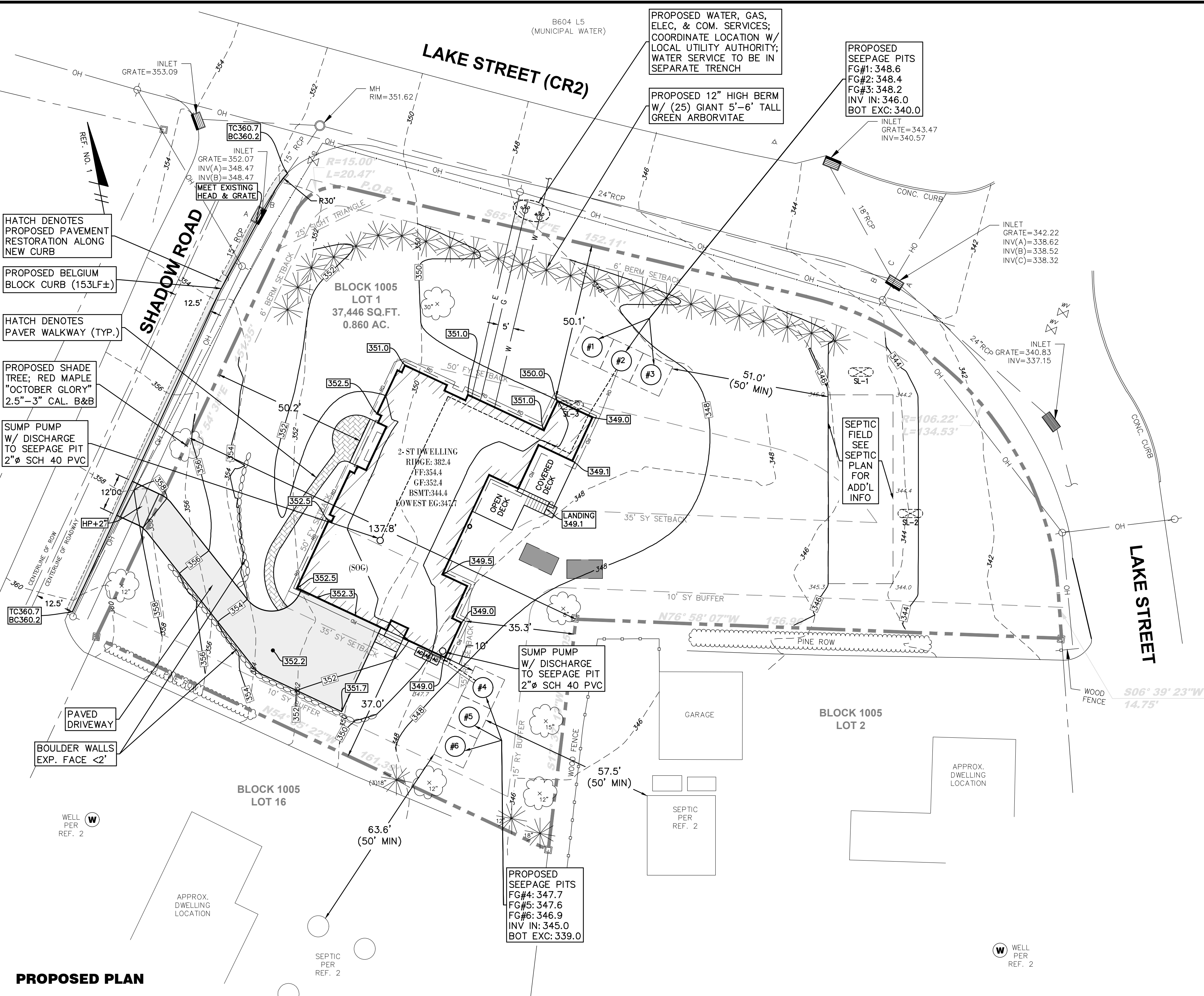
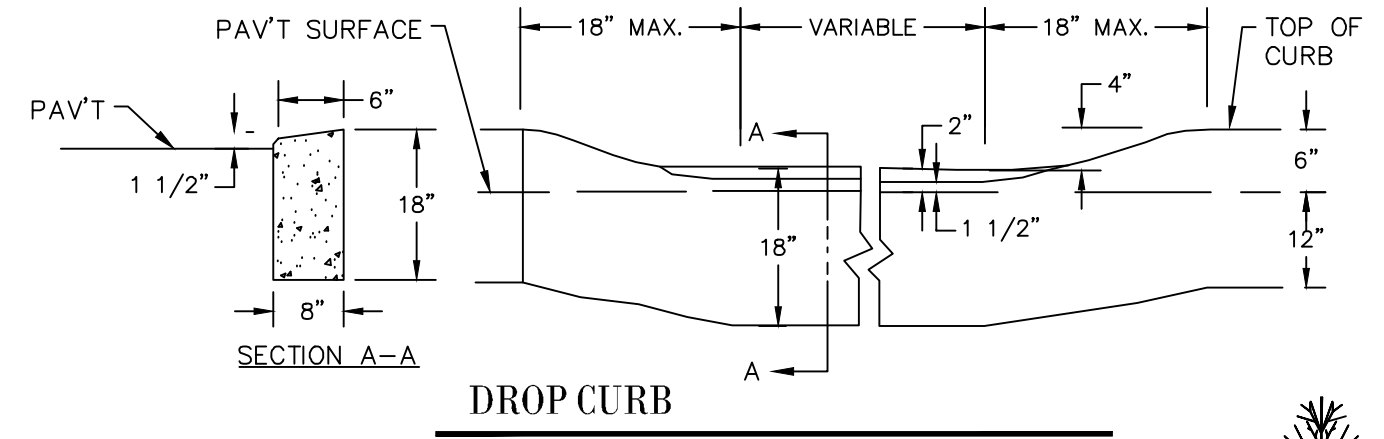


