



# Inspection Report

**Chris Holbeck**

**Property Address:**

5135 Parker St  
Omaha NE 68104



**AmeriSpec Inspection Services**

**Jorge Islas-Hernandez  
2008 Winding Creek Circle  
Polk City, IA 50226**

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## AmeriSpec Inspection Services

<b>Date:</b> 5/8/2025	<b>Time:</b> 08:00:00 AM	<b>Report ID:</b> 42560
<b>Property:</b> 5135 Parker St Omaha NE 68104	<b>Customer:</b> Chris Holbeck	<b>Real Estate Professional:</b>

**DEFINITION OF TERMS**

Please take the time to analyze the following pages contained herein. This is your complete inspection report and must be reviewed carefully. Below is an index of the ratings used in this report.

**SERVICEABLE (S)** = The items inspected appeared to function normally at time of inspection.

**MARGINAL (M)** = Item is not fully functional and requires repair and/or servicing.

**NOT APPLICABLE (N/A)** = The item(s) do not apply to this property.

**NOT PRESENT (NP)** = The item was not present at the time of inspection.

**NOT INSPECTED (NI)** = The item was not inspected due to inaccessibility, personal items, temperature, weather conditions or the item is not within the scope of the inspection.

**NOT OPERATED (NO)** = The system or component was not operated due inaccessibility, temperature, weather conditions or the item is not within the scope of the inspection.

**REPAIR / REPLACE (RR)** = The item was inspected and found to have deficiencies, was operating or installed incorrectly, is a possible health, fire, safety concern or in the inspector's opinion at or near the end of its useful life. Items with the heading 'Repair / Replace' will appear in the 'Summary Report'.

**Type of building:**

Single Family (2 story)

**In Attendance:**

Client

**Approximate age of building:**

96 years old

**Temperature:**

65 degrees (F)

**Weather:**

Clear

**Ground/Soil surface condition:**

Dry

**Rain in last 3 days:**

Yes

**Start Time:**

Start Time: 8:00 AM

**Finish Time:**

Finish Time: 10:00 AM

**Radon Test:**

No

## 1. Exterior

*Our exterior evaluation is visual in nature and is based on our experience and understanding of common building methods and materials. Our review does not take into consideration the normal wear associated with virtually all properties. Exterior surfaces should be kept well painted, stained or sealed to prevent deterioration. Grading & adjacent surfaces should be maintained and pitched away from the foundation to reduce the chances of water infiltration.*

### Items

#### 1.0 Driveways

##### Marginal

Settlement noticed at the concrete driveway. We suggest repairs as needed to prevent further damage.

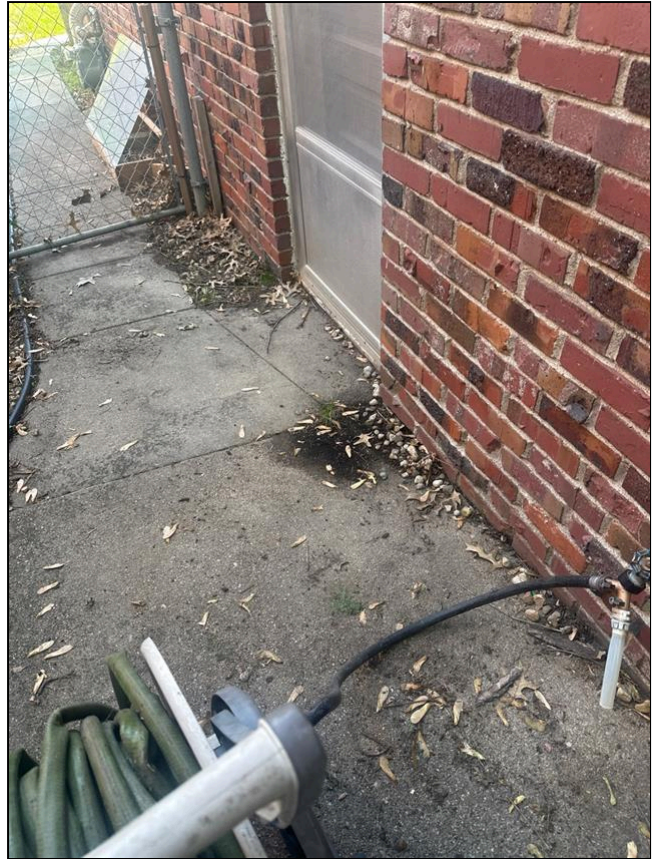


#### 1.1 Walkways

##### Repair or Replace

## AmeriSpec Inspection Services

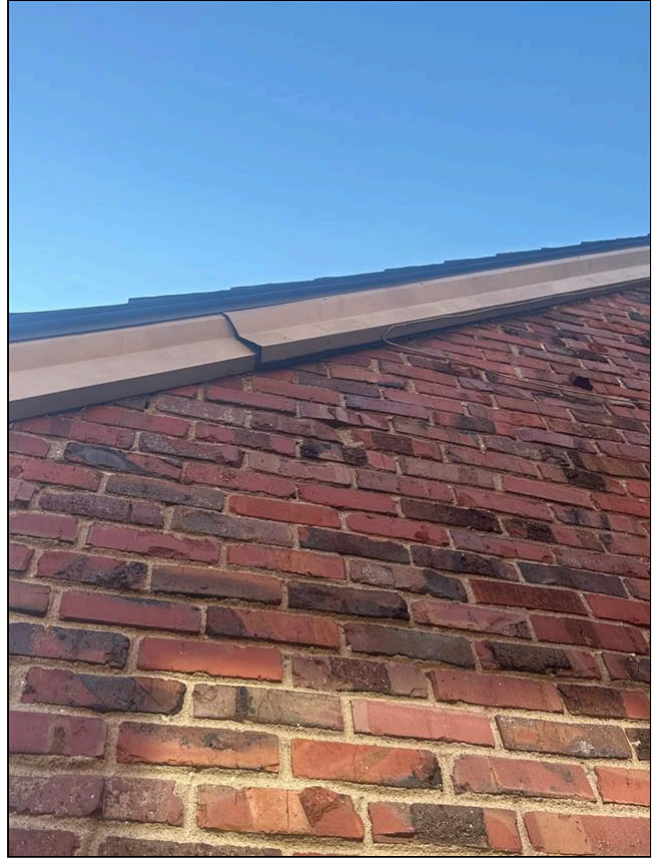
Settlement noticed at the concrete walkways. Recommend repairs needed to prevent further damage and possible pooling near the foundation and possible trip hazards.



## 1.2 Exterior Wall Cladding

**Serviceable****1.3 Trim, Eaves, Soffits and Fascias****Marginal**

(1) Loose fascia noticed. We suggest repairs/adjustments as needed.



## AmeriSpec Inspection Services

(2) Gap notice at the rear fascia and soffit. We suggest repair/adjustments needed to prevent possible pest intrusion.

**1.4 Windows & Frames**

Marginal

## AmeriSpec Inspection Services

Concrete walkway is above window level. We recommend monitoring/repairs needed to prevent possible moisture intrusion.

**1.5 Doors (Exterior)**

Marginal

## AmeriSpec Inspection Services

Slider screen door is not present. We recommend installing a slider screen door as needed to prevent possible pest intrusion.

**1.7 Electrical (exterior)**

Serviceable

**1.8 Gas Meter**

Serviceable

## AmeriSpec Inspection Services

Main gas meter to the home. This is for clients information only.

**1.9 Exterior Water Faucets**

Not Applicable

**1.10 Door Bell(s)**

Not Applicable

**1.11 Lot Grade and Drainage**

Marginal

Recommend adding dirt back-fill to any low lying areas around the foundation to ensure proper drainage away from the foundation at all times.

**1.12 Vegetation**

Marginal

**AmeriSpec Inspection Services**

Vegetation is growing near and on the home. We suggest removal and trimming vegetation away from the home. This is typically a maintenance item.

**1.13 Stairs and Steps**

Repair or Replace

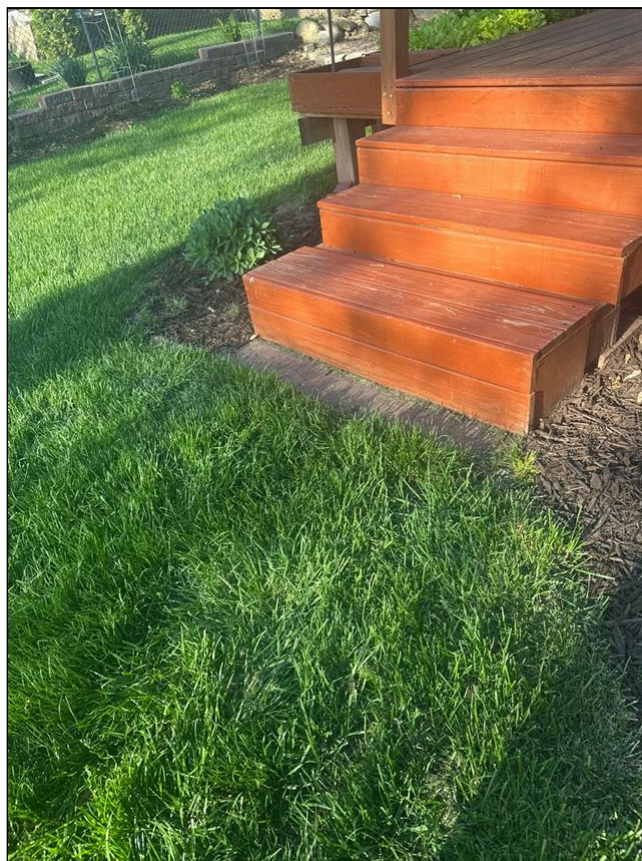
## AmeriSpec Inspection Services

(1) No hand railings noted on steps at rear of home, recommend installing hand rail for safety. When ever four or more risers are present a handrail is usually required.



## AmeriSpec Inspection Services

(2) Steep step noticed at the rear of the home. We recommend repairs as needed to prevent possible trip hazards.

**1.14 Patio**

Not Applicable

**1.15 Deck**

Serviceable

**1.21 Exterior Comments**

Marginal

## AmeriSpec Inspection Services

Cracking/settlement noticed at the front concrete stoop. We recommend repairs needed to prevent further damage.



## Styles & Materials

**Driveway:**  
Concrete

**Walkways:**  
Concrete

**Exterior Wall Cladding:**  
Full Brick

**Exterior Entry Doors:**  
Wood

**Windows and Frames:**  
Double-hung

## 2. Roof System

*Our evaluation of the roof is to determine if surface areas are missing and/or damaged and therefore subject to possible leaking. Portions of the roof, including underlayment, decking and some flashing are hidden from view and cannot be evaluated by our visual inspection; therefore, our review is not a guarantee against roof leaks or a certification. Some areas are not visible when we are unable to mount the roof due to weather conditions, height, pitch, etc. Areas most vulnerable to leaks are low slope areas, areas pitched toward walls, through-roof projections (chimneys, vents, skylights, etc.) roof slopes that change pitch or direction, and intersecting roof/wall lines. Flashing and shingle defects can cause hidden leaks and damage and should be immediately addressed. We advise qualified contractor estimates and review of the full roof system when defects are reported. Factors such as shingle quality, weather, ventilation, and installation methods can affect wear rate. As maintenance can be needed at any time, roofs should be professionally inspected annually.*

## Items

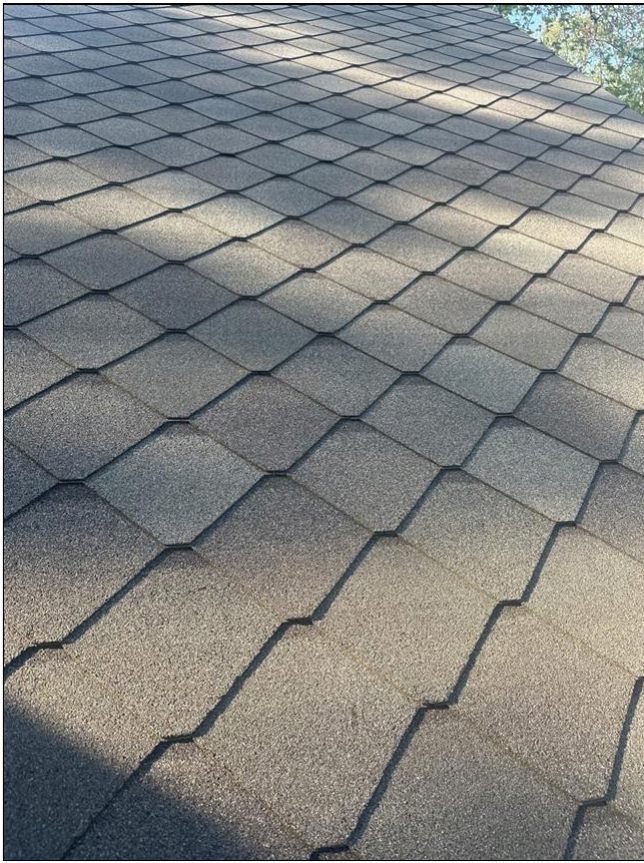
### 2.0 Roof Conditions

**Serviceable**

Roof shows normal wear for its age and type. No damaged, deteriorated, or missing roofing materials were

## AmeriSpec Inspection Services

observed; it appears to be in serviceable condition at time of inspection.



## 2.1 Roof Penetrations and Exposed Flashings

Serviceable

## AmeriSpec Inspection Services

**2.2 Roof Drainage Systems (Gutters/Downspouts)****Marginal**

Gutters and downspouts are an integral part of a home's storm water management system and should be monitored on a regular basis for proper operation. It is recommended that the gutters and downspouts be cleaned and flushed as part of routine maintenance to reduce the potential for water backup and resultant damage to roofing materials and concealed portions of the home.

