

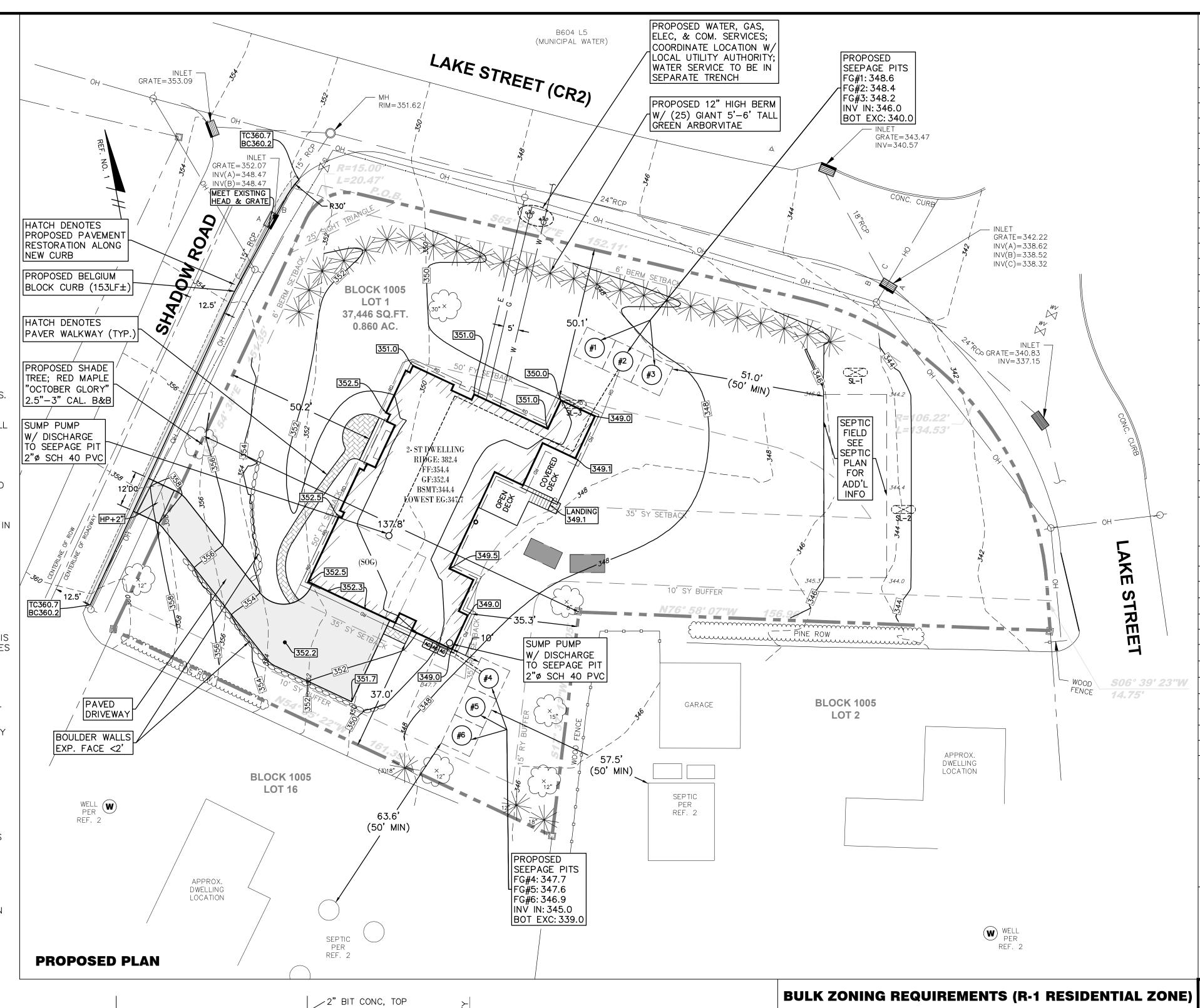
TAX/ZONING MAP

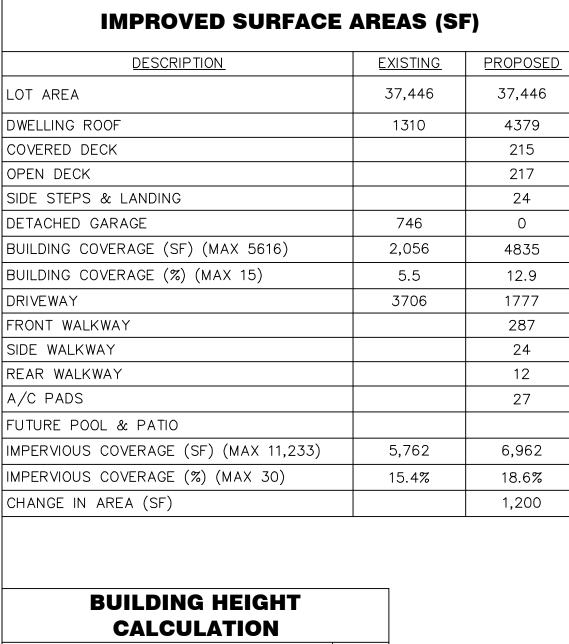
ENTRAINED

N.T.S.

BELGIUM BLOCK CURB DETAII

- THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES INCLUDING, BUT NOT LIMITED TO, IBC CODE, STATE UNIFORM CONSTRUCTION CODE, MUNICIPAL CODES AND ORDINANCES, AND FEDERAL, STATE AND LOCAL ENVIRONMENTAL REGULATIONS. CODE REQUIREMENTS SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS, WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL TAKE PRECEDENCE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND SHALL OBSERVE ALL SAFETY REQUIREMENTS ESTABLISHED BY JURISDICTIONAL AGENCIES AND THE OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR STRUCTURES. THESE REQUIREMENTS WILL APPLY CONTINUOUSLY 24 HOURS PER DAY UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
- FURNISH ALL LABOR, EQUIPMENT, AND MATERIAL TO COMPLETE THE WORK IN A SAFE, ORDERLY, AND PROFESSIONAL MANNER BY WORKMEN SKILLED IN THEIR TRADE.
- ALL DIMENSIONS ARE MEASURED TO THE ROUGH UNLESS OTHERWISE NOTED. ELEVATIONS AND DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, AND ELEVATIONS IN THE FIELD PRIOR TO THE USE OF SUCH INFORMATION IN BIDDING OR CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL FIELD MEASUREMENTS NECESSARY TO ASSURE PROPER FIT OF FINISHED WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR ACCURACY. DRAWINGS ARE NOT TO BE SCALED, NOTIFY THE ENGINEER IMMEDIATELY OF ANY DIMENSIONAL DISCREPANCIES.
- THE CONTRACTOR SHALL REPAIR IN KIND, ANY AND ALL DAMAGE CAUSED DURING OR RESULTING FROM HIS OPERATION.
- ALL WORK SHALL BE SCHEDULED IN COMPLIANCE WITH THE OWNER'S REQUIREMENTS. THE SITE SHALL BE KEPT CLEAN AT ALL TIMES. UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBRIS, ETC. SHALL BE REMOVED AND THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ANY AND ALL PERMITS ASSOCIATED WITH THIS WORK. THE CONTRACTOR SHALL COORDINATE AND ASSIST THE ENGINEER AND AUTHORIZING AGENCIES IN PERFORMING INSPECTIONS AS REQUIRED.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION AND TEMPORARY SUPPORT OF ANY UTILITIES ENCOUNTERED