TAX/ZONING MAP
NOT TO SCALE
SHEETS 6, 7, 10

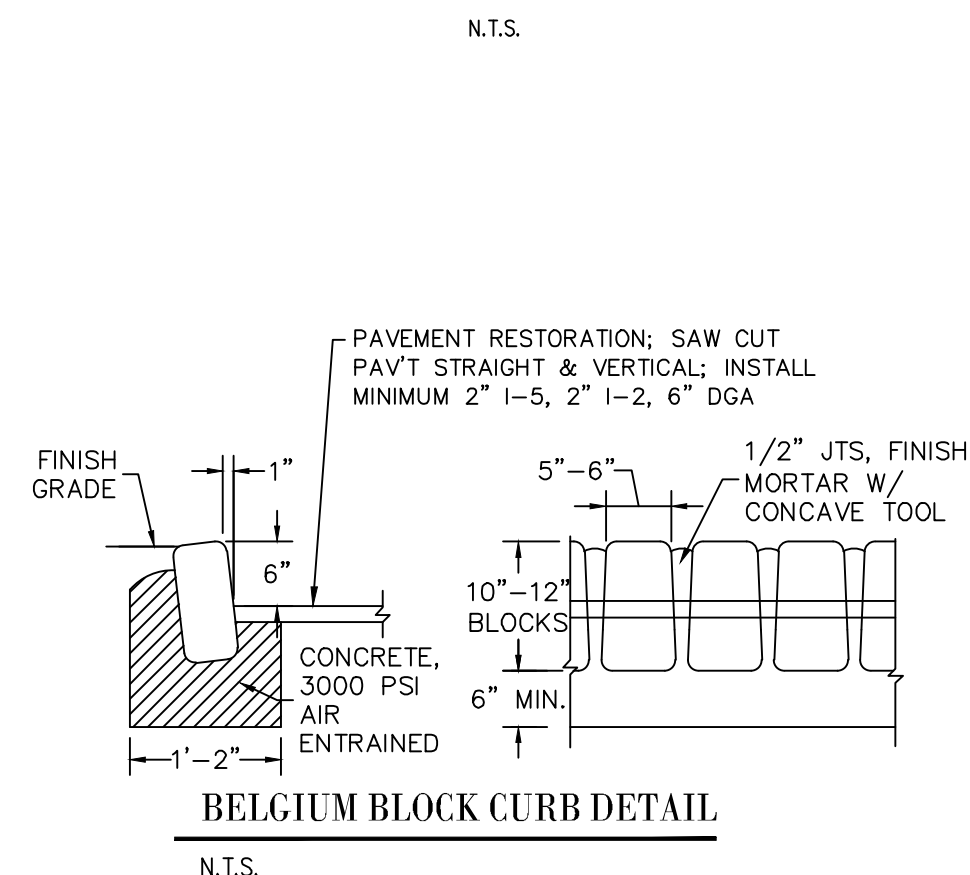
- THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES INCLUDING, BUT NOT LIMITED TO, IBC CODE, STATE UNIFORM CONSTRUCTION CODE, MUNICIPAL CODES AND ORDINANCES, AND FEDERAL, STATE AND LOCAL ENVIRONMENTAL REGULATIONS. CODE REQUIREMENTS SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS, WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL TAKE PRECEDENCE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND SHALL OBSERVE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND THE OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR STRUCTURES. THESE REQUIREMENTS WILL APPLY CONTINUOUSLY 24 HOURS PER DAY UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
- FURNISH ALL LABOR, EQUIPMENT, AND MATERIAL TO COMPLETE THE WORK IN A SAFE, ORDERLY, AND PROFESSIONAL MANNER BY WORKMEN SKILLED IN THEIR TRADE.
- ALL DIMENSIONS ARE MEASURED TO THE ROUGH UNLESS OTHERWISE NOTED. ELEVATIONS AND DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, AND ELEVATIONS IN THE FIELD PRIOR TO THE USE OF SUCH INFORMATION IN BIDDING OR CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL FIELD MEASUREMENTS NECESSARY TO ASSURE PROPER FIT OF FINISHED WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR ACCURACY. DRAWINGS ARE NOT TO BE SCALED, NOTIFY THE ENGINEER IMMEDIATELY OF ANY DIMENSIONAL DISCREPANCIES.
- THE CONTRACTOR SHALL REPAIR IN KIND, ANY AND ALL DAMAGE CAUSED DURING OR RESULTING FROM HIS OPERATION.
- ALL WORK SHALL BE SCHEDULED IN COMPLIANCE WITH THE OWNER'S REQUIREMENTS.
- THE SITE SHALL BE KEPT CLEAN AT ALL TIMES. UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBRIS, ETC. SHALL BE REMOVED AND THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ANY AND ALL PERMITS ASSOCIATED WITH THIS WORK. THE CONTRACTOR SHALL COORDINATE AND ASSIST THE ENGINEER AND AUTHORIZING AGENCIES IN PERFORMING INSPECTIONS, AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND TEMPORARY SUPPORT OF ANY UTILITIES ENCOUNTERED.
- ACTUAL LOCATIONS OF ALL ABOVEGROUND AND UNDERGROUND UTILITIES (PUBLIC AND/OR PRIVATE) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WITH THE COOPERATION OF THE PUBLIC UTILITIES AND/OR PRIVATE MARK OUT COMPANIES, THE CONTRACTOR SHALL LOCATE AND MARK OUT ANY UTILITY SERVICES OR MAINS WITHIN TWENTY (20') FEET OF THE PROPOSED CONSTRUCTION.
- THE ENGINEER'S OBSERVATION OF THE CONTRACTOR'S PERFORMANCE OF THE WORK IS TO BE SOLELY ON BEHALF OF THE OWNER AND NOT ON BEHALF OF THE CONTRACTOR. THE ENGINEER'S OBSERVATIONS ARE NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- THE ENGINEER WILL BE, IN THE FIRST INSTANCE, THE INTERPRETER OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE ENGINEER WILL ALSO HAVE THE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS, NOR FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- BACKFILL SHALL BE COMPACTED TO MINIMUM 95% DENSITY (MODIFIED PROCTOR) UNDER STRUCTURES AND HARDCAPE, MINIMUM 90% DENSITY (MODIFIED PROCTOR) ELSEWHERE
- BACKFILL SHALL CONSIST OF A SUITABLE SELECTED AND APPROVED EARTH GENERALLY FROM STORAGE OF APPROVED EXCAVATED SOIL, FREE FROM REJECTED ORGANIC MATTER, BOGGY, PEATY HUMUS OR OTHER UNSUITABLE MATERIAL SUCH AS SILT, RUBBISH, WASTE, ASHES, OR CINDERS. BACKFILL SHALL BE FREE OF LARGE BOULDERS MORE THAN SIX (6") INCHES IN THE LARGEST DIMENSION. NO FROZEN MATERIAL SHALL BE USED. BACKFILL SHALL BE PLACED AND COMPACTED WITH A VIBRATORY PLATE TAMPER IN MAXIMUM EIGHT (8") INCH LIFTS, UNLESS OTHERWISE NOTED IN THE DRAWINGS AND SPECIFICATIONS.
- ALL DOORWAYS, STAIRS, & RAMPS SHALL BE PROVIDED WITH LANDINGS (1:48MAX) IN ACCORDANCE WITH IBC/IRC, NJ EDITION.