**Styles & Materials****Method Used to Inspect Roof:**

Ladder

**Roof Structure:**2 X 4 Rafters  
Wood Slat Decking**Roof-Type:**

Gable

**3. Garage / Carport**

***Our garage/carport evaluation is visual in nature and is based on our experience and understanding of common building methods and materials. Our review does not take into consideration the normal wear associated with virtually all properties. Exterior surfaces should be kept well painted, stained or sealed to prevent deterioration. Garage floors should not be covered with carpet, cardboard, wood or other combustible materials and, of course, flammable products should be properly stored. It is recommended all garage door openers be equipped with a regularly tested safety reverse device to reduce chances of injury. Attached garages should be separated from the house by a steel or solid wood door, and common walls should have a fully sealed fire resistant covering such as drywall to protect against fume entry and to slow the migration of smoke or fire from entering the house in the event of a garage fire. Mounting a self-closer on the door between the garage and the house is an additional suggested safety upgrade. We suggest you keep attic hatches closed, repair any holes or damage that exist or occur, and avoid creating openings between the home and garage. It is especially important to keep garage wall and ceiling areas directly beneath living space intact.***

**Items****3.2 Garage Floor**

Serviceable

**3.3 Garage Door(s)**

Marginal

Weather strips are missing around the exterior garage overhead door. We recommend installing weather strips as needed to prevent possible pest/moisture intrusion.

**3.4 Garage Door Openers**

Serviceable

**3.5 Occupant Door(s)**

Serviceable

**3.6 Garage Window(s)**

Serviceable

**3.7 Garage Walls**

Marginal

- **Attached garages in most jurisdictions should be separated from common walls of the house by a proper fire wall and fire door. This is to keep the migration of any smoke or fire from entering the house in the event of a fire in the garage. A self closer on the fire door between the garage and the house is an additional safety precaution.**

**3.8 Garage Ceiling**

Serviceable

**3.9 Electrical Receptacles, Switches and Fixtures**

Serviceable

## Styles & Materials

**Garage Type:**

Attached

**Exterior Wall Cladding:**

Same as House

**Roof Material Type:**

Same as House

**Method Used to Inspect Roof:**

Same as House

**Garage Door Material:**

Hardboard

## 4. Chimney

*Our chimney review is limited to the visible and/or accessible components only. Examination of concealed or inaccessible portions such as flue lining or the adequacy of these chimneys to properly draft is not within the scope of this inspection. This includes determining the presence of a flue lining, or if lining is present, checking for deterioration, damage or cracks.*

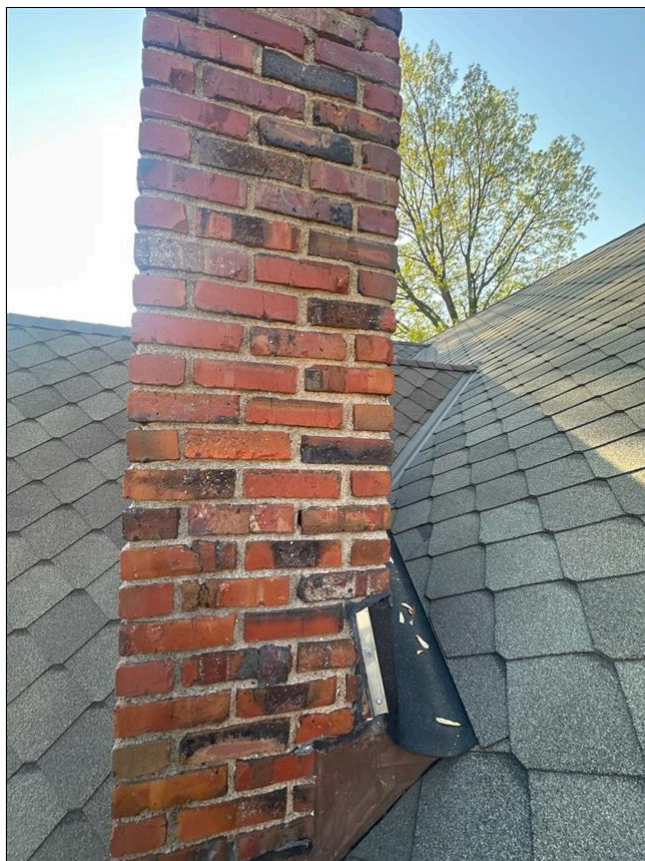
*The purpose of the chimney is to take the combustion products (i.e. smoke and exhaust gases) from certain fuel burning appliances to the outside of the home. Improper care and maintenance of a chimney can lead to loss of property and compromise the health and safety of the homes occupants. It is recommended that the chimney(s) be checked annually by a qualified chimney professional, and cleaned if necessary. NFPA (National Fire Protection Association) recommends what is known as a Level II inspection, including a video scan, by a qualified chimney specialist as part of the home buying process. A Level II inspection may identify problems that exist which cannot be detected during a general home inspection.*

## Items

### 4.0 Chimney Conditions

**Serviceable**

Chimney is serviceable



### 4.2 Flashings

**Serviceable**

**4.3 Spark Arrestor / Rain Cap**

Serviceable

**4.4 Saddle / Cricket**

Not Applicable

**Styles & Materials****Chimney Type:**

Brick

**5. Structural Components**

*Any below-grade space can leak, even areas that have been dry in prior years. While we look for evidence of leaking, we may not be able to determine if leaks exist or existed and cannot predict future water infiltration. Some water activity occurs only under certain circumstances and can only be identified at the actual time of occurrence. We suggest that you obtain disclosure from the prior occupants regarding any history of water in the basement and obtain price estimates when infiltration is disclosed or signs of water are present. We cannot certify the basement against future water infiltration. Some thin cracking of walls and floors is common and whenever cracks are present, a possibility of future leaking exists. Most wall cracks are relatively easy to repair from the inside. Cracks should be monitored for future seepage or change in the size of the cracks, which would indicate a need for further evaluation. Back-up sump systems are advised to reduce the opportunity for flooding during a power outage or main pump failure. The chance of leakage increases when adjacent surfaces are not pitched away from the home and when roof drainage is within several feet of the foundation. These issues should be addressed as soon as possible. Signs of possible water infiltration include mold/mildew, stains on walls, loose flooring, musty odors, warped paneling and efflorescence. If freshly painted walls are present, we suggest you inquire of the seller/occupants if any staining or other leak evidence existed before painting.*

**Items****5.0 Slab**

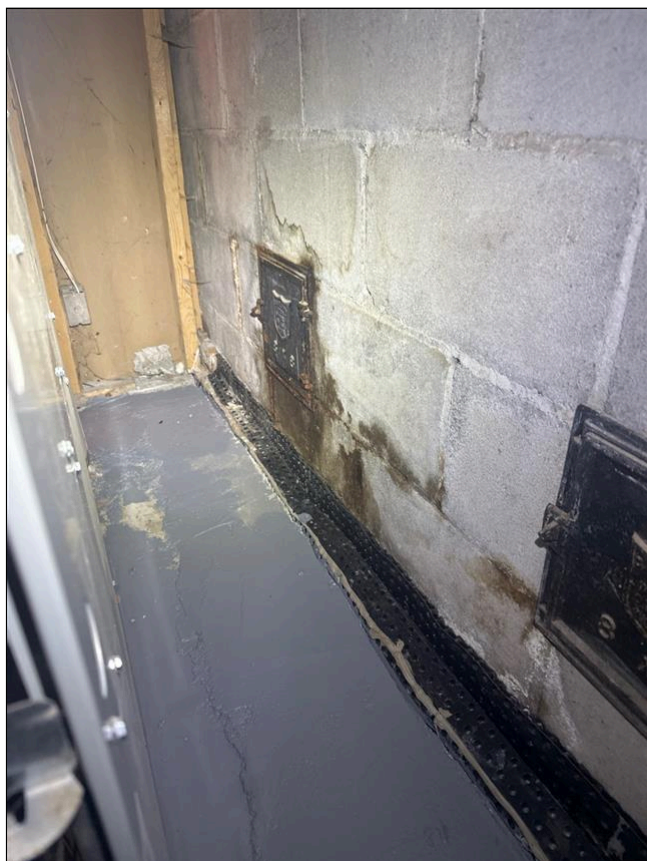
Serviceable

**5.1 Foundation, Basement and Crawlspac**

Repair or Replace

## AmeriSpec Inspection Services

(1) Gaps noticed at the lower foundation, staining noticed near the coal shoot. We recommend further review/repairs needed by a qualified contractor.



(2) Drain system has been installed in the basement. If possible, we suggest referring back to the seller for additional information about issues and any possible transfer of warranty or documentation.

## AmeriSpec Inspection Services

**5.2 Sub Floors (Basement and Crawlspace)**

Serviceable

**5.3 Walls (Basement and Crawlspace)**

Serviceable

**5.4 Ceilings (Basement)**

Not Applicable

**5.5 Columns or Piers (Basement and Crawlspace)**

Serviceable

**5.6 Joists (Basement and Crawlspace)**

Serviceable

**5.7 Beams (Basement and Crawlspace)**

Serviceable

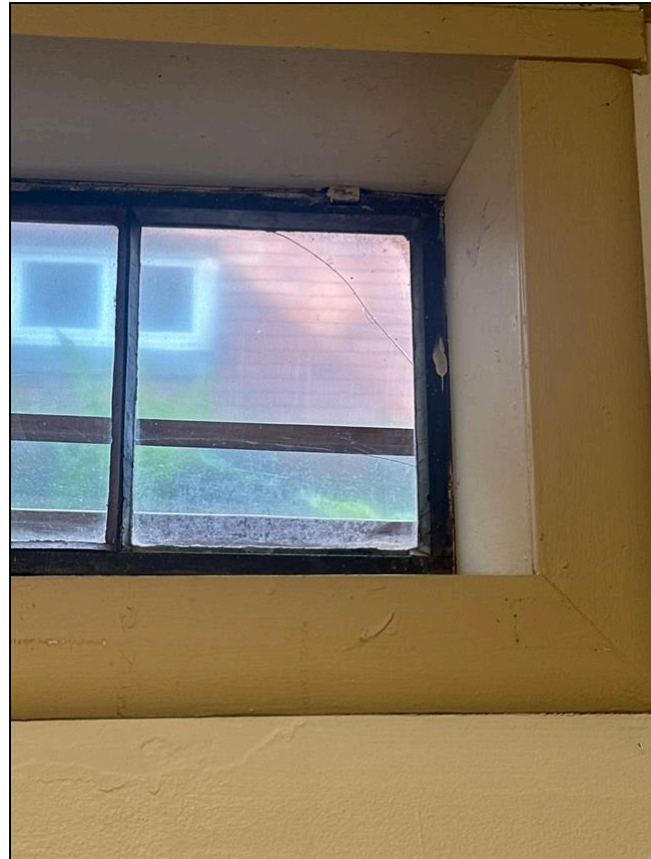
**5.8 Doors (Basement)**

Serviceable

**5.9 Windows (Basement)**

Repair or Replace

Multiple cracked basement windows found. We recommend repairs/replacements needed to prevent further damage.





#### 5.10 Electrical (Basement and Crawlspace)

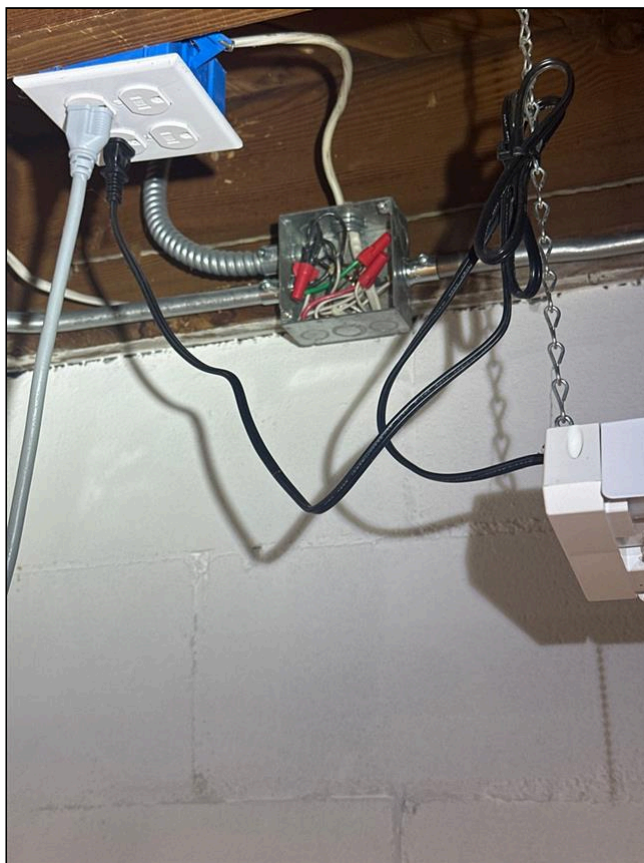
Repair or Replace

(1) Upstairs light switch was inoperable. We recommend repairs needed by a qualified electrician.



## AmeriSpec Inspection Services

(2) Open splices were observed in the basement. This is a "Safety Concern". Whenever an electric wire is cut and reconnected, the "splice" should be encased in a covered "junction box" to prevent shocks and separation of the splice. Client is advised to consult with a licensed electrician prior to closing for repairs/ replacement as needed to ensure safety.

