ROWLOCKS
- 4) NO CORE HOLES TO BE VISIBLE AT ROWLOCKS
- 5) BRICK JOINTS TO BE LOCATED FROM TOP PLATE DOWN (REF. FRONT ELEVATION FOR SPECIFICS)
- 6) BRICK BAND PROJECTION:
  - SINGLE ROWLOCK / SINGLE SOLDIER - DOUBLE ROWLOCK & ROWLOCK/SOLDIER - 7/8" & 3/8" PROJECTION RESPECTIVELY.
  - TRIPLE ROWLOCK - 7/8", 3/8", & FLUSH PROJECTION RESPECTIVELY.

**CORNICE NOTE:**  
NAIL WINDOWS AT FRONT ENTRY DIRECTLY TO 2x FRAMING - ALL OTHER WINDOWS IN BRICK TO BE FORCED-OUT W/ 1x2S

**SIDING NOTE:**  
SEE ELEV. FOR SIDING DESCRIPTION

**ELECTRICAL NOTE:**  
EXTERIOR COLUMN & PORCH LIGHTS TO BE MOUNTED PER ELEV.

**CHIMNEY CHASE NOTES:**

- 1) FRAMING TO BE 2x-1/2" X 2x-1/2"
- 2) FROM OUTSIDE TO OUTSIDE
- 3) HEIGHT OF CHIMNEY TO BE 2'-0" HIGHER THAN ANY POINT WITHIN 1'
- 4) FRAMER RESPONSIBLE FOR PLACING CHIMNEY SO THAT CHIMNEY IS CENTERED ON FACE OF BRICK. CHIMNEY TO BE 1/2" BACK FROM FACE OF BRICK.

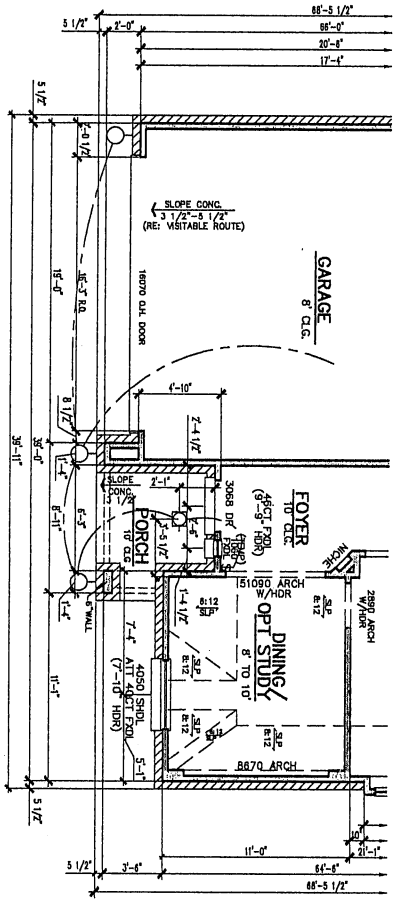
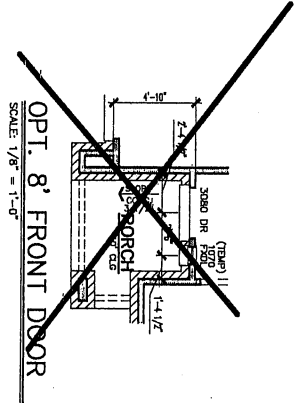
REVISIONS	
04/12/15	REV. SHEET 1
04/14/15	REV. SHEET 1
09/27/16	REV. SHEET 1
11/09/16	REV. SHEET 1

**BRICK CALCULATIONS-A**

BRICK/STONE	946.0	SQ. FT.
STUCCO	0	SQ. FT.
TRIM	338	SQ. FT.
TOTAL	1284	SQ. FT.

\* OF WASTAGE: 7% X


<p>ISSUE DATE: 07-05-13</p> <p>DESIGNER: DEATSMAN</p> <p>ACF-ARD</p> <p>PLAN NAME: AUSA PLAN NUMBER 3735 L3</p> <p>ELEVATION: A-3</p> <p>SHEET 3d</p>	<p>BUILDER:</p> <p><b>LENNAR</b></p>	<p>DESCRIPTION:</p> <p>40' BROOKSTONE II COLLECTION</p>
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PARTIAL PLAN  
SCALE: 1/8" = 1'-0"