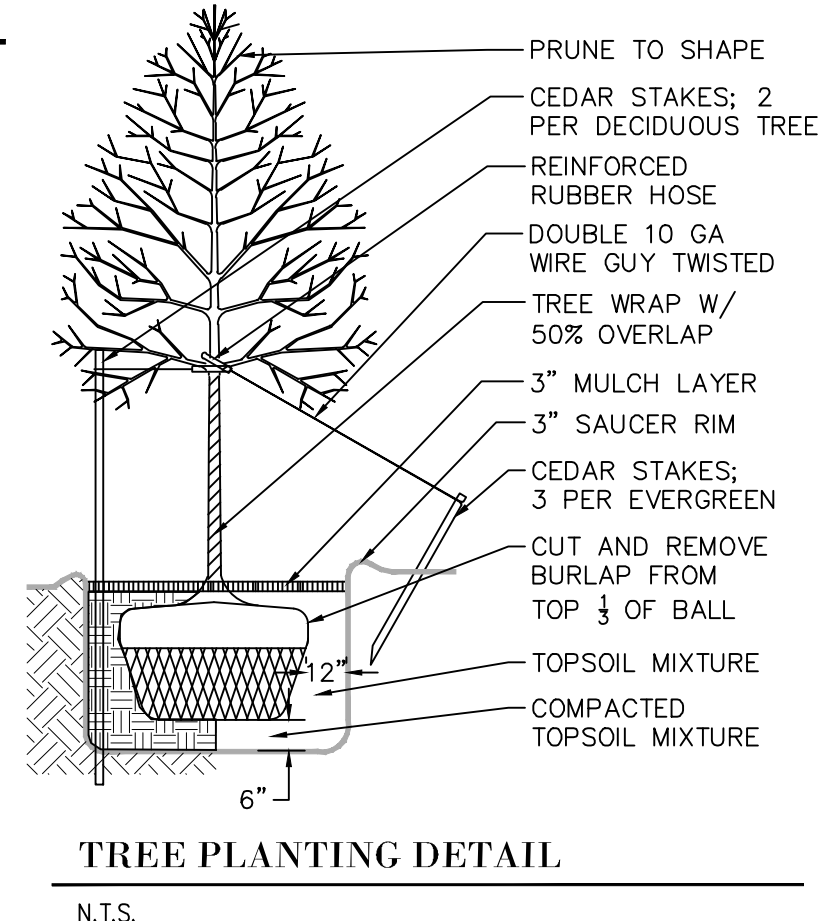
PROPOSED PLAN



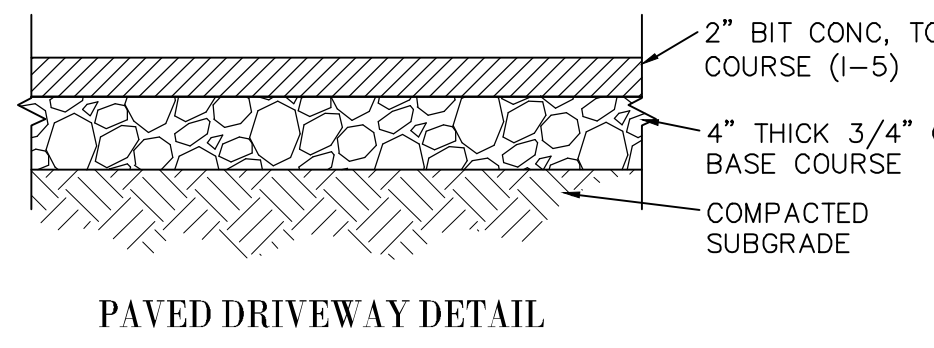
DROP CURB



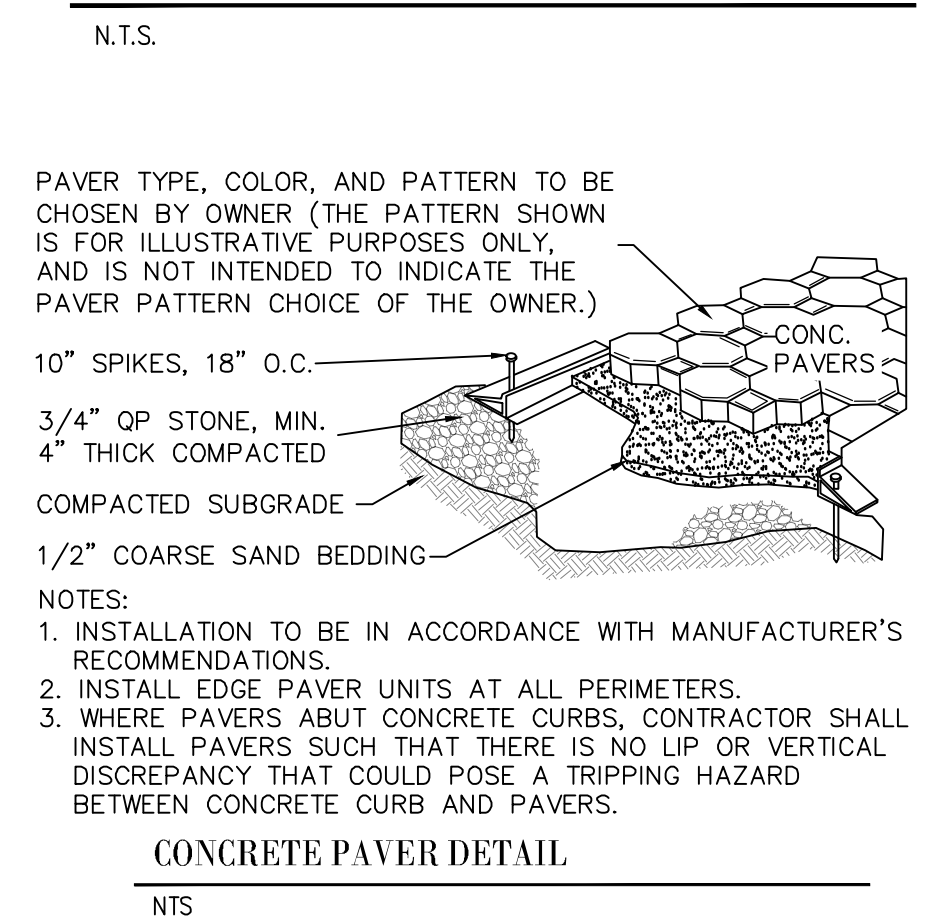
BELGIUM BLOCK CURB DETAIL



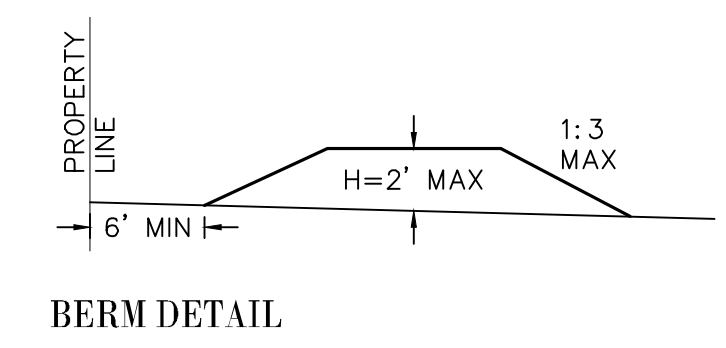