**5.11 Insulation Under Floor System**

Not Applicable

**5.12 Vapor Retarders (Crawlspace)**

Not Applicable

**5.13 Ventilation (Foundation Areas and Attics)**

Not Applicable

**Styles & Materials****Foundation Type:**

Basement  
Masonry Block

**Floor Structure:**

Slab

**Wall Structure:**

Traditional Wood Frame  
Construction  
2 X 4 Wood Studs

**Ceiling Structure:**

2 X 8 Joists

**Method Used To Inspect  
Crawlspace:**

N/A

**Columns or Piers:**

Steel Lally Columns

**Floor System  
Insulation:**

N/A

**Foundation Ventilation:**

N/A

## 6. Plumbing System

*Our focus in the plumbing portion of the inspection is directed at identifying visible water damage and/or problems. We may not always mention common faults such as stuck stoppers or dripping faucets. If considered important, you should check these items independently. Shut-off valves and angle stops under the kitchen or bathroom sinks and toilets are not turned or tested during the inspection due to the possibility of leaking. All shut-off valves or angle stops should be turned regularly to ensure free movement in case of emergency. The water supply system was tested for its ability to deliver functional water pressure to installed plumbing fixtures and the condition of connected piping that was visible. Our plumbing inspection also consists of checking for functional drainage at all fixtures. We suggest you obtain the maintenance history for the home's plumbing and obtain receipts for any recent work or for anything for which a warranty may apply.*

### Items

#### 6.0 Plumbing Water Supply System

Marginal

(1) Main water shut off to the home. This is for client's information only.



(2)

- **Galvanized water lines rust from the inside out and can become restricted over time. When low water flow is noted at plumbing fixtures, some restriction may have occurred. We suggest further review by a qualified licensed plumbing contractor prior to closing for repairs/replacement as needed to ensure proper water flow.**



## 6.1 Drain Waste and Vent Systems

Marginal

## AmeriSpec Inspection Services

Water stains noticed at the main drain stack, no active leaks found at time of inspection. We suggest monitoring/repairs if needed.



## 6.2 Fuel Storage and Distribution Systems (Interior fuel storage, piping, venting, supports)

Serviceable

All accessible gas fittings were tested for any possible leaks, none found at time of inspection.

## 6.4 Sump Pump(s)

Not Inspected

## AmeriSpec Inspection Services

Extension hose is missing at the sump pump, plumbing, unable to verify conditions of the sump pump. Pit has been sealed. We suggest further review for proper operation.



## 6.6 Plumbing System Comments

## AmeriSpec Inspection Services

**Marginal**

Flex drains found, flex drains are known for clogging. We recommended monitoring/repairs as needed.



## Styles & Materials

**Water Source (To Home):**

Public

**Plumbing Water Distribution (Inside home):**

Copper  
Galvanized

**Plumbing Waste & Vent Pipes:**

Cast Iron

**Water Shut Off Location:**

Basement

**Main Fuel Shut Off Location:**

Right Side Exterior at Gas Meter

## 7. Electrical System

*Our electrical inspection meets the ASHI standard of practice and is done by sampling visibly accessible wiring and fixtures. Determining the actual capacity of the system requires load calculations, which are not within the scope of this report. Underground circuits and concealed components of the system are not inspected. While age is one factor, most homes have electrical issues created by amateur electricians. We do not move belongings and do not examine every fixture, outlet, wiring run, etc., nor do we remove insulation, or wall coverings. Covers are not removed, with the exception of the cover of the main electrical panel, when this can be done safely and without risking damage to finish. Much of the wiring in the home is not visible and not reviewed. Once the current occupant's belongings have been removed, it's a good idea to check all outlets with a tester and to look inside cabinets, closets and other obstructed areas before moving in your own belongings. We use a standard electrical tester to check a sample of outlets. While the tester is generally reliable, it can be fooled by certain improper wiring practices, which we cannot detect during a general home inspection. Because electrical defects are safety concerns, we advise the use of a qualified licensed electrician for cost estimates, repairs and upgrades, prior to close.*

## Items

### 7.0 Electrical Main Service

Serviceable

### 7.1 Equipment Grounding

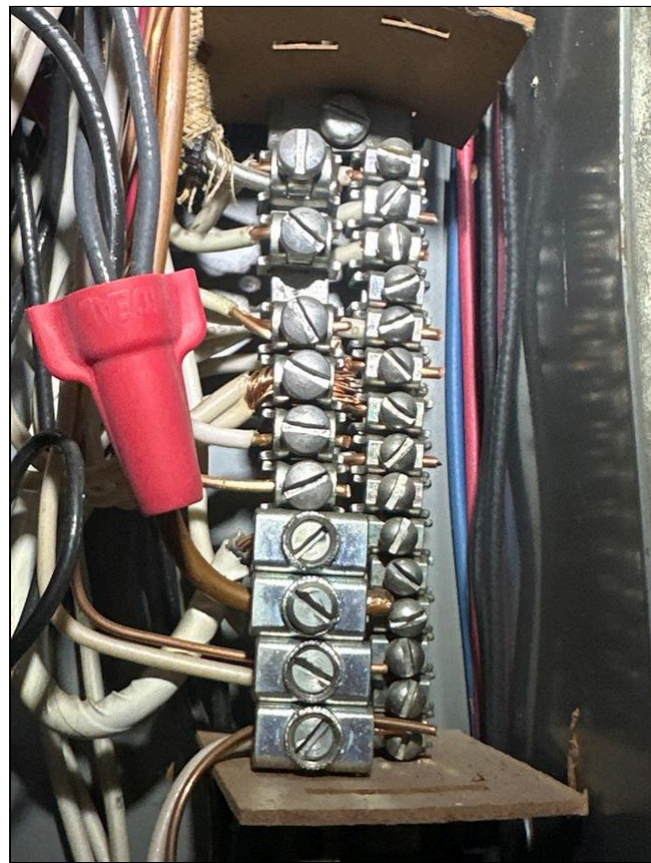
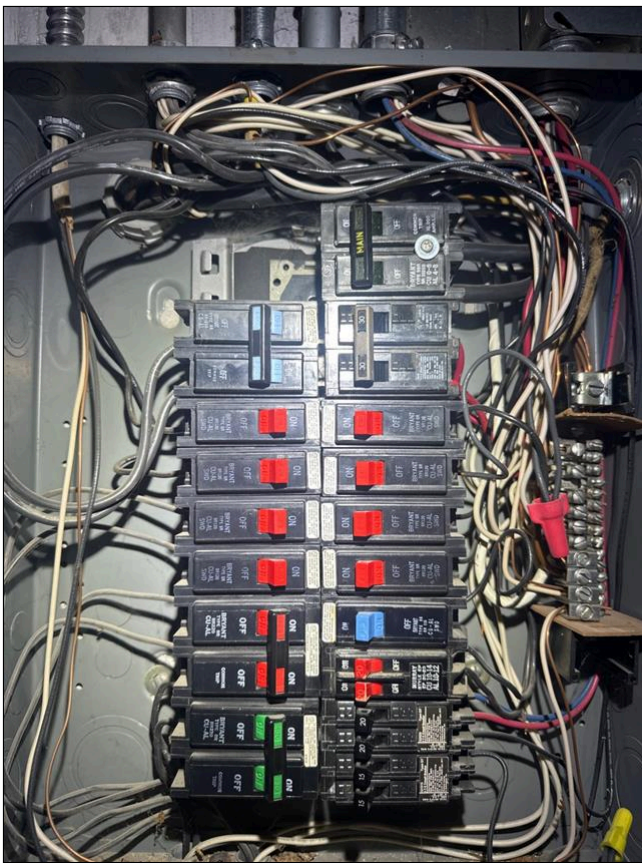
Serviceable

- Futures are available for expansion in the electrical panel

### 7.2 Main Electrical Panel Condition

Repair or Replace

Doubled up neutrals and grounds were observed in the main panel. The connection of a neutral and equipment-grounding conductor creates a significant problem. One of the objectives of a correct arrangement of bonding jumpers, neutrals and equipment grounds is to allow circuit isolation while keeping the equipment grounding conductor still connected to the grounding electrode. A licensed electrician is needed to review the panel and make all corrections necessary for safe and proper operation of the system.



### 7.4 Wiring

Repair or Replace

## AmeriSpec Inspection Services

Multiple ungrounded outlets found throughout the home. This may not have been required when the home was built, however, we suggest installing grounding wire or adding GFCI outlets, enhanced safety.

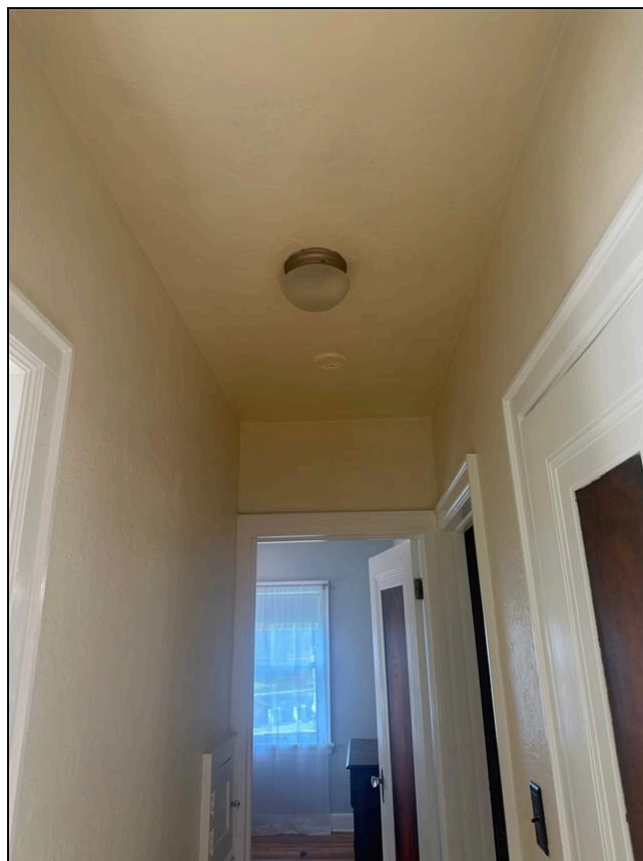
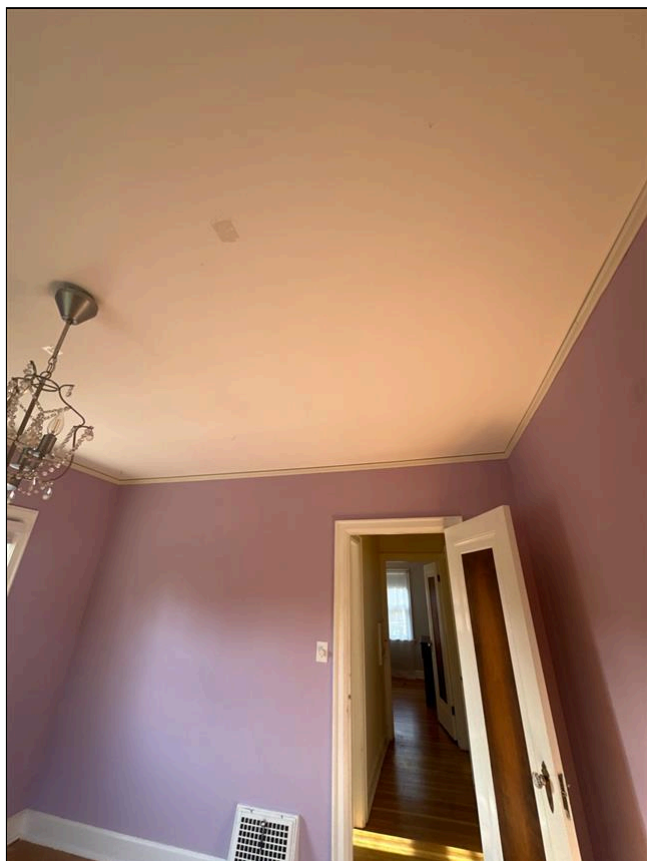


## 7.7 Smoke Alarms

Not Operated, Repair or Replace

## AmeriSpec Inspection Services

The smoke alarms should be added tested upon moving in to home, smoke alarms should be installed to any rooms that will be bedrooms. We recommend installing monoxide detectors where needed and periodically testing alarms for enhanced safety.



## Styles & Materials

**Main Electrical Panel****Location:**

Basement

**Service Amperage:**

100 AMPS

**Wiring Methods:**

Non Metallic Sheathed Cable (Romex)

**Sub-Panel Location(s):**

N/A

**Panel Type:**

Breakers

**Electric Panel****Manufacturer:**

BRYANT

**Equipment Grounding****Present:**

Yes

**Branch Wiring Type:**

Copper

## 8. Heating System

*Our evaluation of heating system(s) is both visual and functional provided power and/or fuel is supplied to the component. Items not listed here as well as things we cannot see, such as utilities, drains, and ducts inside walls, floors and underground are beyond the scope of this inspection. DISMANTLING AND/OR EXTENSIVE INSPECTION OF INTERNAL COMPONENTS OF ANY APPLIANCE, INCLUDING HEATERS AND HEAT EXCHANGERS, IS BEYOND THE SCOPE OF THIS REPORT. THE LOCAL UTILITY COMPANY MAY CONDUCT SUCH AN INSPECTION UPON REQUEST. Our inspection is not a heat engineering or sufficiency review. We suggest you ask the sellers/occupants if any areas of the home do not properly heat or cool. We also suggest you obtain the maintenance history of the furnace as well as receipts for any recent repairs for which a warranty might apply. Clients are encouraged to purchase a home warranty plan, since furnaces can require repair or replacement at any time. Modern furnaces are complicated appliances and should be treated with care. Regular cleaning or replacement of furnace filters is vital to the health of your furnace and can improve the efficiency of attached central air conditioning. We suggest an annual cleaning and safety check by a licensed contractor who is trained in this furnace model. Flammable products should be stored away from the furnace and no fume-producing products such as paint cans should be in the same room. Don't forget that fuel-burning appliances need plenty of oxygen and should not be enclosed without supplying an adequate supply of combustion air. Identifying or testing for the presence of asbestos or other potentially hazardous materials is not within the scope of this report.*

### Items

#### 8.0 Heating Equipment Condition

Serviceable

## AmeriSpec Inspection Services

The gas furnace was tested using normal operating controls and functioned properly at time of inspection. Due to inaccessibility of many of the components of this unit, the review is limited. Holes or cracks in the heat exchanger (if applicable to this type system) are not within the scope of this inspection as heat exchangers are not visible or accessible to the inspector. Unit was operated by the thermostat. As with all mechanical equipment the unit can fail at anytime without warning. Inspectors cannot determine future failures. If a detailed inspection is desired, a licensed heating contractor should be consulted prior to closing to ensure proper and safe operation of this unit.