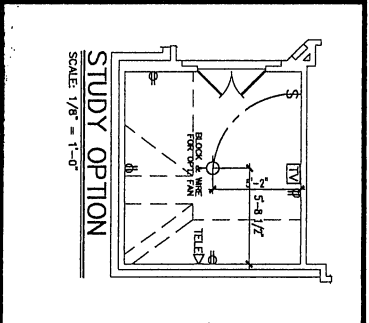
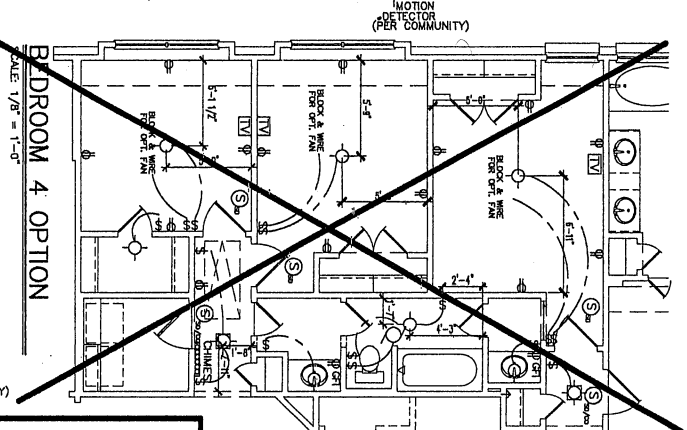
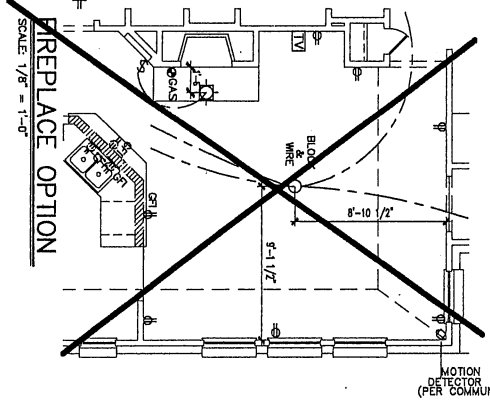
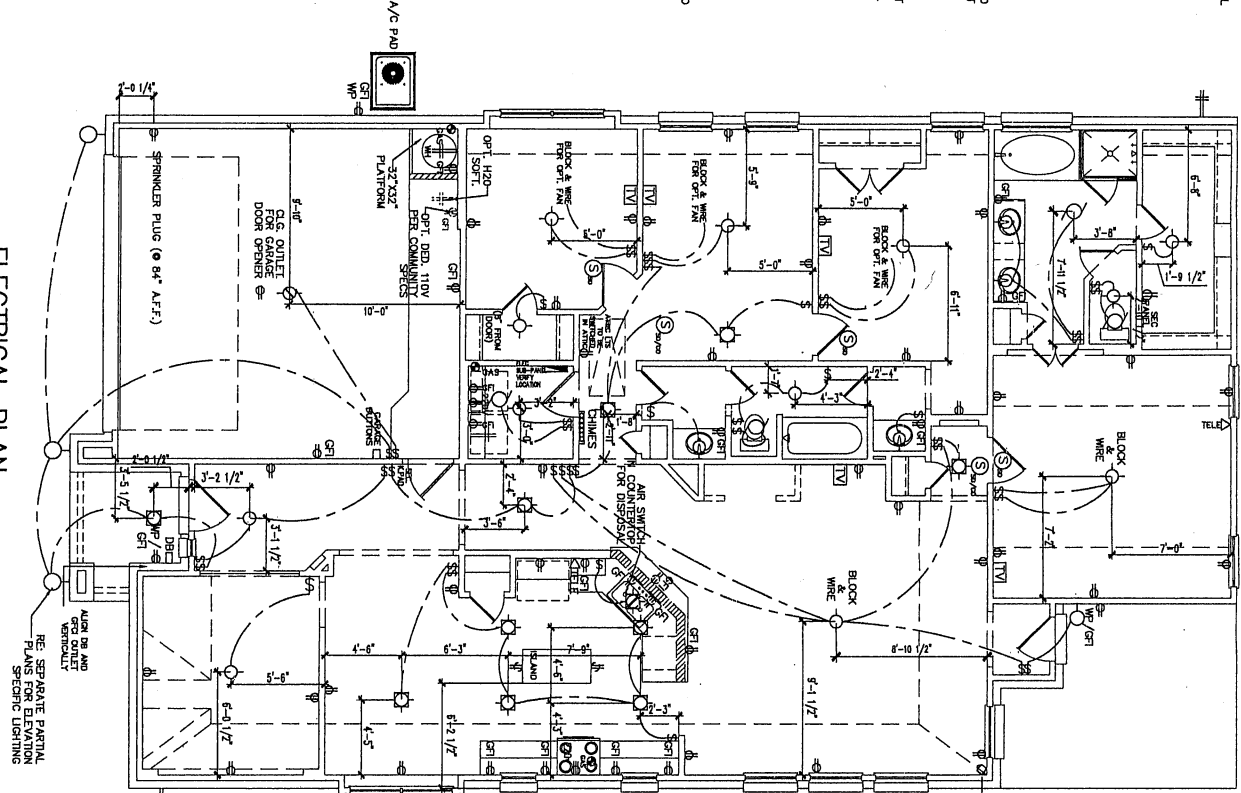
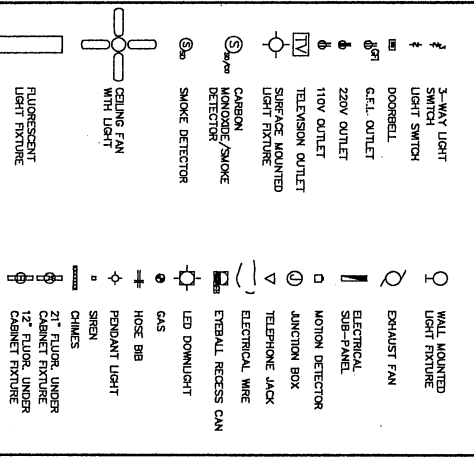
REVISIONS	
05/22/15	1.0
06/04/15	1.1
06/27/16	1.2
02/02/16	1.3
11/09/16	1.4

SQUARE FOOTAGES	
FRAME	W/ MAS.
First Floor	2046
Total Living Area	1985
Garage	408
Porch	48
Patio	0
Total Under Roof	2441