TREE PLANTING DETAIL



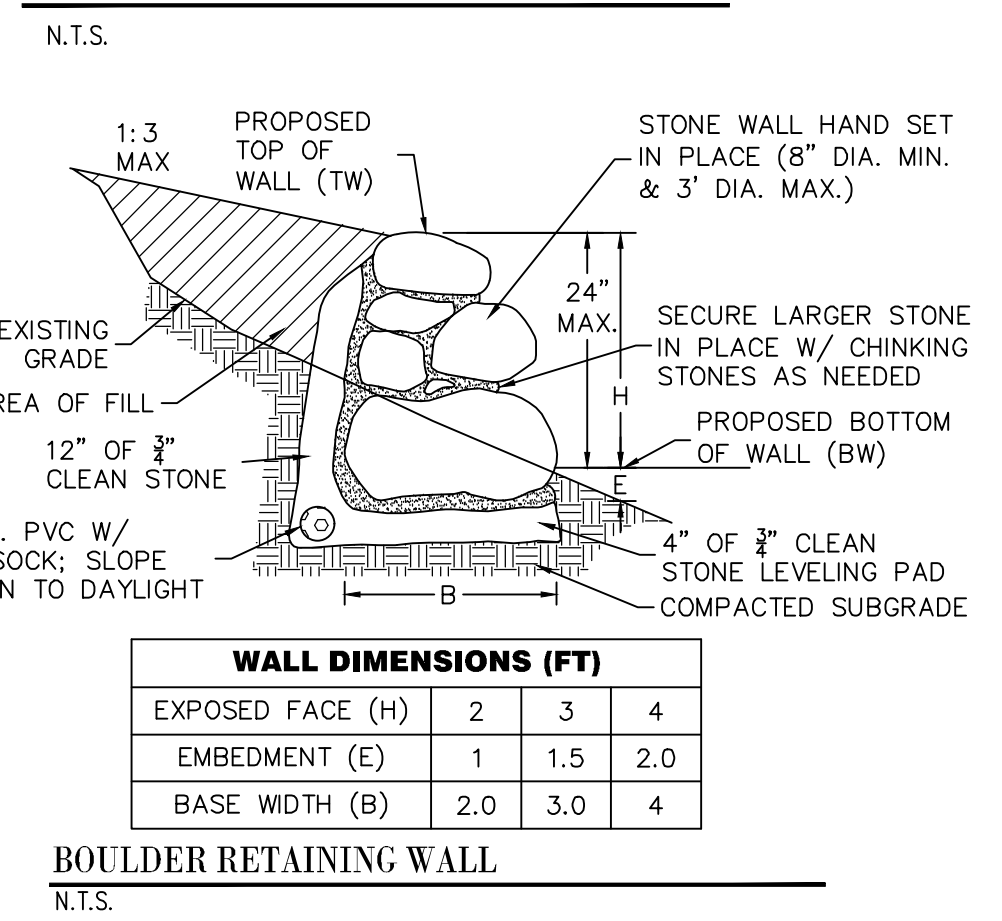
PAVED DRIVEWAY DETAIL



CONCRETE PAVER DETAIL



BERM DETAIL



BOULDER RETAINING WALL

BULK ZONING REQUIREMENTS (R-1 RESIDENTIAL ZONE)