Manufactured 2007

**8.1 Energy Source**

Serviceable

**8.2 Exhaust Venting**

Serviceable

**8.3 Thermostat**

Serviceable

**8.4 Air Filters**

Marginal

## AmeriSpec Inspection Services

We recommend cleaning/replacing the furnace/AC filter on a regular basis to optimize the unit's operating efficiency and life expectancy. We recommend that the client commence an annual maintenance, cleaning, and parts replacement program with the local utility company or qualified heating contractor in order to keep the heating/cooling equipment in optimum and safe working order.



### 8.5 Distribution / Ducting Systems

Repair or Replace

## AmeriSpec Inspection Services

(1) Electrical has been inserted through ductwork. This is not allowed. We recommend further review/repairs needed by a qualified contractor.



## AmeriSpec Inspection Services

(2) Possible asbestos materials observed. The materials appeared to be intact at the time of inspection. Asbestos materials are considered safe by the EPA if they are not disturbed, torn, ripped, or damaged. No torn, ripped, or damaged materials were observed. If client has any concerns regarding asbestos materials, an asbestos testing lab should be consulted for further review to ensure safety.

**8.6 Automatic Safety Controls**

Serviceable

**Styles & Materials****Number of Heating Systems:**

One

**Heating Unit Location(s):**

Basement

**Heating System(s) Service:**

Entire Home

**Heating System Type(s):**

Gas Forced Air Furnace

**Energy Source:**

Natural Gas

**Filter Type:**

Disposable

**Heating System Brand:**

AMERICAN STANDARD

## 9. Air Conditioning System

*Our evaluation of AC system(s) is both visual and functional provided power is supplied to the unit. Identifying or testing for the presence of asbestos products, or other potentially hazardous materials is not within the scope of this report. Judging the adequacy of the cooling efficiency of air conditioning is a subjective evaluation, therefore, we only note a poor condition if, in the inspector's opinion, the adequacy seems less than normal. We urge you to evaluate these systems prior to closing. We are not allowed to install gauges on the cooling system to perform a detailed evaluation due to concerns with refrigerants. This requires a special license and would cost much more than the fees charged for a General Home Inspection. This type of visual inspection does not determine the proper tonnage of A/C equipment needed or if the air conditioning equipment is properly sized for the dwelling or matched by brand or capacity. It is not within the scope of a General Home Inspection to determine unit size, SEER rating or if the evaporator and condenser coil are matched properly on the AC system. If a detailed evaluation is desired an HVAC contractor should be consulted prior to close. Information can be obtained from licensed heating and air conditioning contractors if a more comprehensive inspection is desired. A detailed evaluation of the cooling capacity is beyond the scope of this report. Air conditioners can be damaged if operated in temperatures below 60 degrees or immediately after a cold night. Additionally, some units can be damaged if operated when the breaker or fuses have not been on for at least 12 hours. We do not test units in cold weather nor do we test units that have no power at the time of inspection. Air conditioners should be kept clean and free of debris. Dirty air conditioners and those with restricted air flow because of fin damage, vegetation, etc. can wear out quickly. Winter covers can accelerate corrosion and should not be used unless approved by the manufacturer. The client is encouraged to consult their agent concerning home warranty options as air conditioners can fail at any time and are expensive to repair or replace. We suggest obtaining the maintenance history of air conditioning units and inquiring of the sellers/occupants if any areas of the home do not cool well or are not supplied with air conditioning. You should obtain warranty paperwork, if applicable, and request receipts for any recent repairs. **DISMANTLING AND/OR EXTENSIVE INSPECTION OF INTERNAL COMPONENTS OF ANY APPLIANCE IS NOT WITHIN THE SCOPE OF THIS INSPECTION.***

### Items

#### 9.0 Cooling and Air Handler Equipment Condition

Serviceable

## AmeriSpec Inspection Services

The air conditioner was activated to check the operation of the motor and the compressor, both of which are in serviceable condition. As a detailed review of the cooling capacity of this unit is beyond the scope of this inspection, we make no warranty as to the system's adequacy.



Manufactured at 2015

## 9.2 Energy Source

Serviceable

## 9.3 Thermostat

Serviceable

## 9.4 Air Filters

Serviceable

## 9.5 Distribution / Ducting Systems

Serviceable

## Styles & Materials

### Number of AC Systems:

One

### Cooling Equipment Type(s):

Split Air Conditioning System

### Filter Type:

Same as Heating System

### AC Unit Location(s):

Exterior

### Cooling Equipment Energy Source:

Electricity

### Filter Size:

Same as Heating System

### AC System(s) Service:

Same as Heating System

### Ductwork:

Same as Heating System

### Air Conditioner Brand:

AMERICAN STANDARD

## 10. Water Heater

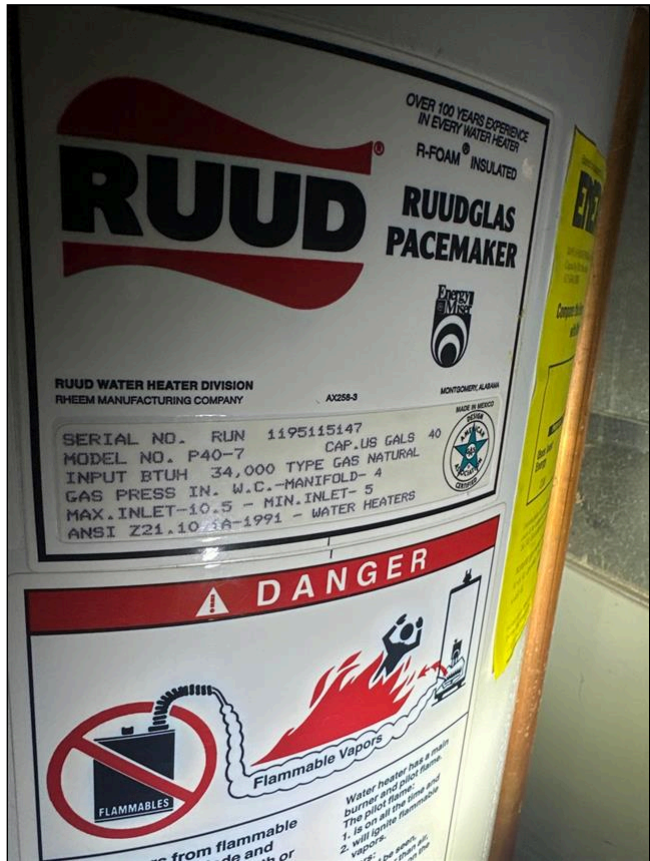
*Our evaluation of the water heater is both visual and functional provided power and/or fuel is supplied to the unit. Since water heaters are capable of producing scalding temperatures, we suggest you measure your water temperature upon taking occupancy and adjust it to a safe temperature (typically 120 -130 degrees). For further protection, anti-scald faucets are available for sinks, tubs and showers. Due to the possibility of the water heater temperature pressure relief valve leaking after it has been opened, these valves are not tested during the inspection. Manufacturers suggest regular testing to help assure performance. Water heater blankets may void the warranty on some water heaters. Keep all combustibles away from the heater and store no paints or other chemicals in the same room. A spill pan and drain is advised if your heater is located in, adjacent to, or above a finished area. The client is encouraged to consult their agent concerning home warranty options as water heaters can fail at any time and are expensive to repair or replace.*

### Items

#### 10.0 Water Heater Condition

Repair or Replace

Low water temperature noticed at time of inspection. Units typically last 5-10 years. We suggest replacing when needed.



Manufactured 1995

**10.1 Supply Lines**

Serviceable

**10.2 Energy Source**

Serviceable

**10.3 Flue Venting**

Serviceable

**10.4 Temperature / Pressure Release Valve**

Not Applicable

**10.5 Overflow Pan / Drain Line**

Serviceable

**10.6 Hot Water Temperature**

Repair or Replace

The water temperature at time of inspection was 90 degrees, which is not within the normal operating range of 120 to 130 degrees. Recommend checking with sellers as to the settings. Many homeowners lower the temperature for a variety of reasons. This could also indicate an issue with the water heaters performance if the water heater is set at the normal temperature. A licensed plumbing contractor should review and make any corrections needed if the thermostat has not been set low intentionally.

**Styles & Materials****Number of Water Heating Systems:**

One

**Water Heater Location(s):**

Basement

**Water Heater Design Type:**

Natural Gas

**Water Heater Energy Source:**

Natural Gas

**Water Heater Capacity:**

40 Gallon

## 11. Kitchen and Built-in Appliances

*Our kitchen appliance inspection is visual and operational in nature of the built-in appliances only. Cooking systems are checked for burner operation but not for calibration, timers, special features or cleaning cycles. Built-in dishwashers are run through a full normal wash cycle to determine if the system is free of leaks and excessive corrosion. Please double-check appliance operation just before closing and re-check for secure cabinets, counters and appliances. Upon occupancy, the client should secure any freestanding oven so it cannot tilt forward when weight is applied to the door. (Most ovens come with directions on how to do this.) Individuals have been injured when sitting on or standing on these doors. Clients are advised to purchase a home protection plan because appliances, including new appliances, can fail at any time, including immediately after the inspection. Older appliances (five years or older), of course, are more prone to failure.*

### Items

#### 11.0 Floors

Serviceable

#### 11.1 Walls

Serviceable

#### 11.2 Ceiling

Serviceable

#### 11.3 Doors

Serviceable

#### 11.4 Windows

Serviceable

#### 11.5 Heat / Cooling Source

Serviceable

#### 11.6 Receptacles, Switches and Fixtures

Repair or Replace

**AmeriSpec Inspection Services**

Kitchen outlets 6 feet within the water source are not GFCI protected, ground fall circuit interrupters may not have been required when this home was built. We recommend installing GFCI outlets as needed for enhanced safety. This is typically a buyer improvement.

**11.7 Counters and Cabinets (representative number)**

Serviceable

**11.8 Sinks**

Serviceable

**11.9 Plumbing Drains**

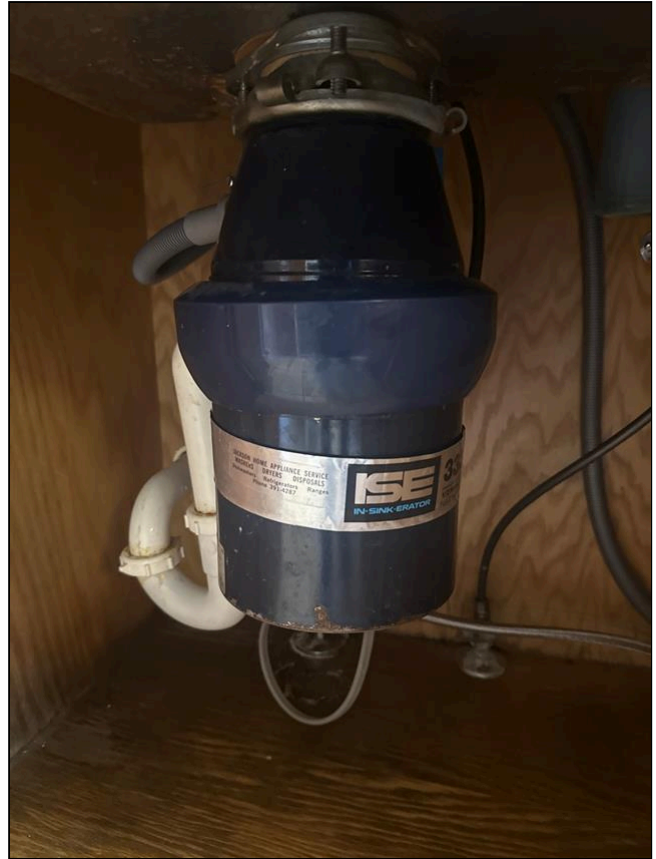
Serviceable

**11.10 Food Waste Disposer**

Repair or Replace

## AmeriSpec Inspection Services

Obstruction noticed at the kitchen disposal. We recommend repairs/cleaning as needed to prevent possible damage and proper function.