ISSUED DATE 07-05-13 DRAFTER DRAFTER ARCH-AMD ARCH-AMD PLAN NAME AUSA PLAN NUMBER 3735 L3 ELEVATION FOOTPRINT A-3 SHEET 40	BUILDER: 	DESCRIPTION: 40' BROOKSTONE II COLLECTION
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- GENERAL ELECTRICAL NOTES:
1. BREAKER BOX TO BE LOCATED PER PLAN.
  2. ALL ELECTRICAL WORK PER IBC CODES AND WHERE LOCATED ON PLAN. ALL SMOKE DETECTORS SHALL BE IN THE COMMON AREAS 30' FROM ANY R.A.G. INCLUDING ADJACENT ROOMS. DETECTORS SHALL BE INTERCONNECTED AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE WILL ACTIVATE ALL.
  3. COACH LIGHTS MOUNT PER ELEV.
  4. SWITCHES TO BE 54" AFF. (TOP OF BOX).
  5. PRE-WIRE LOW VOLTAGE FOR OIL DOOR OPENER - LOW VOLTAGE AT 8" AFF.
  6. DOORBELL WIRING PER PLAN. DOORBELL WIRING TO BE AT 42" AFF.
  7. DOORBELL CHIMES AND SECURITY SIREN BOX PER PLAN. SIREN C.G. TO BE AT 42" AFF.
  8. BOTTOM OF BOX HOODS TO BE LOCATED AT 84" AFF. TO BOTTOM OF BOX. (IF OVER COOKTOP), MICROWAVE AND REFRIGERATOR OUTLETS TO BE DETACHED AT 20 AMP.
  9. BATH VANITY LIGHT FIXTURE BLOCKING TO BE AT 86" AFF. (TO BOTTOM OF BLOCKS). LIGHT FIXTURE TO BE AT 86" AFF. (TO BOTTOM OF BOX).
  10. INSTALL GFCI PLUGS AT ALL SINK VANITIES. SINK VANITY TO BE AT 8" FROM BACK WALL. BATH VANITY PLUGS TO BE AT 42" AFF. TO BOTTOM OF BOX.
  11. INSTALL GFCI PLUGS AT ALL SINK VANITIES AND AT KITCHEN COUNTERTOPS.
  12. KITCHEN COUNTERTOP PLUGS AND SWITCHES TO BE HORIZONTAL AT 36" AFF. (TO 36" AFF. TO BOTTOM OF BOX).
  13. SECURITY KEYPADS TO BE LOCATED ABOVE SWITCHES PER PLAN. SECURITY KEYPAD TO BE AT 57" AFF. TOP OF BOX. STRUCTURED WIRING PANEL AT 57" AFF. TOP OF BOX.
  14. TELEPHONE, T.V., AND PLUG BELOW KNEE SPACE AT PLANNING CENTER TO BE AT 13" AFF. TO BOTTOM OF BOX.
  15. PLANNING CENTER FOR OUTLET ABOVE COUNTER TO BE 36" AFF. TO BOTTOM OF BOX.
  16. WALK IN CLOSET LIGHT TO BE 18" FROM SHELF.
  17. NO WIRES TO BE RUN OVER ATTIC CAT WALKS.
  18. LIGHT IN ATTIC AT HVAC WORK PLATFORM AND W/H/ PLATFORM (PER IBC CODES) TO BE SWITCHED IN ATTIC, ACCESSIBLE FROM ATTIC LADDER. IF LOCATION NOT SHOWN, PROVIDE 2 LIGHTS, 1 AT UNIT AND ACCESS OPENING (ON 1 SWITCH).
  19. NOT USED.
  20. 110V SERVICE OUTLET IN ATTIC AT HVAC AND W/H PLATFORM.
  21. BLOCK AND WIRE PER PLAN.
  22. 110V OUTLETS AT ISLAND TO BE 26" AFF. TO BOTTOM OF BOX. PLUG TO BE HORIZONTAL.
  23. HORIZONTAL SERVICE TO SUPPLY AND INSTALL ALL EXHAUST FANS. ELECTRICAL TO OVER DRIVER & T.O.U.T.
  24. HERMOSITAT TO BE LOCATED 60" AFF. TO CENTER OF BOX. LOCATIONS PER ELECTRICAL CONTRACTOR.
  25. GFCI FANS ARE SUPPLIED BY LIGHTING CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
  26. SEE SPECS FOR WATER SOFTENER OUTLET REQ.
  27. PLUS FOR SPRINKLER SYSTEM AT 94" AFF. IN GARAGE.
  28. DOWNSTREAM SHOULD BE LOCATED NEXT TO, AND AT THE SAME HEIGHT AS THE DISCONNECT.
  29. INSTALL DOWN VENT BOX 1'-4" CENTERED, FROM SIDE WALL FACE OF STUD IN GARAGE. DOWN VENT TO SIT ON BOTTOM FLATE.
  30. DOORBELL TRANSFORMER TO BE LOCATED IN ATTIC NEAR TOP OF LIGHT SWITCH.
  31. SECURITY MOTION DETECTOR PER PLAN TO BE MOUNTED AT 7'-6" AFF.
  32. SECURITY MOTION DETECTOR PER PLAN TO BE MOUNTED AT 7'-6" AFF.
  33. REFERENCE PARTIAL FLOOR PLANS FOR ADDITIONAL LIGHTS AT EXTENDED FRONT PORCH PER ELEVATION.

ELECTRICAL SYMBOL LEGEND



REVISIONS	
09/18/13	MS - MS
09/22/13	MS - MS
09/23/13	MS - MS
09/23/13	MS - MS
09/23/13	MS - MS
09/23/13	MS - MS
11/06/13	MS - MS

BUILDER 	DESCRIPTION: 40' BROOKSTONE II COLLECTION	ISSUE DATE: 07-03-13
		DRAFTSMAN: ACJ-AFD
PLAN NAME: ELECTRICAL		ALISSA PLAN NUMBER: 3735 L3
SHEET 6-1		

**HVAC NOTES:**

- ALL SUPPLIES, RETURNS, T-SHATS, UNITS, ETC. MUST BE LOCATED PER PLAN. NOTIFY THE CONSTRUCTION MANAGER OF ANY PROBLEMS OR DISCREPANCIES.
  - DO NOT BREAKOUT FIREBLOCKING IN CHASES. IT MUST BE CUT TO PROPER SIZE.
  - DO NOT CUT STRONG BACKS FOR THE PURPOSE OF CENTERING DUCTS.
  - DUCTS MUST NOT BE CRIMPED OR PINCHED—OFF AT CHASES, ROOMLINES, ETC.
  - SWEEP—OUT HOME AND CLOSE ALL WINDOWS AT THE END OF EACH DAY.
- THE FOLLOWING ARE GENERAL PLACEMENT GUIDELINES. CERTAIN PLANS MAY VARY IN PLACEMENT LOCATIONS FROM THESE BASIC GUIDELINES.

**SUPPLY OUTLETS**

- 1) DINING ROOM ---- 1-SUPPLY, OPPOSITE THE WINDOW
- 2) LIVING ROOM ---- 1 OR 2-SUPPLIES, OPPOSITE THE WINDOW W/ LESS THAN 12" CEILING NEXT TO WINDOW W/ 12" OR GREATER CEILING
- 3) FAMILY ROOM ---- 2 OR 3-SUPPLIES, OPPOSITE THE WINDOW W/ LESS THAN 12" CEILING NEXT TO WINDOW W/ 12" OR GREATER CEILING
- 4) MASTER BEDROOM ---- 2 OR 3-SUPPLIES, OPPOSITE THE WINDOW (IN SECOND LEVEL OF HERED CEILING)
- 5) MASTER BATH ---- 1-SUPPLY, CENTERED 1' FROM ENTRANCE DOOR
- 6) MASTER CLOSET ---- 1-SUPPLY, CENTERED 1' FROM ENTRANCE DOOR
- 7) MASTER CLOSMODE (ONLY IF ON EXTERIOR WALL) ---- 1-SUPPLY, OPPOSITE EXT. WALL
- 8) KITCHEN & NOOK ---- 2 OR 3-SUPPLIES, 2' MIN. AWAY FROM LIGHTS & SYMMETRICAL
- 9) UTILITY ---- 1-SUPPLY, 8" OFF INTERIOR DOOR
- 10) SECONDARY BEDROOMS ---- 1-SUPPLY, OPPOSITE THE WINDOW (2' MIN. AWAY FROM PLAN/DOOR)
- 11) SECONDARY CLOSETS ---- 1-SUPPLY, IF LOCATED ON AN EXTERIOR WALL WITH A WINDOW
- 12) SECONDARY BATH ---- 1-SUPPLY, CENTERED ON EDGE OF TUB, BLOWING AWAY FROM TUB
- 13) POWDER BATH ---- 1-SUPPLY, CENTERED 2' FROM DOOR
- 14) GAMEROOM ---- 2-SUPPLIES (PER PLAN)

**RETURN OUTLETS**

- 1) 2 RETURNS PER ZONE
- 2) CEILING RETURNS LOCATED 8" OFF CORNER OF ROOM
- 3) LOW WALL RETURNS IN 246 WALL OR CHASES
- 4) NOT VISIBLE FROM ENTRY