- 10. ACTUAL LOCATIONS OF ALL ABOVEGROUND AND UNDERGROUND UTILITIES (PUBLIC AND/OR PRIVATE) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WITH THE COOPERATION OF THE PUBLIC UTILITIES AND/OR PRIVATE MARK OUT COMPANIES, THE CONTRACTOR SHALL LOCATE AND MARK OUT ANY UTILITY SERVICES OR MAINS WITHIN TWENTY (20') FEET OF THE PROPOSED CONSTRUCTION. THE ENGINEER'S OBSERVATION OF THE CONTRACTOR'S PERFORMANCE OF THE WORK IS TO BE SOLELY
- ON BEHALF OF THE OWNER AND NOT ON BEHALF OF THE CONTRACTOR. THE ENGINEER'S OBSERVATIONS ARE NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- 12. THE ENGINEER WILL BE, IN THE FIRST INSTANCE, THE INTERPRETER OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE ENGINEER WILL ALSO HAVE THE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- 13. THE ENGINEER WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SAFETY PRECAUTIONS, NOR FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 14. BACKFILL SHALL BE COMPACTED TO MINIMUM 95% DENSITY (MODIFIED PROCTOR) UNDER STRUCTURES
- AND HARDSCAPE, MINIMUM 90% DENSITY (MODIFIED PROCTOR) ELSEWHERE 15. BACKFILL SHALL CONSIST OF A SUITABLE SELECTED AND APPROVED EARTH GENERALLY FROM STORAGE OF APPROVED EXCAVATED SOIL, FREE FROM REJECTED ORGANIC MATTER, BOGGY, PEATY
- HUMUS OR OTHER UNSUITABLE MATERIAL SUCH AS SILT, RUBBISH, WASTE, ASHES, OR CINDERS. BACKFILL SHALL BE FREE OF LARGE BOULDERS MORE THAN SIX (6") INCHES IN THE LARGEST DIMENSION. NO FROZEN MATERIAL SHALL BE USED. BACKFILL SHALL BE PLACED AND COMPACTED WITH A VIBRATORY PLATE TAMPER IN MAXIMUM EIGHT (8") INCH LIFTS, UNLESS OTHERWISE NOTED IN THE DRAWINGS AND SPECIFICATIONS.
- 16. ALL DOORWAYS, STAIRS, & RAMPS SHALL BE PROVIDED WITH LANDINGS (1:48MAX) IN ACCORDANCE WITH IBC/IRC, NJ EDITION.