DESCRIPTION	PERMITTED	EXISTING	PROPOSED	COMMENT
MIN. LOT AREA (SF)	37,500	37,446	37,446	ENC
MIN. LOT FRONTAGE—SHADOW RD (FT)	150	151.35	151.35	
MIN. LOT FRONTAGE—LAKE ST (FT)	150	301.39	301.39	
MIN. LOT DEPTH (FT)	150	137.8	137.8	ENC
MIN. FRONT YARD—SHADOW RD (FT)	50	81.4	50.2	
MIN. FRONT YARD—LAKE ST (FT)	50	29.6	50.1	
MIN. SIDE YARD (FT) — SOUTH (FT)	35	85.9	37	
MIN. SIDE YARD COMBINED (FT)	70	N/A	N/A	
MIN. REAR YARD — EAST (FT)	35	41.9	35.3	
MAXIMUM BUILDING HEIGHT (STORIES)	2.5	2	2	
MAXIMUM BUILDING HEIGHT (FT)	35	N/A	34.7	
MAXIMUM BUILDING COVERAGE (%)	15	5.5	12.9	
MAXIMUM IMPROVEMENT COVERAGE (%)	30	15.4	18.6	

ENC - EXISTING NON—CONFORMING CONDITION
V - VARIANCE REQUIRED
N/A - NOT ANALYZED

IMPROVED SURFACE AREAS (SF)

DESCRIPTION	EXISTING	PROPOSED
LOT AREA	37,446	37,446
DWELLING ROOF	1310	4379
COVERED DECK		215
OPEN DECK		217
SIDE STEPS & LANDING		24
DETACHED GARAGE	746	0
BUILDING COVERAGE (SF) (MAX 5616)	2,056	4835
BUILDING COVERAGE (%) (MAX 15)	5.5	12.9
DRIVEWAY		3706
FRONT WALKWAY		287
SIDE WALKWAY		24
REAR WALKWAY		12
A/C PADS		27
FUTURE POOL & PATIO		
IMPERVIOUS COVERAGE (SF) (MAX 11,233)	5,762	6,962
IMPERVIOUS COVERAGE (%) (MAX 30)	15.4%	18.6%
CHANGE IN AREA (SF)		1,200

BUILDING HEIGHT CALCULATION

LOWEST GRADE ADJACENT TO STRUCTURE	347.7
FIRST FLOOR ELEVATION	354.4
FF TO RIDGE DISTANCE	28
PROPOSED RIDGE ELEVATION (382.7 MAX)	382.4
PROPOSED BUILDING HEIGHT (35' MAX)	34.7

SOIL MOVEMENT CALCULATIONS (CY)

DESCRIPTION	QUANTITY	UNIT
HOUSE FOUNDATION	4379SF x 6.5'avg	1,054 CUT
DECK FOOTINGS	15 x 2' x 2' x 3'	7 CUT
DRIVEWAY	1777SF x 0.5'	3 CUT
SIDEWALK	323SF x 0.33'	4 CUT
SEEPAGE PITS	(4) 81SF x 8'	96 CUT
SEPTIC TANKS	60SF x 6'	1 CUT
SEPTIC FIELD	1302SF x 6'avg	289 CUT
SEPTIC FIELD SUITABLE FILL	1302SF x 4'	193 FILL
SITE GRADING	CIVIL3D SURFACE VOLUME	344 FILL
TOTAL CUT		1455 CUT
TOTAL FILL		537 FILL
NET SOIL REMOVED FROM SITE		918 CUT

CIVIL3D SURFACE VOLUME ANALYSIS (CUT/FILL SUMMARY)

SURFACE	2DAREA	CUT	FILL	NET
V1	25264	66	410	344

REFERENCES:
1. DRAWING TITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY FRENCH & PARRELO, DATED 5.04.2023.

APPLICANT INFORMATION:
SHADOW RD, LLC
c/o MARIUSZ NAWROCKI
FOX CONSTRUCTION, LLC
984 RT 9, SUITE 4B
PARLIN, NJ 08859
732.313.7056
MARIO@FOX-GC.COM

PLOT PLAN

SHADOW RD, LLC
SHADOW ROAD
BLOCK 1005 LOT 1

BERGEN COUNTY BOROUGH OF UPPER SADDLE RIVER NEW JERSEY

RICHARD WESTBROCK & ASSOCIATES
44 GARRET PLACE
MIDLAND PARK, NEW JERSEY
(201)978-4519 WostbrockEng@gmail.com

PROFESSIONAL ENGINEER
NJ 24620411700
NY 079364-1
PA 078699
CT 0027089

PROJECT No. 23024
DRAWN RW
CHECKED RW
SCALE 1"=20'
DATE 5.31.2023
SHEET No. 1

BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH UNROTTED STRAW AT A RATE OF 2 TONS PER ACRE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
- STABILIZATION SPECIFICATIONS:
 - TEMPORARY SEEDING AND MULCHING:
 - GROUND LIMESTONE – APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - FERTILIZER – APPLY 11LBS. /1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
 - SEED – PERENNIAL RYEGRASS 100 LBS. /ACRE (2.3 LBS. /1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - MULCH – UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS. /1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - PERMANENT SEEDING AND MULCHING:
 - TOPSOIL – A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED.
 - GROUND LIMESTONE – APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - FERTILIZER – APPLY 11 LBS. /1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
 - SEED – TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS. /ACRE (8 LBS. /1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDING REQUIRES IRRIGATION).
 - MULCH – UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS. /1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE.
- A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" – 2 1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
- MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- DRIVEWAYS MUST BE STABILIZED WITH 1" – 2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 28-1 OF THE NJ STANDARDS. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
- DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
- TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS.
- THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
- A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
- THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE; BERGEN COUNTY SCD, 700 KINDERKAMACK ROAD, SUITE 106, ORADELL, NJ 07649. TEL: 201-261-4407; FAX 201-261-7573.
- THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
- THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.