**EXHAUST FANS**

- 1) CENTERED OVER CLOSMODE OR DRIVER
- 2) 16" MIN. OFF WALL

**THERMOSTATS**

- 1) NEAR RETURN
- 2) PER PLAN
- 3) CORRECT HEIGHT

**CONDENSER LOCATION**

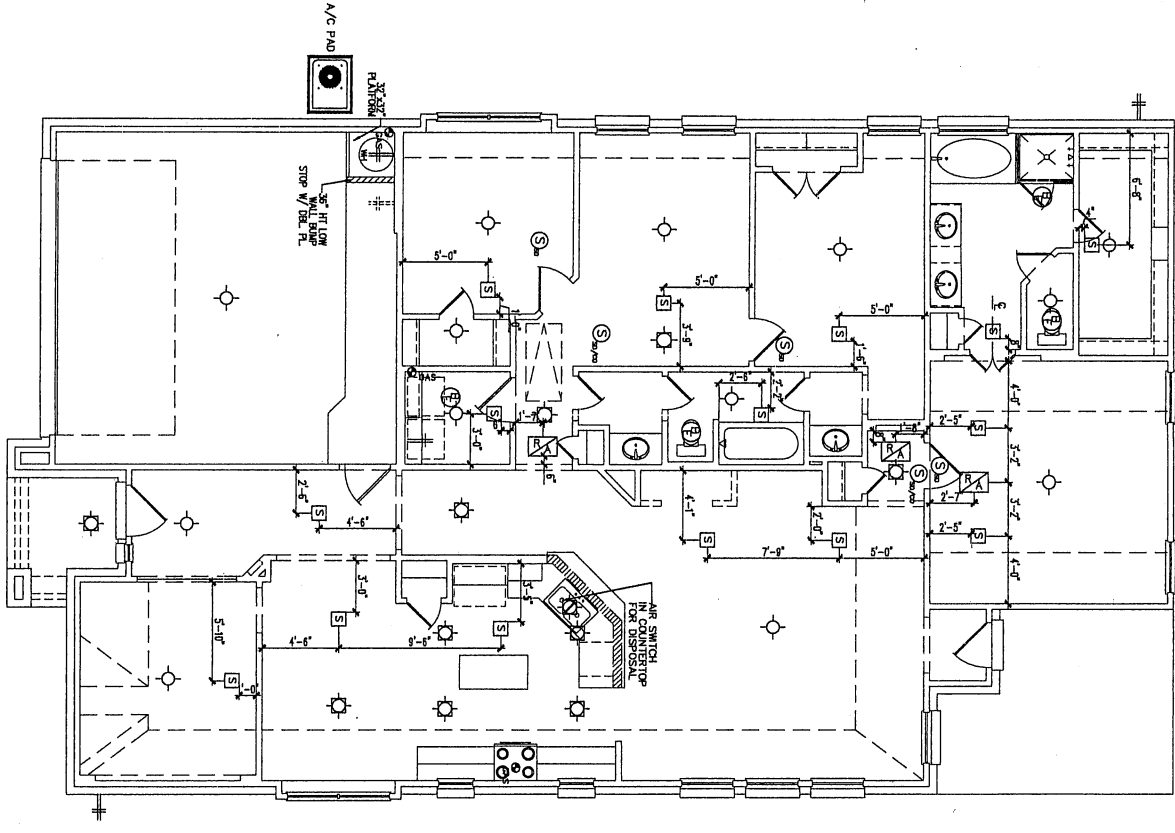
- 1) LOCATED PER PLAN ---- NO EXCEPTIONS

**FURNACE LOCATION**

- 1) LOCATED PER PLAN ---- NO EXCEPTIONS
- 2) DO NOT PLACE OVER PLATFORM. PLATFORM MUST BE IN FRONT W/ 30" MIN. EXPOSURE
- 3) CATAWALK TO BE HIGHLIGHTED WITH ORANGE FLUORESCENT PAINT ON ALL EDGES AT TIME OF ROUGH-IN

**H.V.A.C. SYMBOL LEGEND**

	RETURN AIR
	THERMOSTAT
	EXHAUST FAN
	SUPPLY AIR REGISTER
	GAS
	HOSE BIB



**HVAC PLAN**  
SCALE: 1/8" = 1'-0"

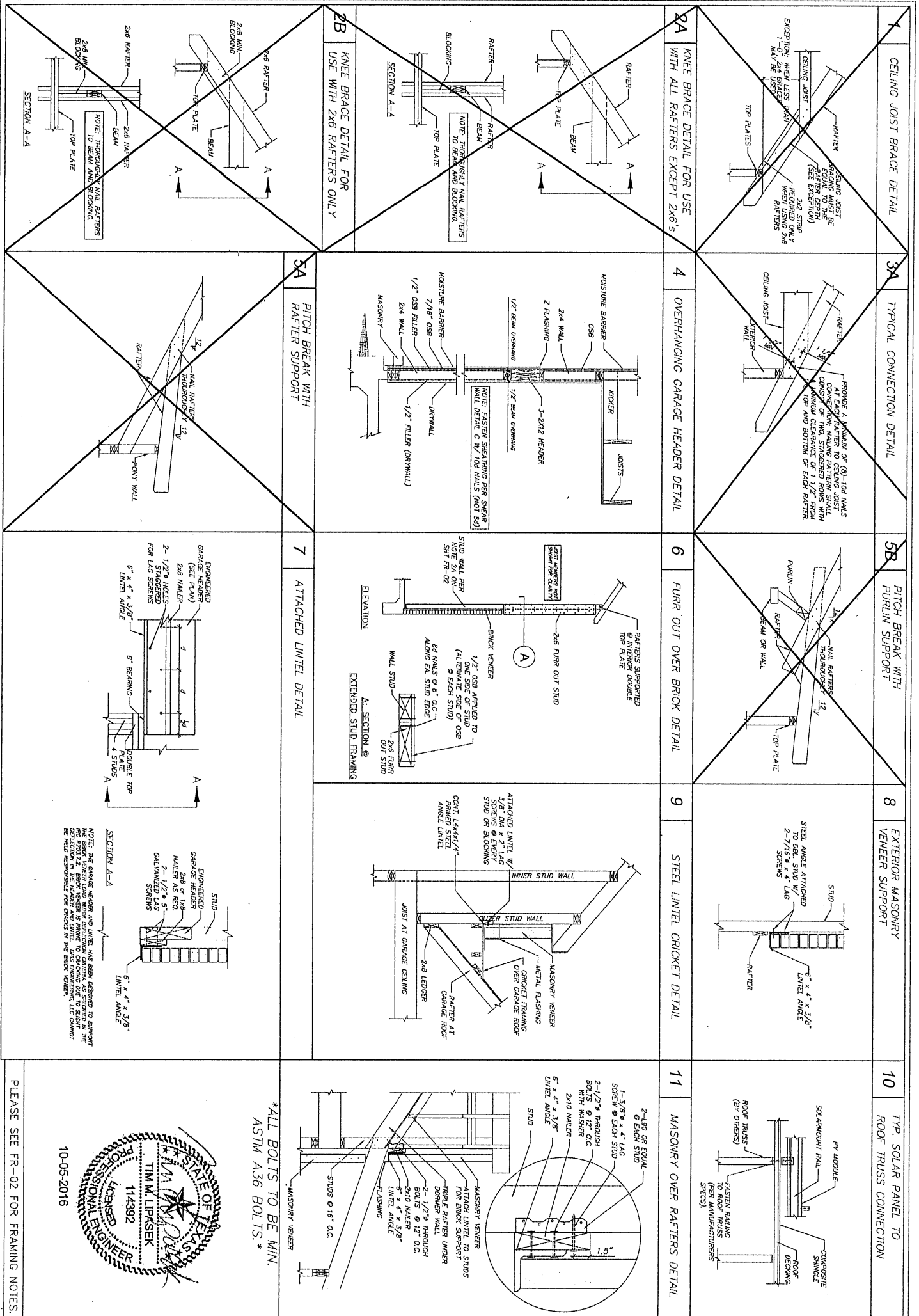
REVISIONS	
09/27/14	ACF - RB
09/27/15	ME - BT
09/27/15	ME - BT
09/27/15	ME - BT
11/09/16	ME - BT