### LOWEST GRADE ADJACENT TO STRUCTURE | 347.7 FIRST FLOOR ELEVATION 354.4 FF TO RIDGE DISTANCE 28 PROPOSED RIDGE ELEVATION (382.7 MAX) | 382.4 PROPOSED BUILDING HEIGHT (35' MAX)



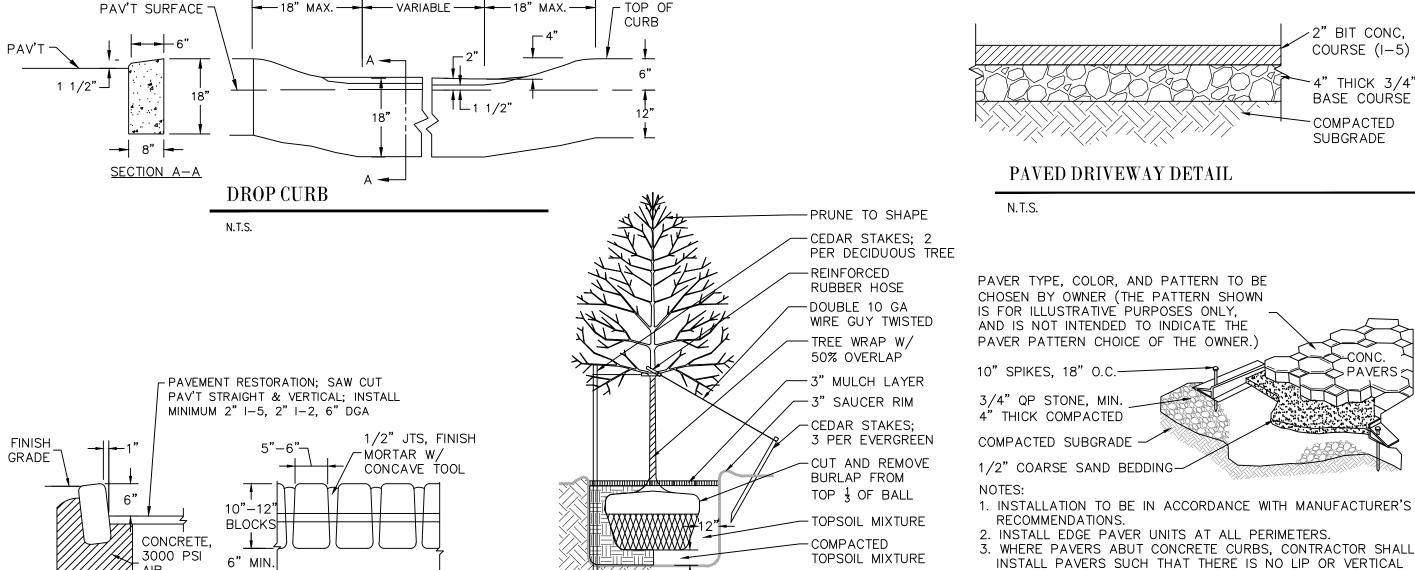
SOIL MOVEMENT CALCULATIONS (CY)					
DESCRIPTION					
HOUSE FOUNDATION	4379SF x 6.5'avg	1,054	CUT		
DECK FOOTINGS	15 × 2' × 2' × 3'	7	CUT		
DRIVEWAY	1777SF x 0.5'	3	CUT		
SIDEWALK	323SF x 0.33'	4	CUT		
SEEPAGE PITS	(4) 81SF x 8'	96	CUT		
SEPTIC TANKS	60SF x 6'	1	CUT		
SEPTIC FIELD	1302SF x 6'avg	289	CUT		
SEPTIC FIELD SUITABLE FILL	1302SF x 4'	193	FILL		
SITE GRADING	CIVIL3D SURFACE VOLUME	344	FILL		
TOTAL CUT		1455	CUT		
TOTAL FILL		537	FILL		
NET SOIL REMOVED FROM SITE		918	CUT		