**11.11 Dishwasher(s)**

Serviceable

**11.12 Ranges/Ovens/Cooktops**

Serviceable

**11.13 Range Hood(s)**

Serviceable

**11.14 Microwave Cooking Equipment**

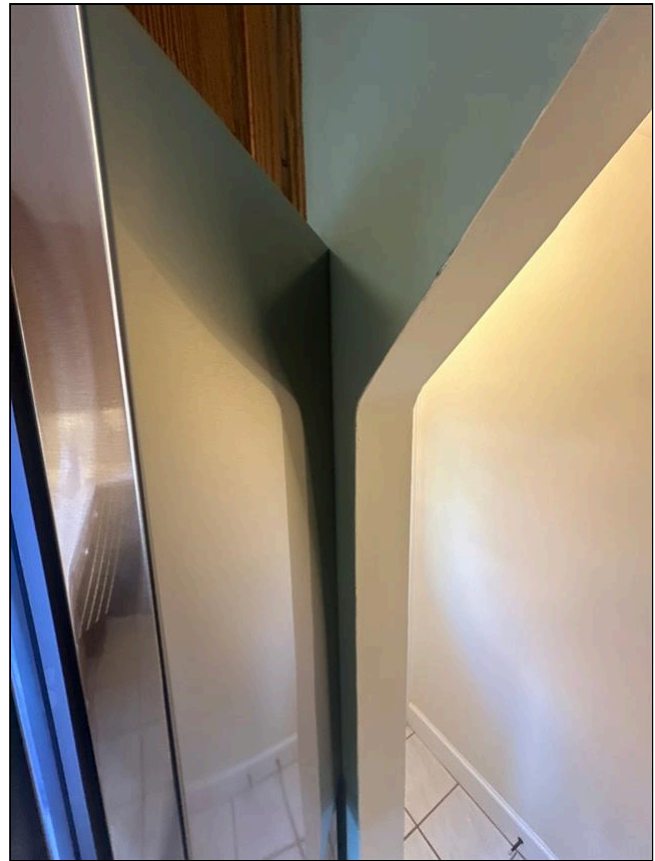
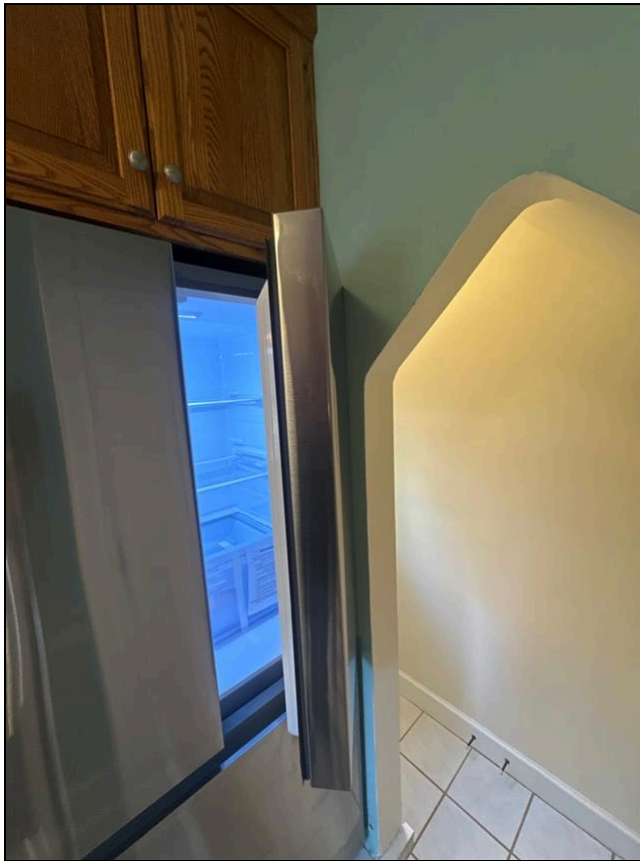
Serviceable

**11.15 Refrigerator**

Marginal

## AmeriSpec Inspection Services

Refrigerator door cannot fully open due to wall. We suggest repairs/adjustments as needed.



## 12. Bathroom(s)

*Our focus in bathrooms is directed at identifying visible water damage and/or problems. We may not always mention common faults such as stuck stoppers or dripping faucets. If considered important, you should check these items independently. Shut-off valves and angle stops under kitchen or bathroom sinks and toilets are not turned or tested during the inspection due to the possibility of causing a leak. All shut-off valves or angle stops should be turned regularly by the homeowner to ensure free movement in case of emergency. Bathrooms require regular maintenance to prevent the possibility of water damage and maintenance should be performed without delay. Since leaks can occur at any time, plumbing should be checked just before closing and then regularly during occupancy. We advise that all floors, tile edges and tub/shower walls be caulked and sealed to prevent moisture penetration. When found soft, you should have checked for leaks and hidden damage. All leaks should be repaired and missing/damaged grouting and caulk should be replaced at once to help prevent future/further damage. Even tile that appears to be in good shape can take on water, so we suggest that you apply a sealant to tiled surfaces upon occupancy. If sluggish or noisy drains are noted, the drain waste vent system should be checked for blockage, damage or other restriction before close. Operating an exterior vented exhaust fan helps to reduce the chances of mold growth and harmful condensation.*

### Items

#### 12.0 Floors

Serviceable

#### 12.1 Walls

Serviceable

#### 12.2 Ceiling

Serviceable

#### 12.3 Doors

Serviceable

**12.4 Closets**

Not Applicable

**12.5 Windows**

Serviceable

**12.6 Heat / Cooling Source**

Serviceable

**12.7 Receptacles, Switches and Fixtures**

Serviceable

**12.8 Exhaust Fan(s)**

Serviceable

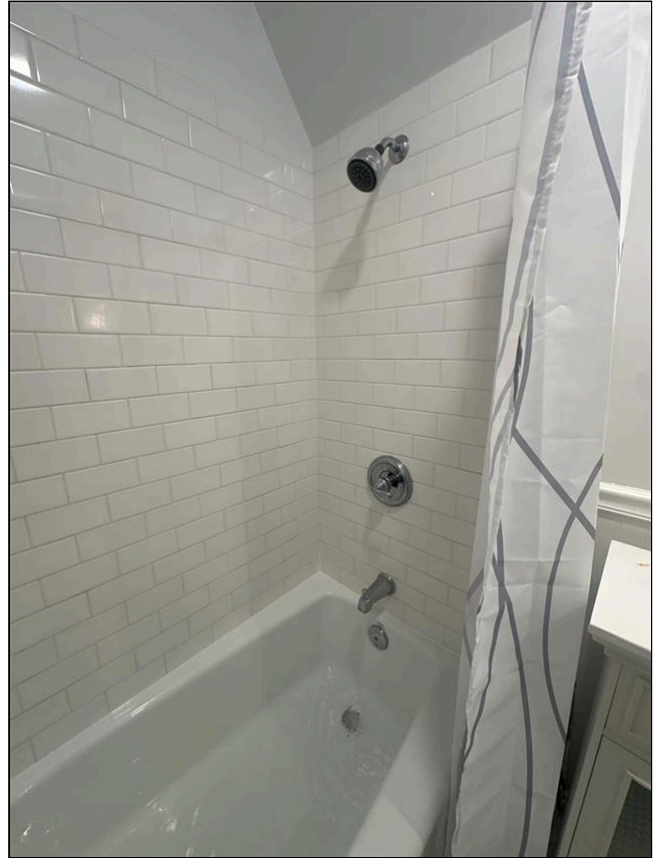
**12.9 Bath Tub**

Serviceable

**12.10 Shower**

Repair or Replace

(1) Upstairs bathroom, diverter valve does not function properly, no water comes out of the showerhead. We recommend further review/repairs needed by a qualified contractor.



## AmeriSpec Inspection Services

(2) Main hallway, bathroom shower diverter valve does not fully engage. We suggest repairs/adjustments as needed.

**12.11 Sinks**

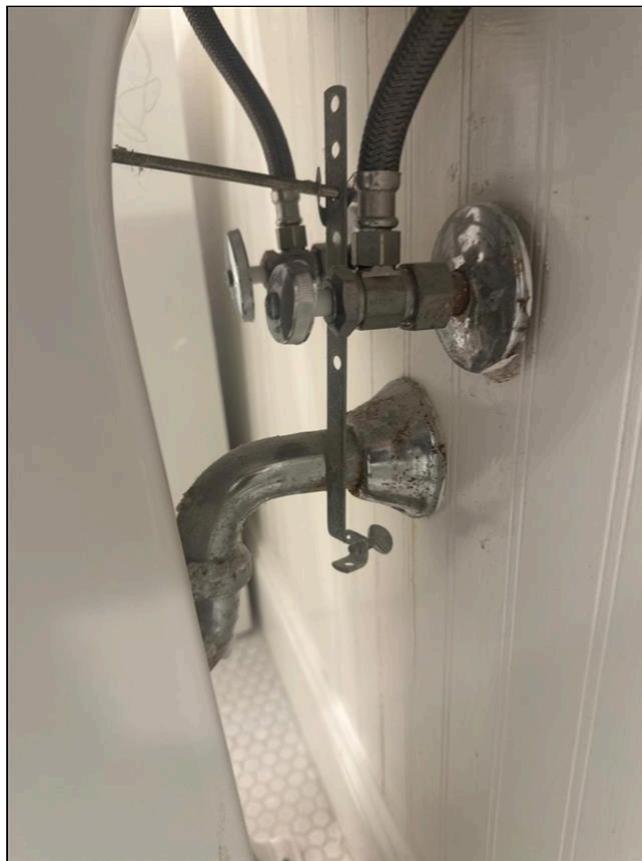
Marginal

## AmeriSpec Inspection Services

(1) Excessive corrosion noticed at the upstairs bathroom sink drain, no leak found at time of inspection. We recommend monitoring/repairs as needed.



(2) No drain stopper release lever found. We suggest installing drain stopper release lever as needed.



## AmeriSpec Inspection Services

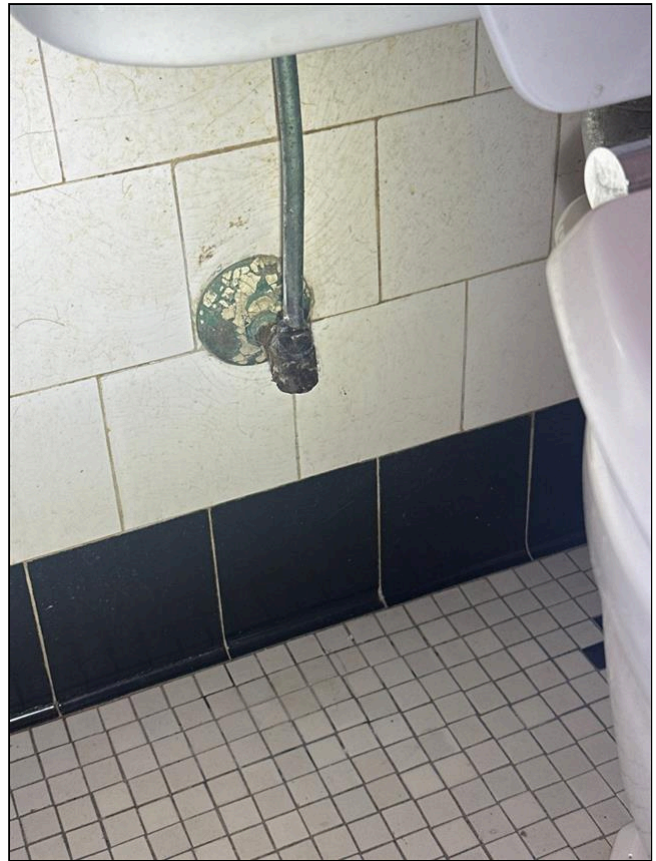
(3) Main bathroom sink handles leak when open. We suggest repairs/replacement as needed to prevent further damage.

**12.12 Toilet**

Repair or Replace

## AmeriSpec Inspection Services

(1) Leak and/or deterioration observed at the toilet water supply line in the hall bathroom. Recommend review by Licensed/Qualified plumber for repair or replacement as necessary.



## AmeriSpec Inspection Services

(2) No shut-off valve observed to the toilet in the hall bathroom. Shut off valves may not have been required when fixture was installed, recommend shut-off valve be installed as a plumbing up-grade.

**12.13 Counters and Cabinets**

Serviceable

**Styles & Materials****Bath Tub / Shower:**

Combined Bath Tub & Shower

**Exhaust Fans:**

Fan Only

**13. Laundry Area**

*The supply hoses to the washer are not disconnected during the inspection, nor are the valves operated. These can leak at any time and should be considered a part of normal maintenance. If the washer and dryer are present, they are not moved to prevent floor damage and the review of the area behind the washer/dryer is limited. It is beyond the scope of the inspection to inspect the washer and dryer. If these appliances are included in the sale of the property, we suggest consulting the sellers as to proper operation prior to close. We suggest that you clean exhaust pipes upon occupancy and then regularly to enhance safety/performance. Water hoses that discharge into laundry tubs can cause contamination by creating a "cross connection" if they discharge below the tub rim. We suggest you keep these elevated above the flood rim of the tub.*

**Items****13.0 Floors**

Serviceable

**13.1 Walls**

Serviceable

**13.2 Ceiling**

Not Applicable

**13.3 Doors**

Not Applicable

**13.4 Closets**

Not Applicable

**13.5 Windows**

Not Applicable

**13.6 Counters and Cabinets (representative number)**

Not Applicable

**13.7 Laundry Tub / Sink**

Serviceable

**13.8 Heat / Cooling Source**

Not Applicable

**13.9 Receptacles, Switches and Fixtures**

Serviceable

**13.10 Clothes Dryer Exhaust Venting**

Serviceable

**13.11 Exhaust Fan**

Not Present

**13.14 Laundry Area Comments**

Not Operated

Laundry units were not tested, this is beyond the scope of inspection. We suggest referring back to the seller if units are staying and operational.



## Styles & Materials

**Dryer Power Source:**  
240 Volt Electric

**Dryer Vent:**  
Flexible Metal

## 14. Interior Rooms and Areas

*Our interior review is visual and evaluated with similar aged homes in mind. Cosmetic considerations and minor flaws such as a torn screen or an occasional cracked window can be overlooked, thus we suggest you double check these items, if concerned. Inspections are limited to visible and/or accessible areas. Personal belongings and furniture restrict access to receptacles, windows, walls, and flooring.*

### Items

#### 14.0 Floors

Serviceable

#### 14.1 Walls

Serviceable

#### 14.2 Ceilings

Serviceable

#### 14.3 Doors (representative number)

Serviceable

#### 14.4 Closet Doors (representative number)

Serviceable

#### 14.5 Windows (representative number)

Serviceable

#### 14.6 Heat / Cooling Source

Serviceable

#### 14.7 Receptacles, Switches and Fixtures

Marginal

## AmeriSpec Inspection Services

Hallway light bulb flickers. We recommend replacing light and testing prior to closing for proper operation.

**14.8 Wet Bar**

Not Applicable

**14.9 Fireplaces and Woodstoves**

Repair or Replace

## AmeriSpec Inspection Services

(1) Creosote build-up was observed in the fireplace located in the living room. Creosote is a naturally produced flammable by-product of combustion. Its presence is a limiting factor on a visual review. We suggest having cleaned and inspected by a fireplace and chimney specialist to assure safe operation prior to close.



(2) The damper was missing at the time of inspection in the fireplace located in the living room. Review by a licensed fireplace specialist is needed make repairs/corrections to ensure safe and proper operation prior to close.

**14.10 Stairways**

Repair or Replace

## AmeriSpec Inspection Services

Steep steps noticed at the basement entering the garage. We suggest repairs as needed to prevent possible trip hazard.