	BUILDER:	DESCRIPTION:
	<b>LENNAR</b>	40' BROOKSTONE II COLLECTION
ISSUE DATE 07-05-13	DRAFTSMAN ACF-AFD	PLAN NAME A155A PLAN NUMBER 3735 L3
HVAC 1 SHEET 7-1		









DATE	DESCRIPTION	BY
03/18/2011	REVISED DETAIL #8 ELIMINATING TRIPLE RAFTER	JRB
08/02/2011	REVISED DETAIL #11 FOR AUSTIN PLANS	TML
08/22/2011	REVISED TO ADD OVERHANGING GARAGE HEADER DETAIL (3-2x12)	TML
01/25/2012	REVISED DETAIL #6	TML

PROJECT TITLE: **FRAMING DETAILS & ROOF TRUSS**  
 SAN ANTONIO MARKET  
 Teravista  
 1109 Fountain Grass Way  
 LENNAR FAMILY OF BUILDERS

DRAWING NO: **FR-01**  
 DATE: 03/18/2011  
 DESIGNED BY: AR  
 CHECKED BY: MB  
 DRAWN BY: JRB

PRINT DATE: 3/16/2017  
 SHEET: 32  
 OF: 4

DPE ENGINEERING, L.L.C.  
 1100 EAST UNIVERSITY ROAD  
 FORT WORTH, TEXAS 76104  
 TEL: 817.333.1948  
 FAX: 817.333.1948

LICENSED PROFESSIONAL ENGINEER  
 STATE OF TEXAS  
 TIM M. LIPASEK  
 114392

10-05-2016

PLEASE SEE FR-02 FOR FRAMING NOTES.

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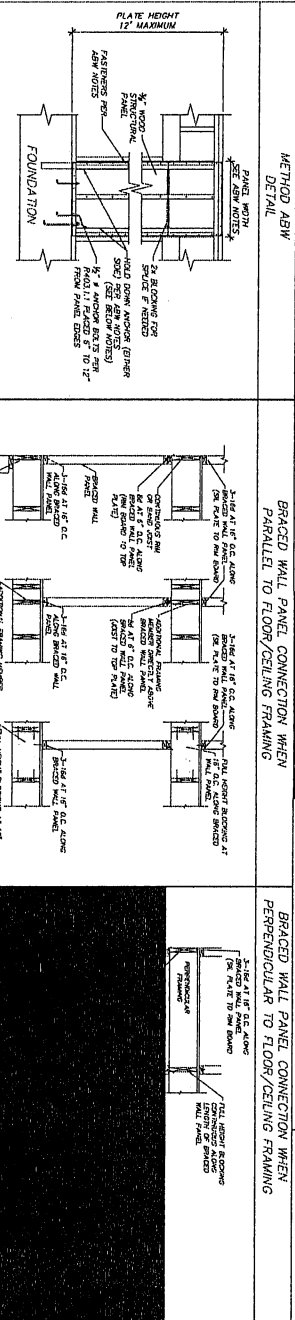
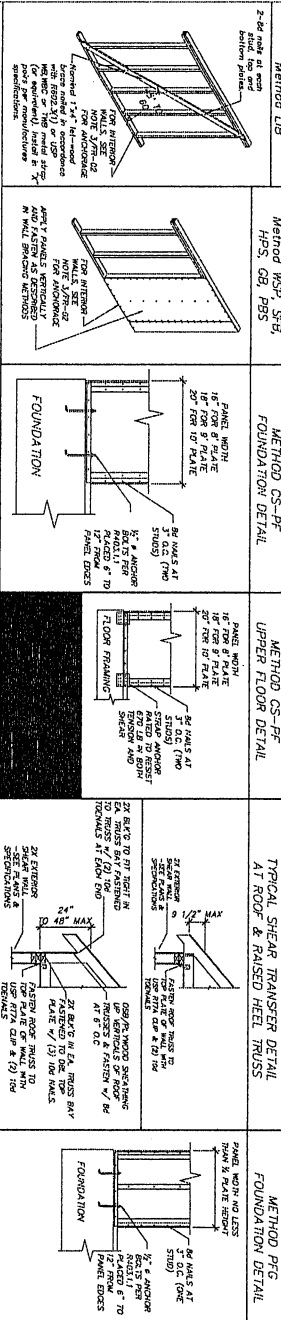
# WALL BRACING

THE FOLLOWING WALL BRACING REQUIREMENTS APPLY TO ALL RESIDENTIAL CONSTRUCTION IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) IN AREAS WHERE THE BASIC WIND SPEED IS LESS THAN OR EQUAL TO 115 MPH ULTIMATE 3-SEC GUST CAT. 2 & SEISMIC CAT. A/B (EQUIV. TO 2012 IRC 90 MPH 3-SEC GUST). THE BUILDER SHALL DETERMINE THE BASIC WIND SPEED FOR THE CONSTRUCTION PROJECT LOCATION FROM THE APPROPRIATE JURISDICTION. THE FOLLOWING WALL BRACING METHODS ARE NOT INTENDED TO COMPLY WITH THE TEXAS DEPARTMENT OF INSURANCE WINDSTORM REQUIREMENTS.