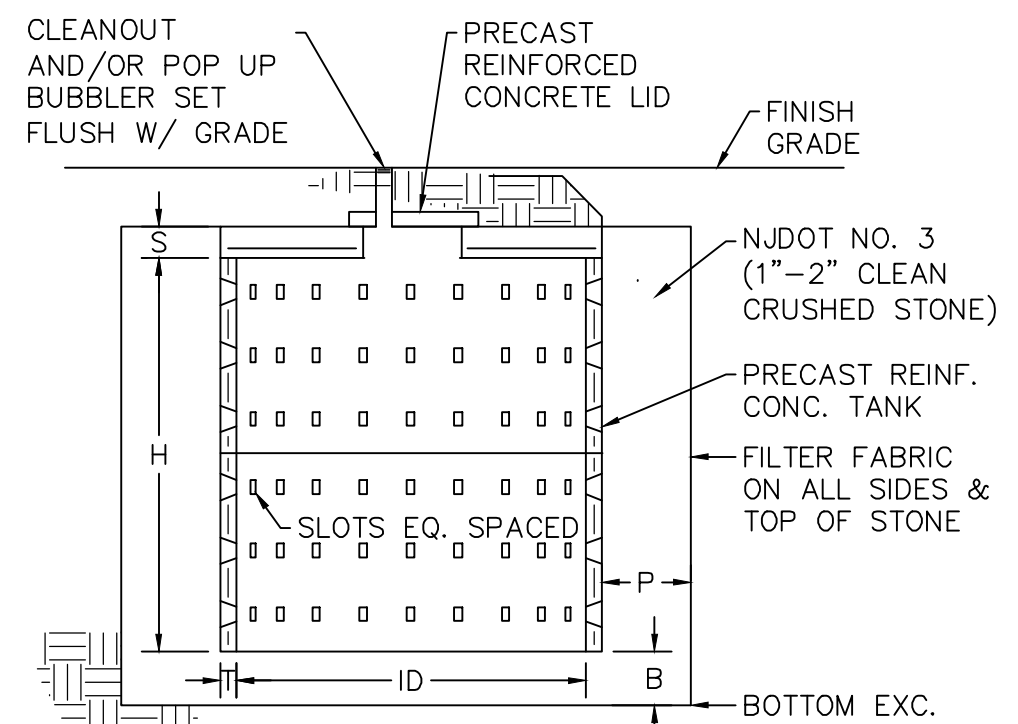
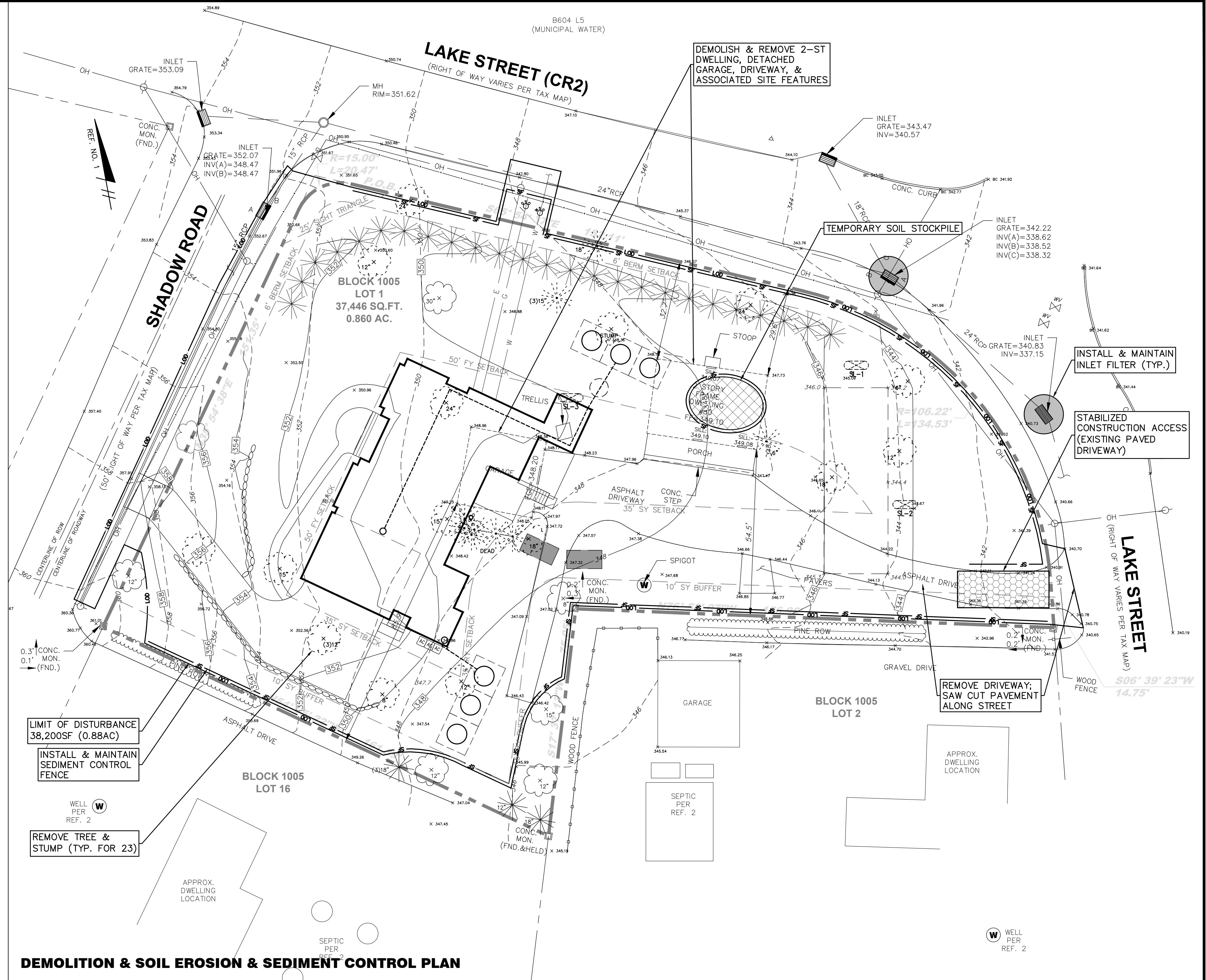
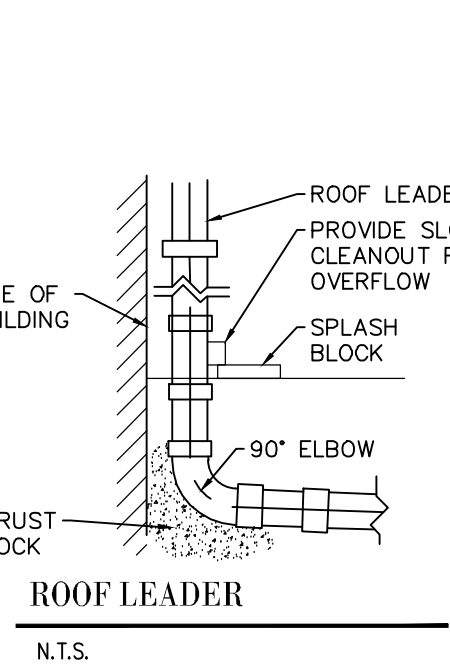
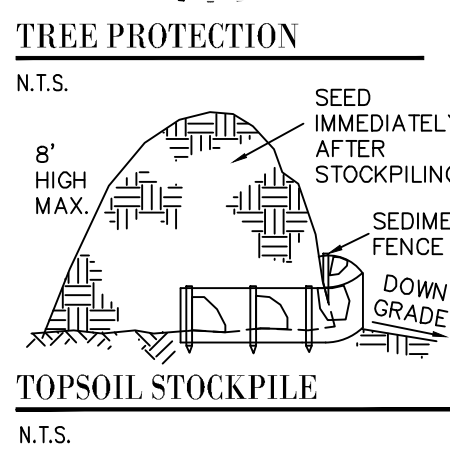