**14.11 Interior Rooms and Areas Comments**

Marginal

## AmeriSpec Inspection Services

Possible temperature difference noticed at the upstairs attic room. If client has concerns, we suggest further review/repairs needed by a qualified HVAC professional.



## Styles & Materials

**Wall Material(s):**

Gypsum Board (Drywall)

**Ceiling Material(s):**

Gypsum Board (Drywall)

**Interior Doors:**

Hollow Core

**Window Type(s):**

Same as Exterior

**Types of Fireplaces / Wood Stove:**

Wood Burning

**Operable Fireplaces:**

NA

## 15. Bedroom(s)

*Our bedroom review is visual and evaluated with similar aged homes in mind. Inspections are limited to visible and/or accessible areas. Bedroom windows should be kept in good repair in the event they are needed for an emergency exit. We suggest making sure that they always operate freely (without use of force or a key or tool) and place furniture so as to keep windows accessible for emergency use. Older homes may have windows that do not meet current size and height safety standards for emergency exit. Keeping them accessible and in good operating condition enhances their safety. Providing an escape ladder is a recommended safety enhancement for all upper level bedrooms. Rooms used for sleeping should have functional exits to both the interior and exterior of the home. Personal belongings and furniture restrict access to receptacles, windows, walls, and flooring. These areas should be reviewed during your final walk through to reveal hidden or concealed damage.*

## Items

### 15.0 Floors

Serviceable

### 15.1 Walls

Serviceable

## AmeriSpec Inspection Services

**15.2 Ceilings**

Serviceable

**15.3 Doors (representative number)**

Serviceable

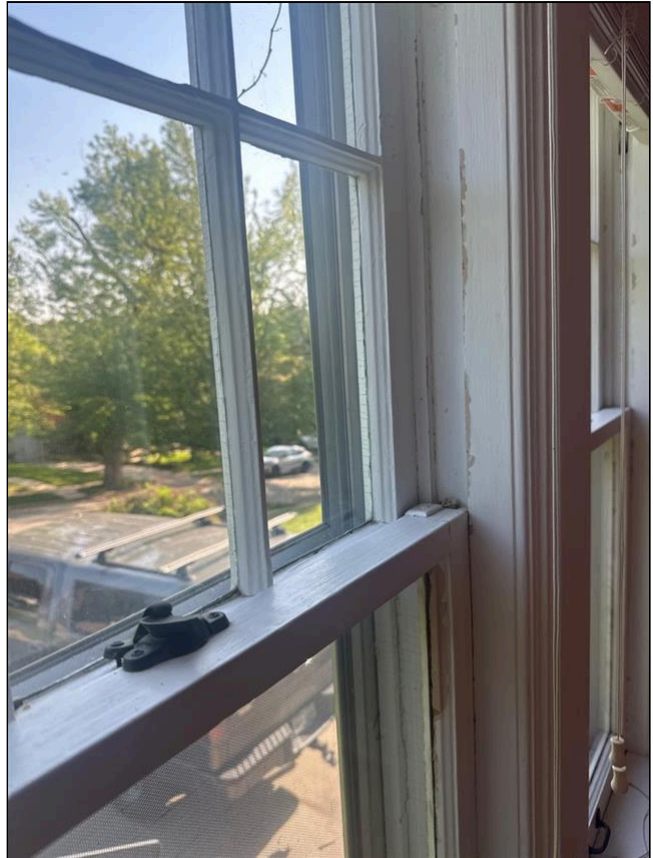
**15.4 Closet Doors (representative number)**

Serviceable

**15.5 Windows (representative number)**

Marginal

Multiple windows are missing components. We suggest repairs/replacements as needed for proper function.



**15.6 Heat / Cooling Source**

Serviceable

**15.7 Receptacles, Switches and Fixtures**

Serviceable

## 16. Attic

*Our evaluation of the attic is limited to lighting, personal storage and accessibility. If an attic is heavily insulated, the inspector will have a difficult time accessing and reviewing ceiling joists, electrical wiring, plumbing, ducting, etc. Water stains around roof penetrations such as chimneys, plumbing, and vents are very common. It is usually impractical to determine if these stains are active unless they are leaking at the time of inspection thus when stains are present further monitoring is advised. Viewing during a rainstorm would increase the chances of determining whether leaks exist or the current status of staining. Older roofs are, of course, more prone to water infiltration but new roofs can develop leaks as well. Regular monitoring and maintenance of all roofs is advised. We suggest checking roof surfaces each spring and fall and after each severe storm. Increasing insulation in the attic is one of the best ways to improve the energy efficiency of a home and to reduce the costs of heating and cooling. Most homes we view can benefit from additional insulation. The Department of Energy website (<http://www.eere.energy.gov/>) can help you to determine recommended upgrades and the payback period for insulation improvements in your geographical area.*

## Items

**16.0 Attic Access**

Serviceable

**16.1 Attic Framing**

Serviceable

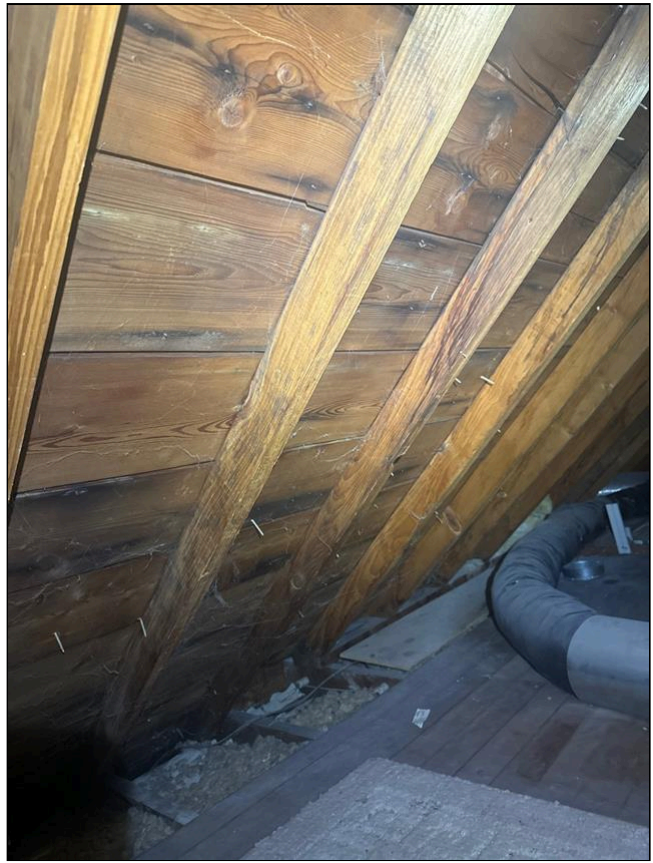
Rafters are serviceable



## 16.2 Attic Sheathing

Serviceable

Wood slat decking serviceable

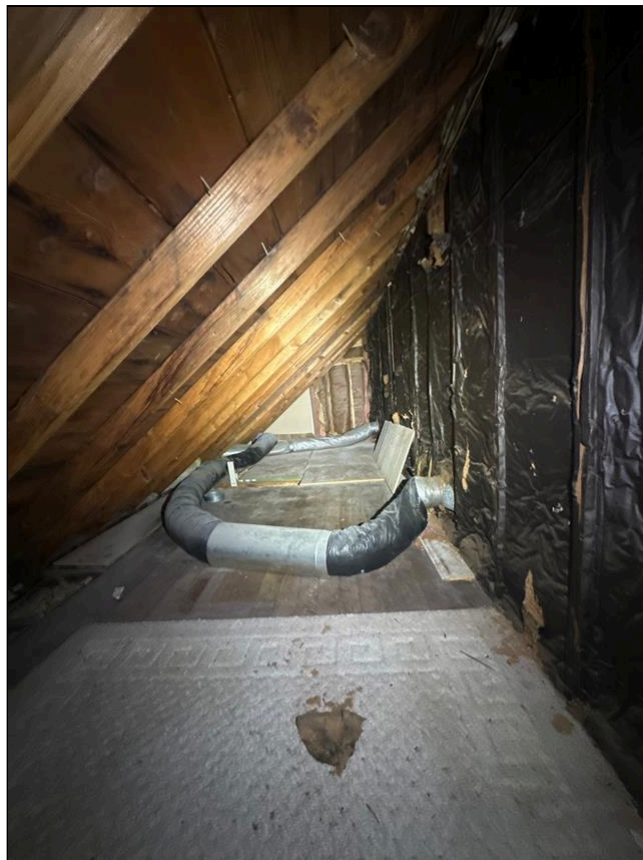


### 16.3 Attic Insulation

Marginal

## AmeriSpec Inspection Services

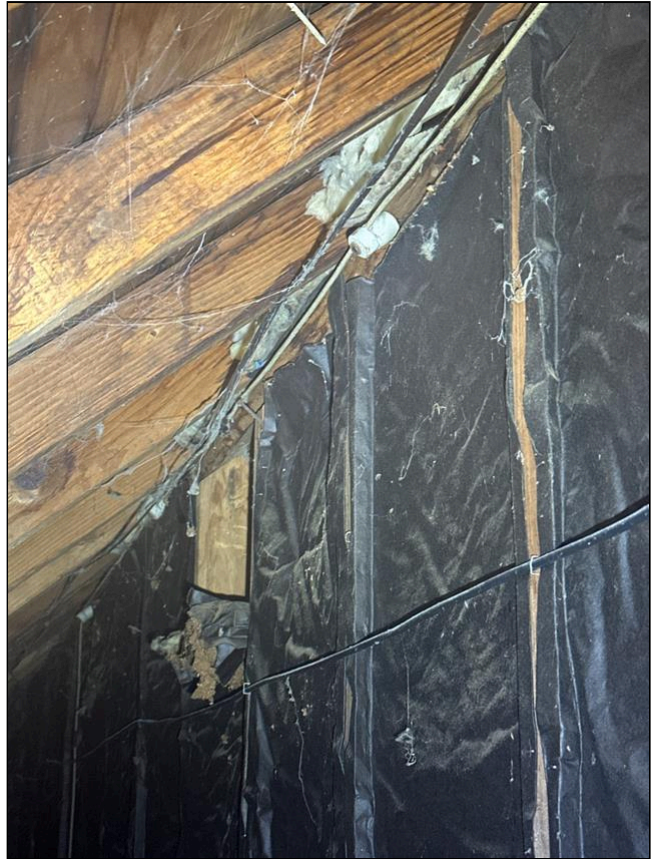
Insulation is serviceable where visible, limited review due to flooring.



**16.6 Electrical Wiring, Switches and Fixtures**  
Repair or Replace

## AmeriSpec Inspection Services

Knob and tube wiring found, knob and tube can exist in walls and insulation. We recommend further review/repairs needed by a qualified electrician for enhanced safety.



## Styles & Materials

**Method Used to Inspect Attic:**

Walked

**Attic Access Type:**

Walk-In (Floored)

**Attic Insulation:**

Blown-In

**Ventilation:**

Gable Vents



## SUMMARY REPORT

**AmeriSpec Inspection Services**  
**2008 Winding Creek Circle**  
**Polk City, IA 50226**

## SUMMARY

Doc #:	42560	Client Name:	Chris Holbeck
Dwelling Address:	5135 Parker St Omaha NE 68104	Inspector:	Jorge Islas-Hernandez

*This summary is provided as a service to assist in verifying that noted items are not in proper working order at the time of inspection. We do not have access to individual sales contracts and suggest client review sales contract with a real estate professional and/or real estate attorney to determine what repairs if any are to be made.*

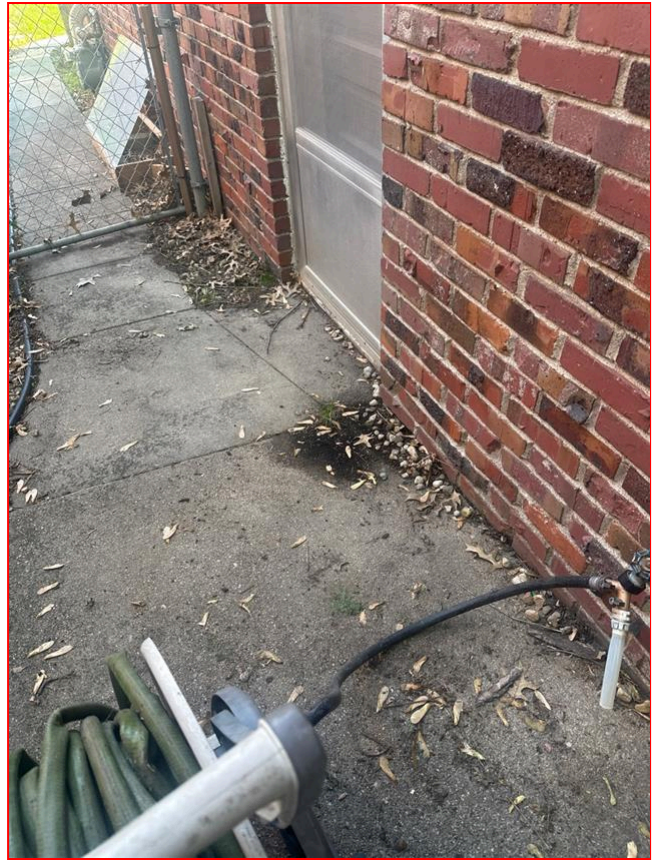
**This summary is only part of the inspection report. The entire inspection report must be reviewed prior to close.**

### 1. Exterior

#### 1.1 Walkways

##### **Repair or Replace**

Settlement noticed at the concrete walkways. Recommend repairs needed to prevent further damage and possible pooling near the foundation and possible trip hazards.