## WALL BRACING METHODS

UNLESS OTHERWISE NOTED, THE SHEARWALL SECTIONS SHOWN ON THE PLAN SHALL BE CONSTRUCTED WITH ONE OF THE FOLLOWING METHODS. ALL STUDS SHALL BE SPACED A MAX. OF 16" FOR ALL BRACING METHODS LISTED HEREIN. LWB (LET-IN-BRACING), METHOD WSP (WOOD STRUCTURAL PANELS), METHOD SFB (STRUCTURAL FIBERBOARD SHEATHING), METHOD PBS (PARTICLE BOARD SHEATHING) OR METHOD HPS (HARDBOARD PANEL SILING). EACH METHOD IS DESCRIBED FURTHER BELOW. IF METHOD OSB IS CALLED OUT REFERENCE METHOD WSP IN CHART BELOW.

METHOD	MATERIAL	MINIMUM THICKNESS	FASTENING
LWB	LET IN BRACING	NOMINAL 1x4 WOOD OR APPROVED METAL STRAPS	FOR WOOD 2-5d (2x) LONG 0.131" DIAMETER NAILS PER STUD FOR METAL STRAPS, USP WB OR THB (OR EQUIVALENT) INSTALLED IN "X" PATTERN PER MANUFACTURERS SPECS.
CS-WSP & HPS	WOOD STRUCTURAL PANELS (OSB)	3/4"	8d (2x) LONG 0.131" DIAMETER NAILS AT 6" ON CENTER AROUND THE EDGES AND AT 12" O.C. AT INTERMEDIATE STUDS. ONE SHEAR WALL SHEATHING SURFACE INCLUDING AREAS ABOVE AND BELOW OPENINGS SHALL BE SHEATHED. RED OR EXCEPT IN PORTAL FRAME APPLICATIONS & SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
GB	GYP-SUM BOARD	5/8"	5d COOLER NAIL (7/8" LONG 0.086" DIAMETER 1/4" HEAD) OR GYP-SUM BOARD NAIL (7/8" LONG 0.0915" DIAMETER 3/4" HEAD) SPACED AT 7" O.C. MAX AROUND THE PERIMETER AND AT 12" O.C. AT INTERMEDIATE STUDS
ABW	SEE DETAIL BELOW	1/2" WOOD STRUCTURAL PANEL	PER DETAIL BELOW
PFH	SEE DETAIL RIGHT	3/8" WOOD STRUCTURAL PANEL	PER DETAIL RIGHT
PTG	SEE DETAIL BELOW	3/8" WOOD STRUCTURAL PANEL	SEE PFH DETAIL FOR FASTENING WITH THE FOLLOWING EXCEPTIONS. FASTENERS SHALL ONLY BE INSTALLED IN THE GUTTER STUD OF EACH SIDE OF THE NARROW WIDTH PANEL. SEE METHOD PTG DETAIL BELOW FOR FOUNDATION ATTACHMENT DETAILS FOR ANCHORAGE.
CS-PF	SEE DETAIL BELOW	3/4" WOOD STRUCTURAL PANEL	SEE PFH DETAIL FOR FASTENING WITH THE FOLLOWING EXCEPTIONS. SEE METHOD CS-PF FOUNDATION AND UPPER FLOOR

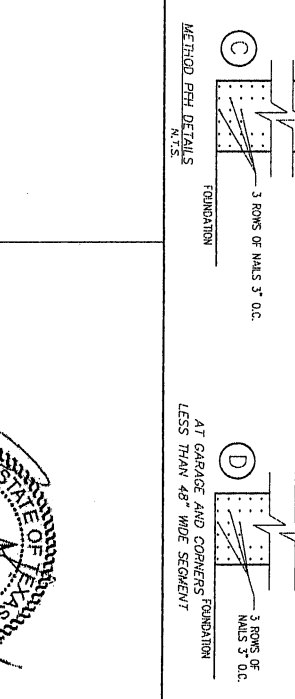
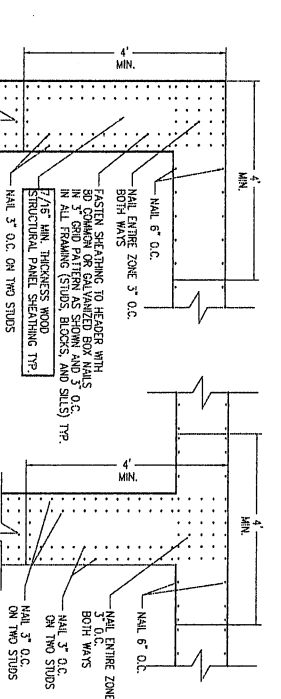
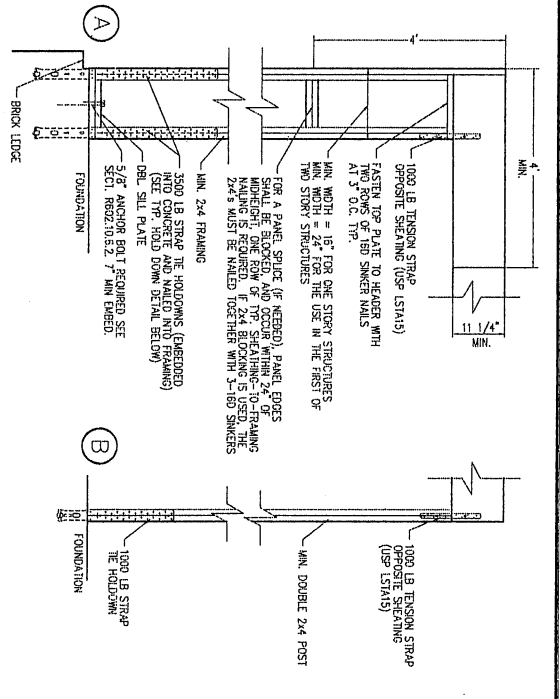


**METHOD ABW NOTES**

FASTEN WOOD STRUCTURAL PANELS WITH 8d COMMON OR 8d GALVANIZED BOX NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUDS FOR SINGLE STORY OR 4" O.C. AT PANEL EDGES AND 8" AT INTERMEDIATE STUDS FOR THE FIRST OF TWO STORES

PANEL WIDTHS AND HOLD DOWN FORCES SHALL BE AS DESCRIBED IN THE TABLE BELOW. HOLD DOWNS MAY BE CAST IN PLACE OR ANCHOR BOLT TYPE (BOTH SHOWN IN DETAIL ABOVE FOR CLARITY)

PLATE HEIGHT	8 FT.	9 FT.	10 FT.	11 FT.	12 FT.
MINIMUM PANEL WIDTH	2'-4"	2'-8"	2'-10"	3'-2"	3'-6"
HOLD DOWN FORCE ONE STORY	1800 LB	1800 LB	1800 LB	2000 LB	2200 LB
HOLD DOWN FORCE 1ST FLOOR OR 2 STORY	3000 LB	3000 LB	3000 LB	3300 LB	3600 LB



**METHOD PBS DETAILS**

FASTEN SHEATHING TO STUDS WITH 8d COMMON OR GALVANIZED BOX NAILS IN 3" GRID PATTERN AS SHOWN AND 3" O.C. IN ALL FRAMING (STUDS, BLOCKS, AND SILLS) TYPE

7/16" MIN. THICKNESS WOOD STRUCTURAL PANEL SHEATHING TYPE

NAILED ENTIRE ZONE BOTH VANS

NAIL 6" O.C.