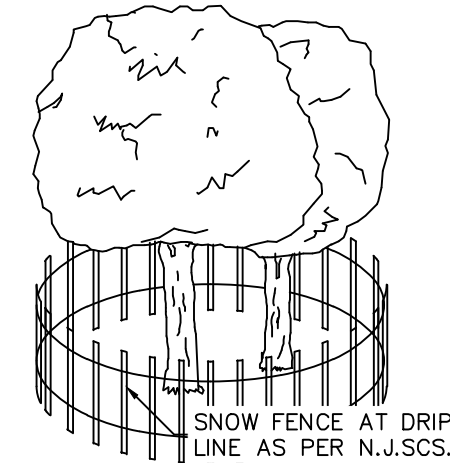
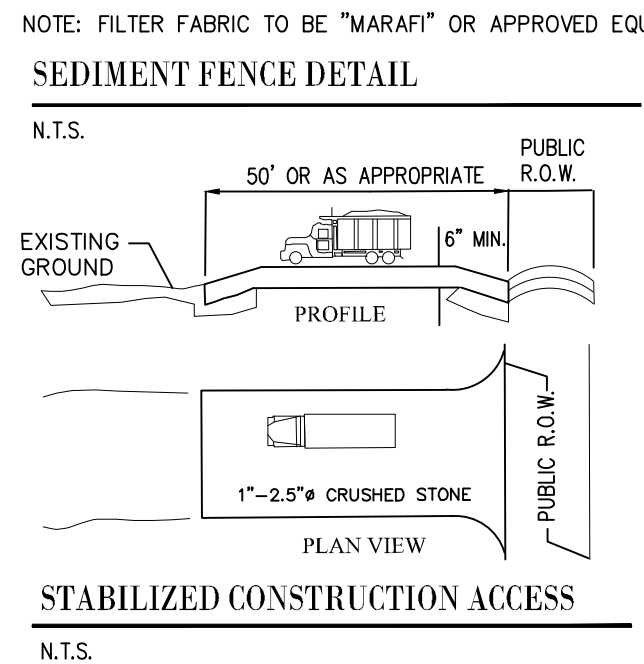
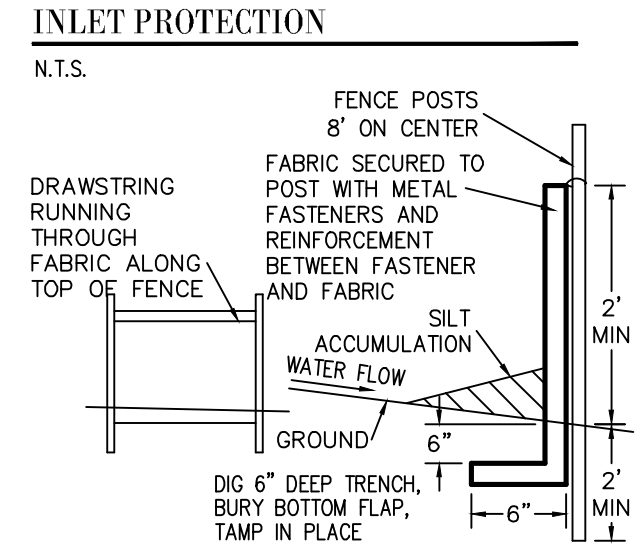
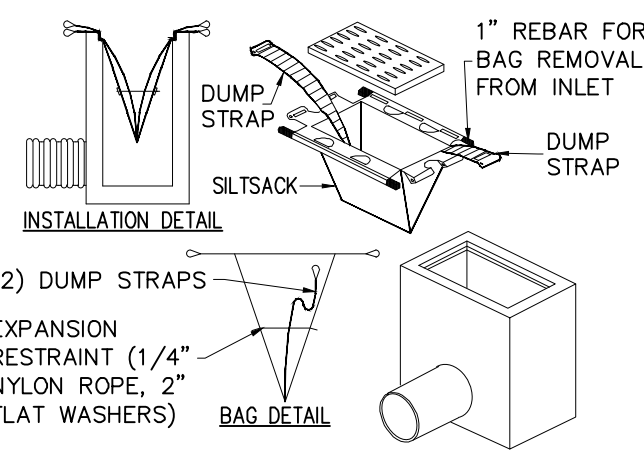
REVISED 12/7/17