### 1.13 Stairs and Steps

#### Repair or Replace

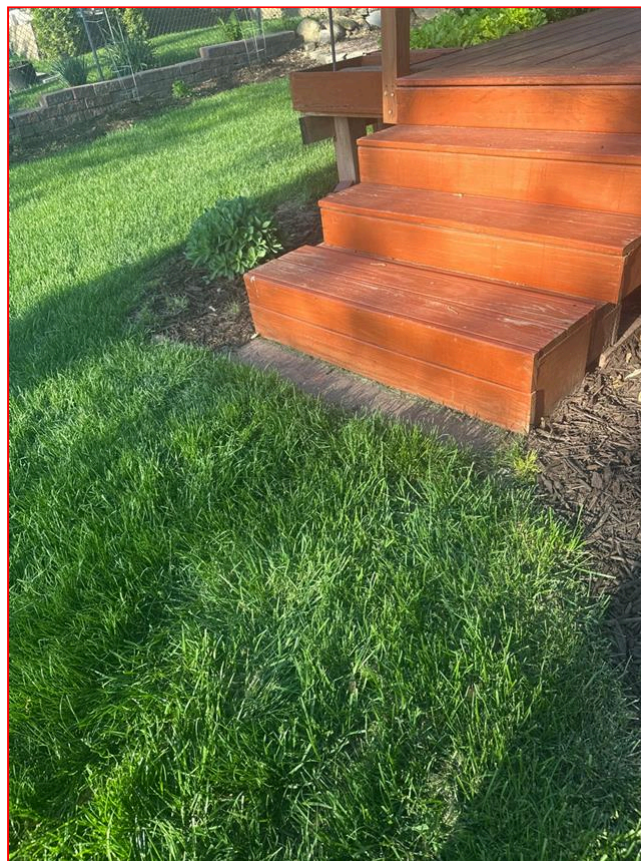
(1) No hand railings noted on steps at rear of home, recommend installing hand rail for safety. When

## AmeriSpec Inspection Services

ever four or more risers are present a handrail is usually required.



(2) Steep step noticed at the rear of the home. We recommend repairs as needed to prevent possible trip hazards.



## 5. Structural Components

### 5.1 Foundation, Basement and Crawlspace

#### Repair or Replace

(1) Gaps noticed at the lower foundation, staining noticed near the coal shoot. We recommend further review/repairs needed by a qualified contractor.





(2) Drain system has been installed in the basement. If possible, we suggest referring back to the seller for additional information about issues and any possible transfer of warranty or documentation.

## 5.9 Windows (Basement)

### Repair or Replace

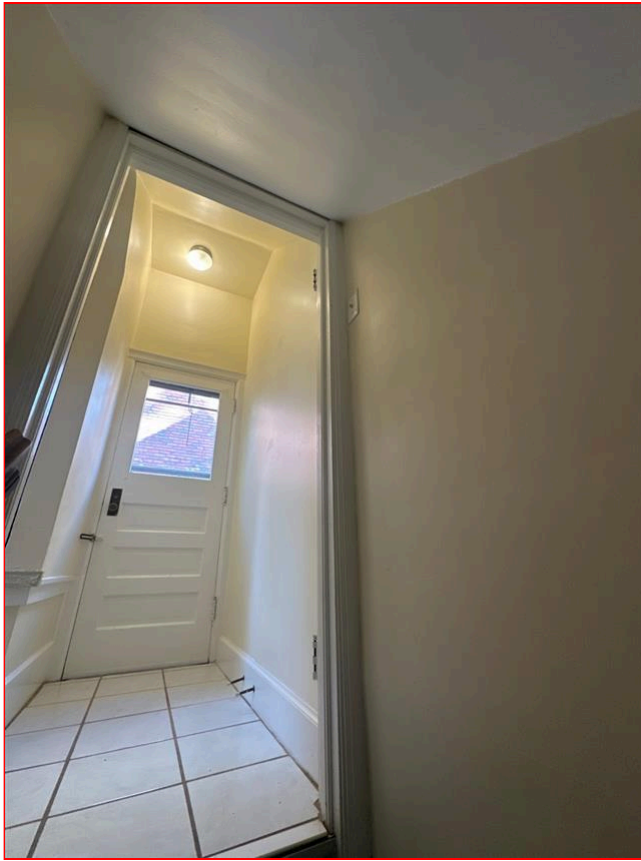
Multiple cracked basement windows found. We recommend repairs/replacements needed to prevent further damage.



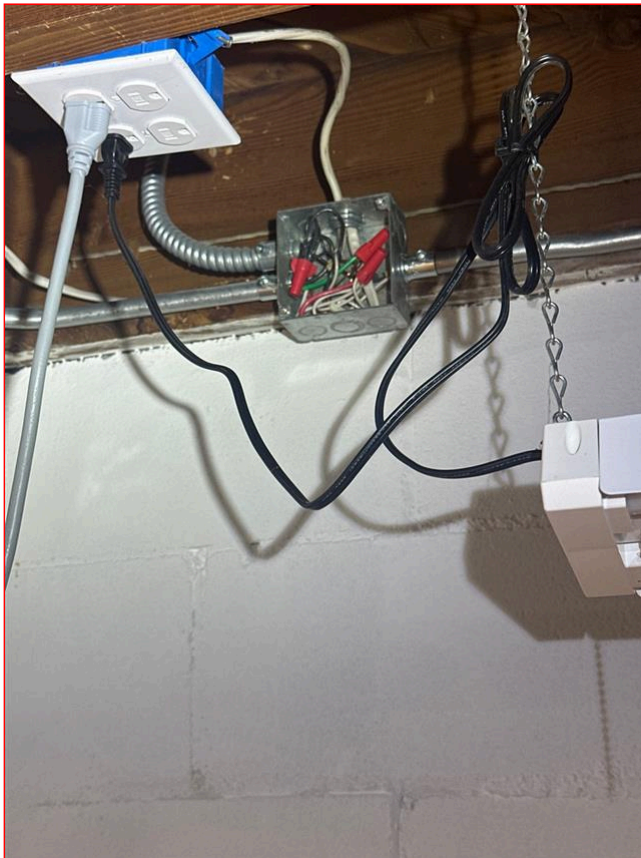
## 5.10 Electrical (Basement and Crawlspace)

### Repair or Replace

(1) Upstairs light switch was inoperable. We recommend repairs needed by a qualified electrician.



(2) Open splices were observed in the basement. This is a "Safety Concern". Whenever an electric wire is cut and reconnected, the "splice" should be encased in a covered "junction box" to prevent shocks and separation of the splice. Client is advised to consult with a licensed electrician prior to closing for repairs/replacement as needed to ensure safety.

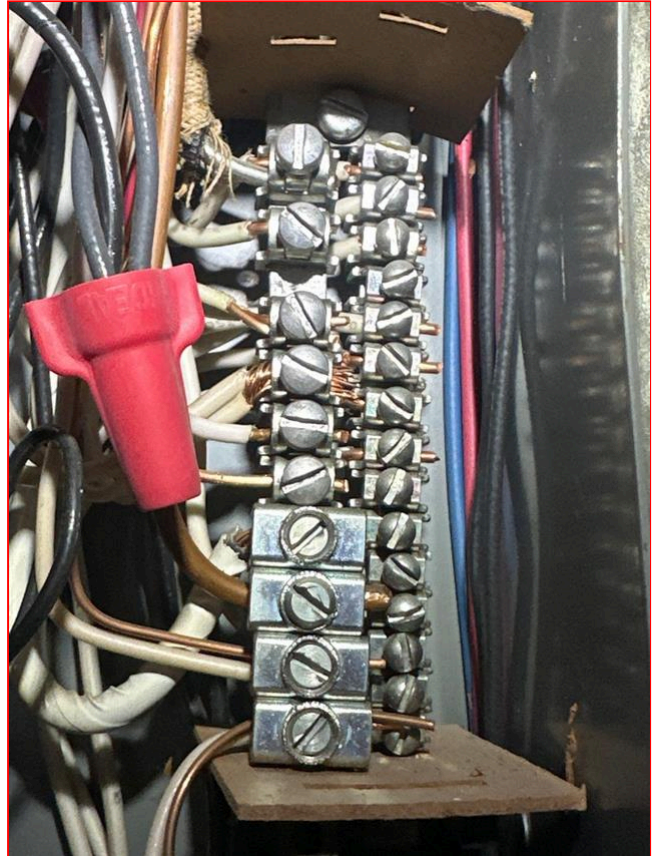
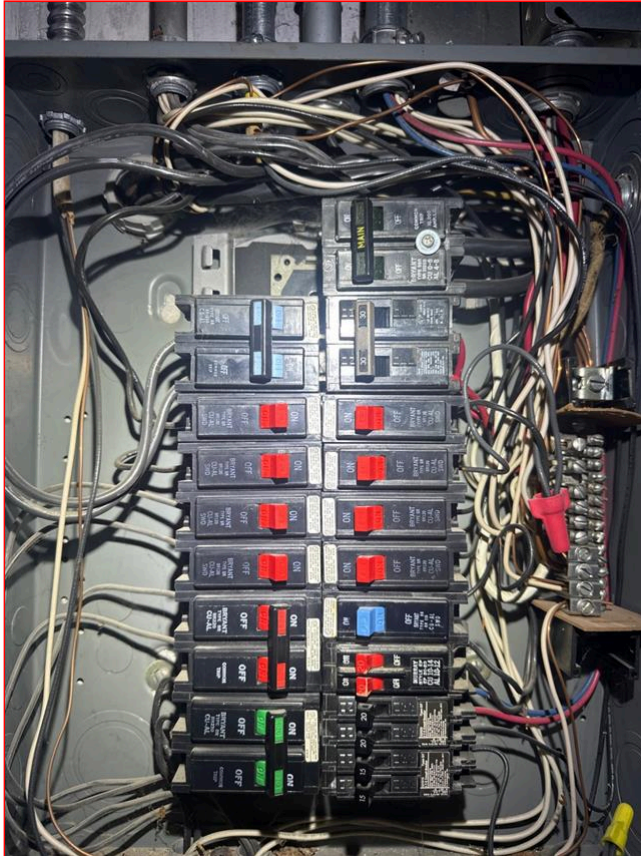


## 7. Electrical System

### 7.2 Main Electrical Panel Condition

#### Repair or Replace

Doubled up neutrals and grounds were observed in the main panel. The connection of a neutral and equipment-grounding conductor creates a significant problem. One of the objectives of a correct arrangement of bonding jumpers, neutrals and equipment grounds is to allow circuit isolation while keeping the equipment grounding conductor still connected to the grounding electrode. A licensed electrician is needed to review the panel and make all corrections necessary for safe and proper operation of the system.



### 7.4 Wiring

#### Repair or Replace

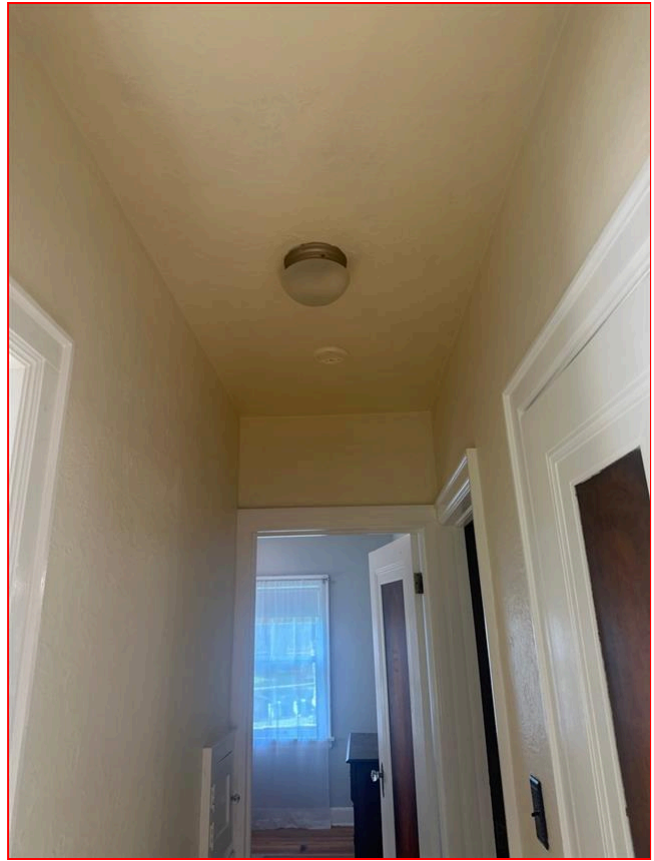
Multiple ungrounded outlets found throughout the home. This may not have been required when the home was built, however, we suggest installing grounding wire or adding GFCI outlets, enhanced safety.



## 7.7 Smoke Alarms

### Not Operated, Repair or Replace

The smoke alarms should be added tested upon moving in to home, smoke alarms should be installed to any rooms that will be bedrooms. We recommend installing monoxide detectors where needed and periodically testing alarms for enhanced safety.

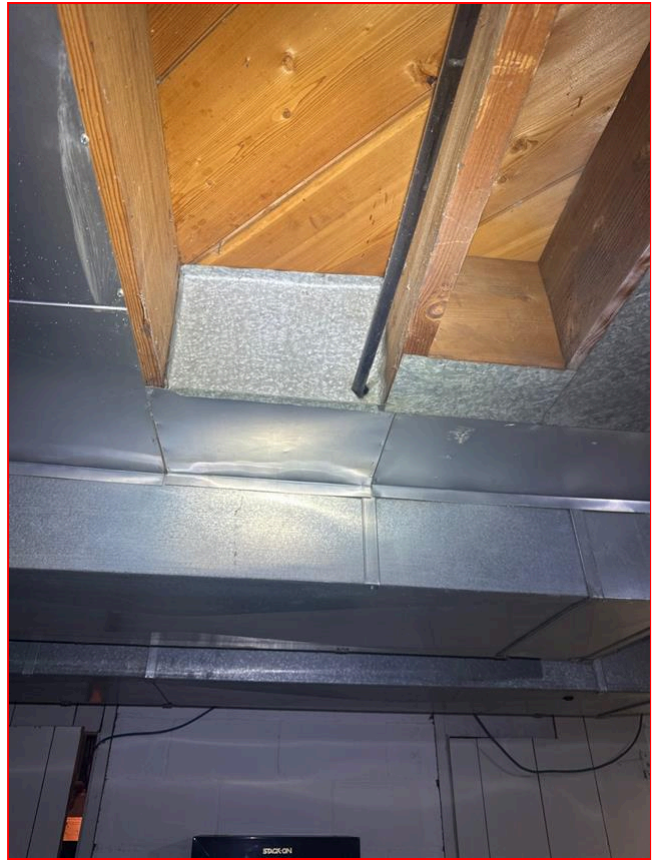


## 8. Heating System

### 8.5 Distribution / Ducting Systems

#### Repair or Replace

(1) Electrical has been inserted through ductwork. This is not allowed. We recommend further review/repairs needed by a qualified contractor.