NAIL 3" O.C. ON TWO STUDS

3 ROWS OF NAILS 3" O.C.

FOUNDATION

**METHOD HPS DETAILS**

FASTEN SHEATHING TO STUDS WITH 8d COMMON OR GALVANIZED BOX NAILS IN 3" GRID PATTERN AS SHOWN AND 3" O.C. IN ALL FRAMING (STUDS, BLOCKS, AND SILLS) TYPE

7/16" MIN. THICKNESS WOOD STRUCTURAL PANEL SHEATHING TYPE

NAILED ENTIRE ZONE BOTH VANS

NAIL 6" O.C.

NAIL 3" O.C. ON TWO STUDS

3 ROWS OF NAILS 3" O.C.

FOUNDATION

AT GARAGE AND CORNERS FOUNDATION LESS THAN 48" WIDE SEGMENT

**WALL BRACING NOTES & DETAILS**  
115 ULTIMATE 3 SEC GUST (EQUIV. TO 2012 IRC 90 MPH 3 SEC GUST)  
AUSTIN & SAN ANTONIO MARKETS

PROJECT TITLE: Taravista  
1109 Fountain Grass Way  
LENNAR FAMILY OF BUILDERS

DATE: 10-05-2016

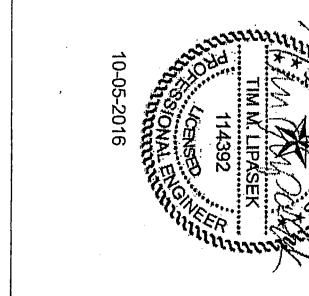
PROJECT NO: FR-03

Print Date 3/16/2017

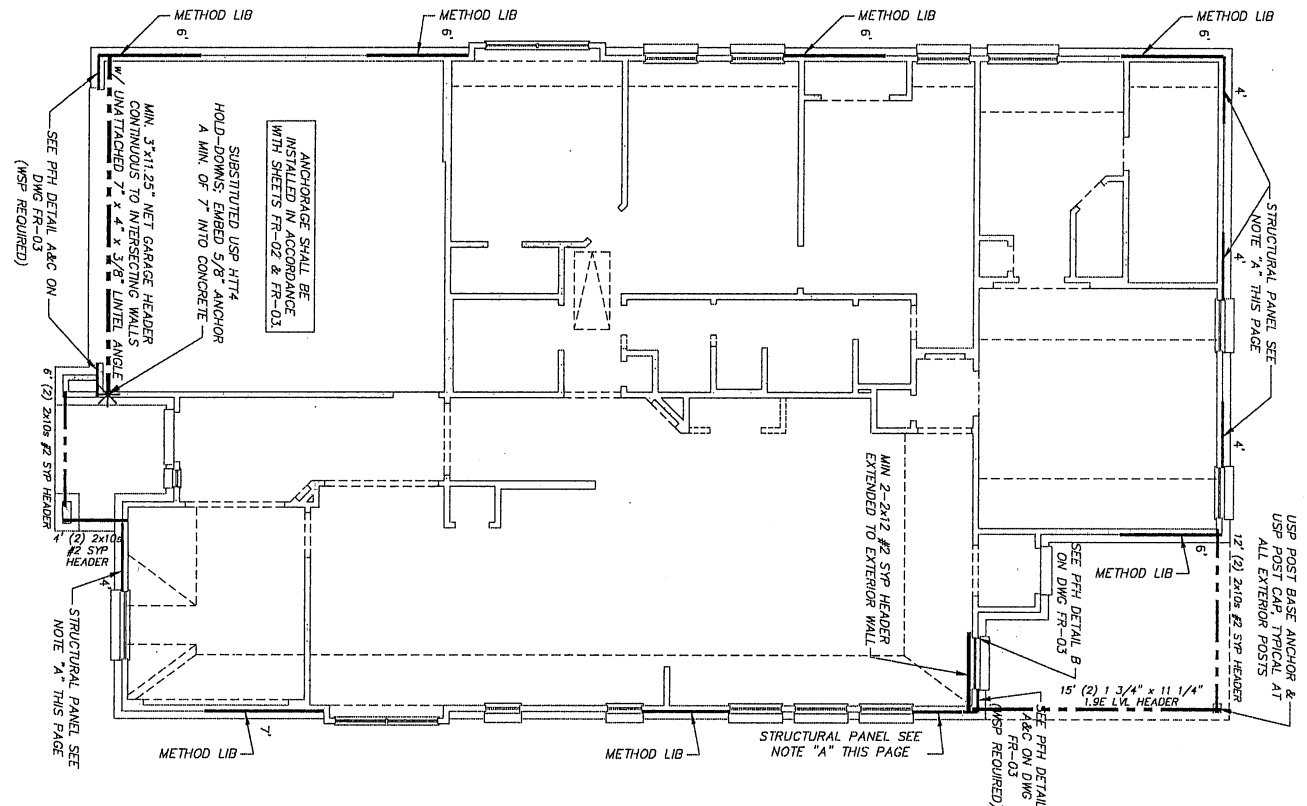
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DPIS ENGINEERING, LLC  
190 WEST HIGHTWAY ROAD  
TX REG. NO. 16584