SEQUENCE OF CONSTRUCTION

- OBTAIN CONSTRUCTION PERMITS FROM MUNICIPAL OFFICE & SOIL CONSERVATION DISTRICT, IF & WHERE REQUIRED
 - INSTALL FILTER FABRIC, CONSTRUCTION FENCING & CONSTRUCTION STABILIZED ACCESS & SEDIMENT FENCING AT LOCATION INDICATED ON THE CONTRACT DRAWINGS (1 DAY)
 - ROUGH GRADE SITE FOR PROPOSED IMPROVEMENTS (2 WEEKS)
 - INSTALL NEW STORM DRAINAGE AND PROTECT WITH SESC MEASURES. SCHEDULE ENGINEER (WITH FIVE (5) BUSINESS DAYS NOTICE FOR EXCAVATION WITNESS AT DRYWELL LOCATION TO SERVE AS SOILS TEST PIT, INSPECT FOR SEASONAL HIGH GROUND WATER, AND TEST SOILS AT LABORATORY FOR PERMEABILITY RATINGS. INSTALL INLET FILTERS ON ALL NEW STORM DRAINAGE STRUCTURES (2 WEEKS)
 - INSTALL STRUCTURES (8-12 WEEKS)
 - INSTALL HARDSCAPE (2 WEEKS)
 - INSTALL LANDSCAPING (1 WEEK)
 - SITE AND LAWN RESTORATION OF DISTURBED AREAS. UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5" (MINIMUM 4"), FIRMED IN PLACE (2 DAYS)
 - REMOVE SESC MEASURES AFTER SOILS HAVE BEEN STABILIZED (1 DAY)
- TOTAL CONSTRUCTION TIME (4-6± MONTHS)

SOIL COMPACTION EXEMPTION NOTE

THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS LOCATED IN A METROPOLITAN PLANNING AREA



		DIMENSION TABLE						STORAGE (CF)	STORAGE (GAL)
QTY	DUTY	S (IN)	H (IN)	P (IN)	T (IN)	ID (IN)			
6	LIGHT	4	68	12	24	3	72	1180	8824
TOTAL STORAGE PROVIDED =							1180	8824	

• USE PEERLESS MODEL B5 OR EQUIVALENT: 130CF (1000 GALLON)

- NOTES**
- SEEPAGE PIT SHALL BE PRECAST CONCRETE.
 - THE FOLLOWING STORM SYSTEM PIPE CHARACTERISTICS TO BE FOLLOWED, UNLESS OTHERWISE INDICATED ON THE PLAN:
 - UTILIZE 4" SDR35 PVC FOR ALL PATIO DRAIN PIPES
 - ALL FITTINGS TO BE THE SAME RATING AS THE PIPE
 - PIPE SLOPES 2% MIN. (OR 6" @ 1% MIN. UNLESS NOTED ON PLAN)
 - CONTRACTOR TO COORDINATE DOWN SPOUT LOCATIONS W/ ARCHITECTURAL PLANS
 - CASTINGS & CLEANOUTS TO MATCH FINISHED SURFACE GRADE.
 - CONTRACTOR MUST CERTIFY THAT BACKFILL HAS BEEN COMPACTED TO 90% MODIFIED PROCTOR DENSITY MINIMUM (95% UNDER HARDSCAPE SURFACES).
 - PRIOR TO INSTALLATION, CONTRACTOR SHALL PERFORM TESTS IN ACCORDANCE WITH LOCAL, COUNTY, AND STATE REGULATIONS AT EACH SEEPAGE PIT LOCATION TO VERIFY ACCEPTABLE PERCOLATION RATES.
 - OPERATION, INSPECTION, AND MAINTENANCE OF THE ON-SITE SEEPAGE PIT(S) & DRAINAGE SYSTEMS ARE THE RESPONSIBILITY OF THE PROPERTY OWNERS. PIT(S) SHALL BE INSPECTED AFTER EACH RAINFALL EVENT OF TWO (2) INCHES OR MORE, BUT NOT LESS THAN TWICE ANNUALLY.
- DRAINAGE DESIGN STORM:**
MUNICIPAL REQ:
• 10 YR 60 MIN DURATION (2") FOR TOTAL IMPERVIOUS AREA

REQUIRED STORAGE VOLUME		
CHANGE IN AREA	STORAGE (CF)	STORAGE (GAL)
6,962	1160	8,679

Before You Dig, Drill Or Blast!
CALL US TOLL FREE
(800) 272-1000
New Jersey Statewide Utility Information
NJ SCD 02/20/2018 2:34:24 PM
NJ SCD 02/20/2018 2:34:24 PM

DATE	REVISION
8.09.2023	BOROUGH ENGINEER COMMENTS
8.01.2023	BOROUGH ENGINEER COMMENTS
7.17.2023	SUEZ WATER SERVICE COMMENTS

20 10 0 20 30 40
GRAPHIC SCALE

DEMOLITION & SOIL EROSION & SEDIMENT CONTROL PLAN

SHADOW RD, LLC
SHADOW ROAD
BLOCK 1005 LOT 1
BERGEN COUNTY BOROUGH OF UPPER SADDLE RIVER NEW JERSEY

RICHARD WESTBROCK & ASSOCIATES
44 GARRET PLACE
MIDLAND PARK, NEW JERSEY
(201)978-4519 WostbrockEng@gmail.com

APPLICANT INFORMATION:
SHADOW RD, LLC
c/o MARIUSZ NAWROCKI
FOX CONSTRUCTION, LLC
984 RT 9, SUITE 4B
PARLIN, NJ 08859
732.313.7056
MARIO@FOX-CC.COM

PROFESSIONAL ENGINEER
NJ 2460411700
NY 079364-1
PA 078699
CT 0027089

RICHARD WESTBROCK, P.E.
LICENSED PROFESSIONAL ENGINEER
No. GE41117

PROJECT No.	DRAWN	CHECKED	SCALE	DATE	SHEET No.
23024	RW	RW	1"=20'	5.31.2023	2