(2) Possible asbestos materials observed. The materials appeared to be intact at the time of inspection. Asbestos materials are considered safe by the EPA if they are not disturbed, torn, ripped, or damaged. No torn, ripped, or damaged materials were observed. If client has any concerns regarding asbestos materials, an asbestos testing lab should be consulted for further review to ensure safety.



## 10. Water Heater

### 10.0 Water Heater Condition

#### Repair or Replace

Low water temperature noticed at time of inspection. Units typically last 5-10 years. We suggest replacing when needed.



Manufactured 1995



## 10.6 Hot Water Temperature

### Repair or Replace

The water temperature at time of inspection was 90 degrees, which is not within the normal operating range of 120 to 130 degrees. Recommend checking with sellers as to the settings. Many homeowners lower the temperature for a variety of reasons. This could also indicate an issue with the water heater's performance if the water heater is set at the normal temperature. A licensed plumbing contractor should review and make any corrections needed if the thermostat has not been set low intentionally.

## 11. Kitchen and Built-in Appliances

### 11.6 Receptacles, Switches and Fixtures

#### Repair or Replace

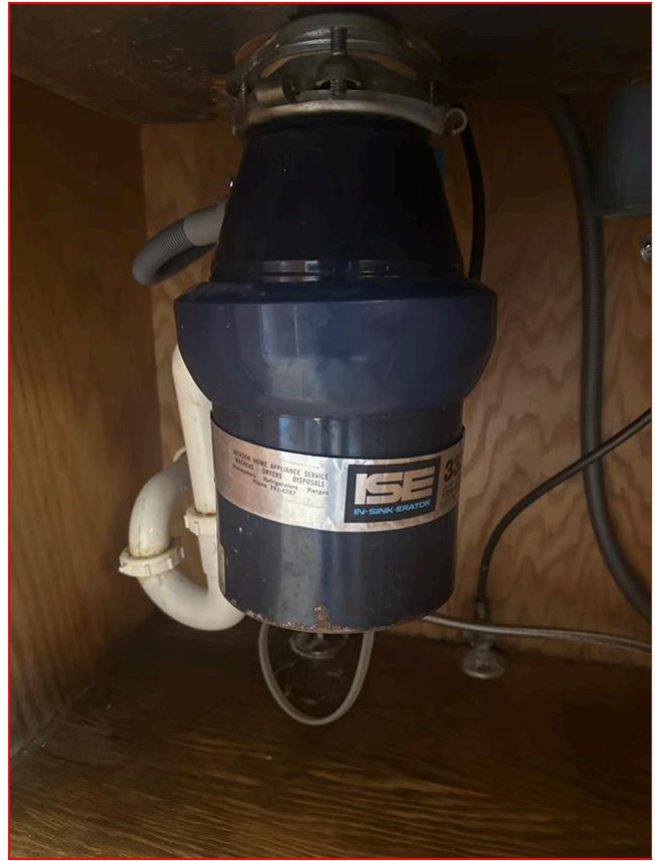
Kitchen outlets 6 feet within the water source are not GFCI protected, ground fault circuit interrupters may not have been required when this home was built. We recommend installing GFCI outlets as needed for enhanced safety. This is typically a buyer improvement.



#### 11.10 Food Waste Disposer

##### Repair or Replace

Obstruction noticed at the kitchen disposal. We recommend repairs/cleaning as needed to prevent possible damage and proper function.

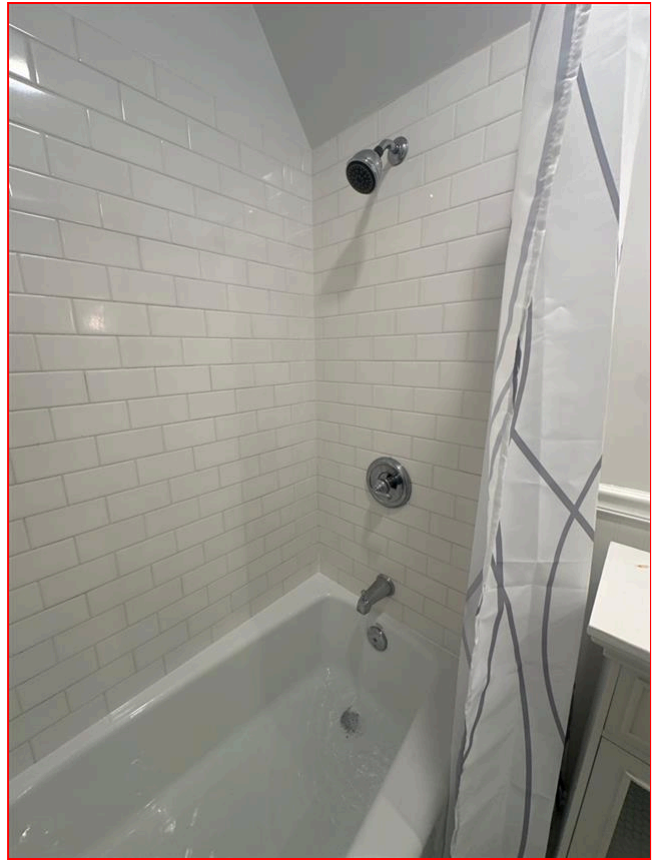


## 12. Bathroom(s)

### 12.10 Shower

#### Repair or Replace

(1) Upstairs bathroom, diverter valve does not function properly, no water comes out of the showerhead. We recommend further review/repairs needed by a qualified contractor.



(2) Main hallway, bathroom shower diverter valve does not fully engage. We suggest repairs/adjustments as needed.

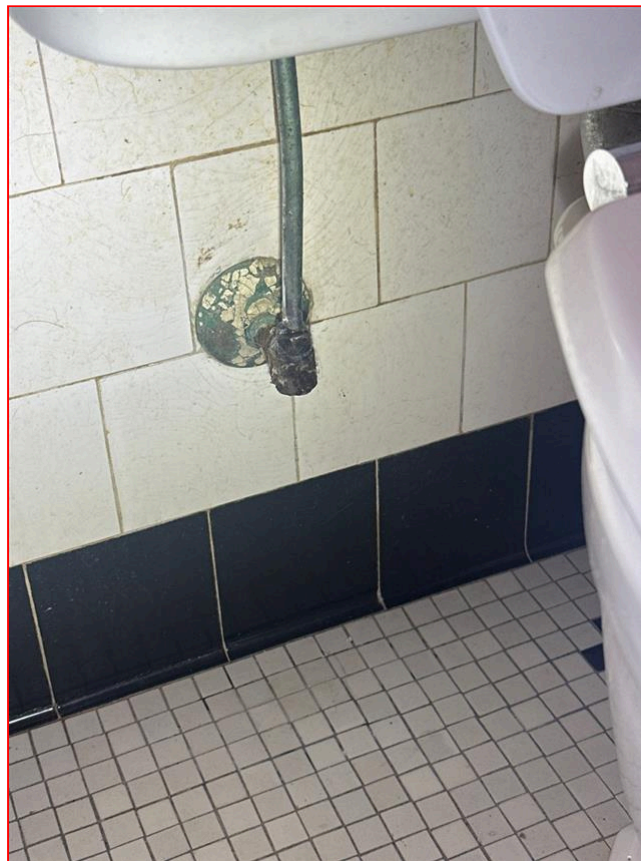
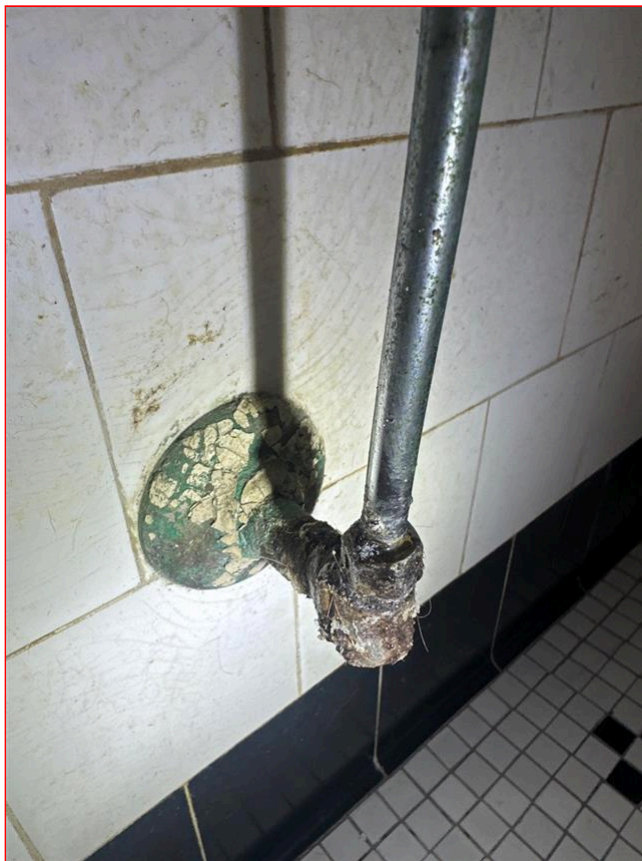


## 12.12 Toilet

## AmeriSpec Inspection Services

**Repair or Replace**

(1) Leak and/or deterioration observed at the toilet water supply line in the hall bathroom. Recommend review by Licensed/Qualified plumber for repair or replacement as necessary.



(2) No shut-off valve observed to the toilet in the hall bathroom. Shut off valves may not have been required when fixture was installed, recommend shut-off valve be installed as a plumbing up-grade.



## 14. Interior Rooms and Areas

### 14.9 Fireplaces and Woodstoves

#### Repair or Replace

(1) Creosote build-up was observed in the fireplace located in the living room. Creosote is a naturally produced flammable by-product of combustion. Its presence is a limiting factor on a visual review. We suggest having cleaned and inspected by a fireplace and chimney specialist to assure safe operation prior to close.



(2) The damper was missing at the time of inspection in the fireplace located in the living room. Review by a licensed fireplace specialist is needed make repairs/corrections to ensure safe and proper operation prior to close.

#### 14.10 Stairways

##### Repair or Replace

Steep steps noticed at the basement entering the garage. We suggest repairs as needed to prevent possible trip hazard.

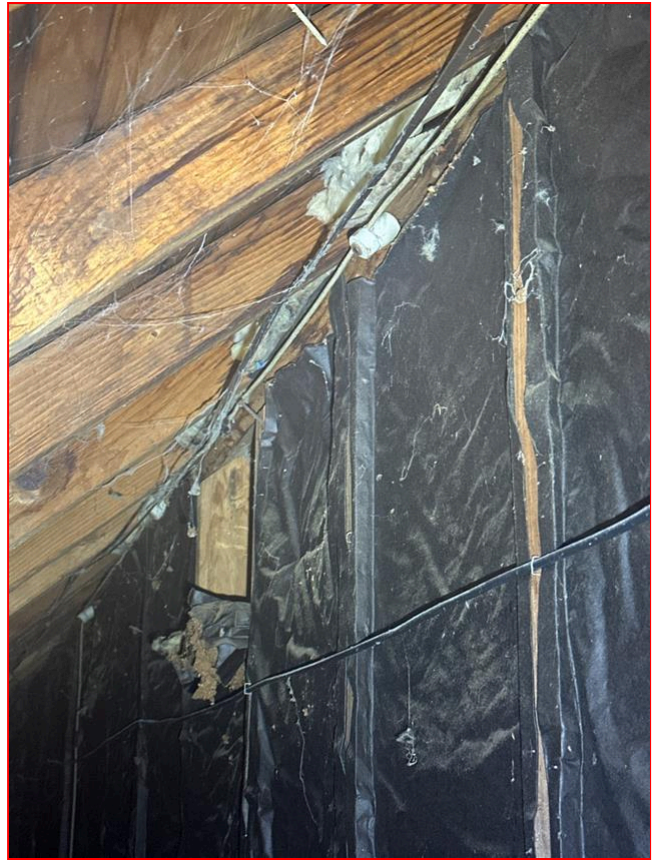


## 16. Attic

### 16.6 Electrical Wiring, Switches and Fixtures

#### Repair or Replace

Knob and tube wiring found, knob and tube can exist in walls and insulation. We recommend further review/repairs needed by a qualified electrician for enhanced safety.



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Licensed To Jorge Islas-Hernandez

## AmeriSpec Inspection Services

**INVOICE**

**AmeriSpec Inspection Services**  
**2008 Winding Creek Circle**  
**Polk City, IA 50226**  
**Inspected By: Jorge Islas-Hernandez**

**Inspection Date: 5/8/2025**  
**Report ID: 42560**

<b>Customer Info:</b>	<b>Inspection Property:</b>
Chris Holbeck	5135 Parker St Omaha NE 68104
<b>Customer's Real Estate Professional:</b>	

**Inspection Fee:**

<b>Service</b>	<b>Price</b>	<b>Amount</b>	<b>Sub-Total</b>
Inspection Fee	385.00	1	385.00
			<b>Tax \$0.00</b>
			<b>Total Price \$385.00</b>

**Payment Method:** Credit Card  
**Payment Status:** Paid  
**Note:**