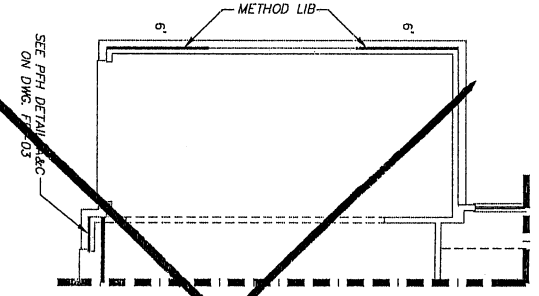
REVISIONS	DATE	DESCRIPTION	BY
02/13/09		REVISED SHEAR WALL DETAILS	MBOUS



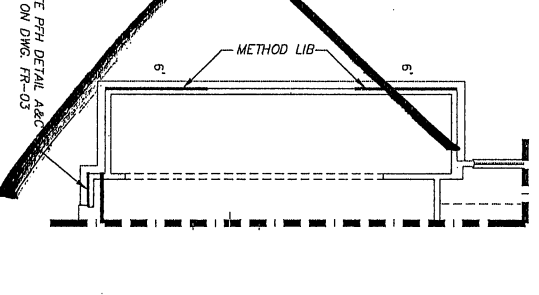
ELEVATION A  
SHEAR WALL PLAN



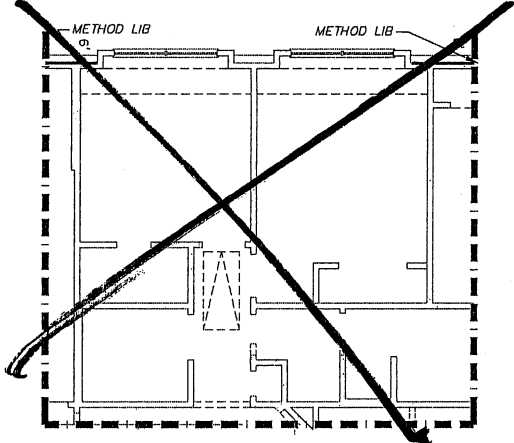
~~OPT. 3 CAR GARAGE~~



~~OPT. 5 GARAGE EXT.~~



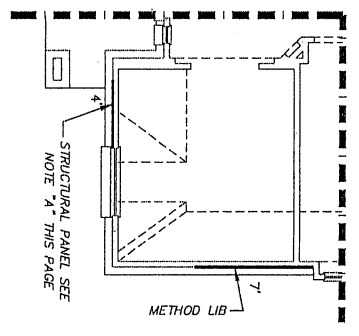
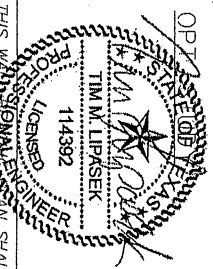
OPT. BEDROOM #4



NOTE: THIS WALL BRACING PLAN SHALL BE USED WITH TRUSS FRAMING ONLY.

- GENERAL NOTES:
1. SEE SHEETS FR-02, FR-03, FR-04, FR-05 & FR-06 FOR NOTES AND DETAILS.
  2. UNLESS OTHERWISE NOTED, METHOD WSP SHALL BE USED FOR WALL BRACING SEGMENTS INDICATED ON THE PLANS. REFER TO SHEET FR-03 FOR MATERIAL REQUIREMENTS AND ATTACHMENT. SET THE STRENGTH REQUIREMENTS INDICATED IN THE FRAMING NOTES. SEE SHEET FR-04 FOR STRAPPING REQUIREMENTS.
  3. STRUTS IN 110 MPH 3-SEC GUST WIND SPEEDS (EQUIVALENT TO 130 MPH 3-SEC GUST WIND SPEEDS) SHALL BE INSTALLED PER MANUFACTURER'S RED OR BLUE THERMO-PLY AND ZIP SYSTEM WALL BRACING PANELS INSTALLED PER MANUFACTURER'S RECOMMENDATION. ALL OTHER FRAMING PANELS SHALL BE APPROVED BY DPIS ENGINEERING.
  4. STUD WALLS AT SHEAR WALL SEGMENTS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. SEE SHEET FR-02 & SECTION 6002.3.1 OF THE IRC.
- NOTE A: WOOD STRUCTURAL PANEL OR STRUCTURAL FIBERBOARD SHEATHING INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND IN ACCORDANCE WITH EXISTING APPLICABLE CODES.

NOTE: THIS WALL BRACING PLAN SHALL BE USED WITH TRUSS FRAMING ONLY.  
03-04-2016



WB-1A

PROJECT TITLE:  
**PLAN NO. 3735 - AUS (TRUSS)  
ELEVATION A - LEFT SWING  
WALL BRACING DESIGN**

SUBDIVISION / ADDRESS:  
Teravista  
1109 Fountain Grass Way  
LENNAR FAMILY OF BUILDERS

DATE: 3/16/2017  
SHEET: 7 OF 7  
SECTION: 2 OF 4

DESIGNED BY: TML  
CHECKED BY: JRB  
DATE: 11/13/13

DPIS ENGINEERING, LLC  
TX REG. NO. 15584  
1000 WEST UNIVERSITY DRIVE  
DALLAS, TEXAS 75208  
PH: 214.343.8344

REVISIONS	DATE	DESCRIPTION	BY
	04/07/2014	UPDATED WITH NEW ARCHS - ADDED NEW NOTES	KML
	05/22/2014	UPDATED WITH ARCHS SENT	KML
	03/24/2015	UPDATED ARCHS-EL. E ROOF; NEW NOTES; WB TO 2012 60 MPH	KML/JCC
	07/21/2015	UPDATED WITH NEWEST ARCHS 7-1-15	KML
	02/29/2016	REV. BATH 2 DOORWAYS, UPDATED TRUSS/WB PLAN TO CURRENT IRC	KML/JAD

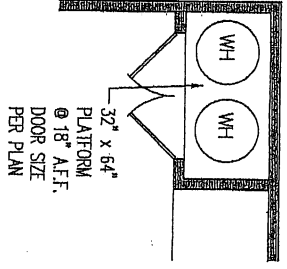
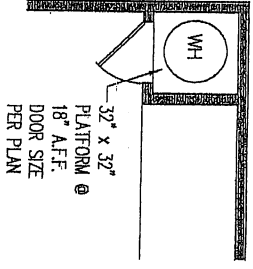
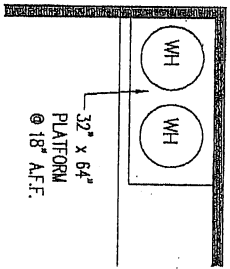
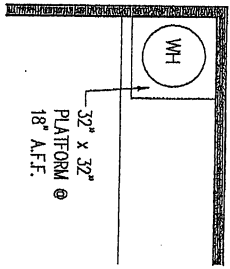








# 2015 NEW WATER HEATER(S) PLATFORM SIZE



SCALE 1/4" = 1'-0"

REVISIONS	

The M.I. Group Inc. assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of the M.I. Group Inc.

<p><b>THE M.I. GROUP</b>                  2400 W. KENNEDY BLVD.                  HOUSTON, TEXAS                  OFFICE: (713) 555-5700                  FAX: (713) 555-5750                  TX.A020400000</p>	<p>ISSUE DATE 10-14-14</p> <p>DRAWN BY RAB</p> <p>PLAN NAME</p> <p>AUSSA PLAN NUMBER</p>	<p>BUILDER</p>	<p>DESCRIPTION</p>
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