CIVIL3D SURFACE VOLUME ANALYSIS (CUT/FILL SUMMARY) SURFACE 2DAREA CUT FILL NET 25264 66 410 344

REFERENCES: . DRAWING TITLED "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY FRENCH & PARRELLO, DATED 5.04.2023.

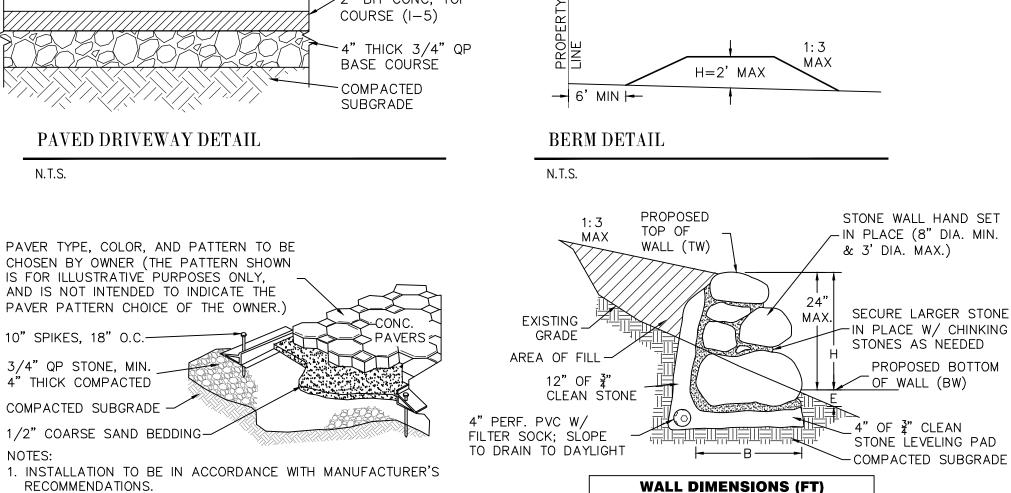
APPLICANT INFORMATION: SHADOW RD, LLC c/o MARIUSZ NAWROCKI FOX CONSTRUCTION, LLC 984 RT 9, SUITE 4B PARLIN, NJ 08859 732.313.7056

MARIO@FOX-GC.COM



TREE PLANTING DETAIL

N.T.S.



DISCREPANCY THAT COULD POSE A TRIPPING HAZARD

BETWEEN CONCRETE CURB AND PAVERS.

CONCRETE PAVER DETAIL

EXPOSED FACE (H)

EMBEDMENT (E)

BOULDER RETAINING WALL

BASE WIDTH (B) | 2.0 | 3.0 | 4

1.5 | 2.0

	•			•	
DESCRIPTION	PERMITTED	EXISTING	PROPOSED	COMMENT	
MIN. LOT AREA (SF)	37,500	37,446	37,446	ENC	
MIN. LOT FRONTAGE-SHADOW RD (FT)	150	151.35	151.35		8.09.2023
MIN. LOT FRONTAGE-LAKE ST (FT)	150	301.39	301.39		8.01.2023
MIN. LOT DEPTH (FT)	150	137.8	137.8	ENC	7.17.2023 DATE
MIN. FRONT YARD-SHADOW RD (FT)	50	81.4	50.2		
MIN. FRONT YARD-LAKE ST (FT)	50	29.6	50.1		
MIN. SIDE YARD (FT) — SOUTH (FT)	35	85.9	37		
MIN. SIDE YARD COMBINED (FT)	70	N/A	N/A		
MIN. REAR YARD — EAST (FT)	35	41.9	35.3		
MAXIMUM BUILDING HEIGHT (STORIES)	2.5	2	2		
MAXIMUM BUILDING HEIGHT (FT)	35	N/A	34.7		
MAXIMUM BUILDING COVERAGE (%)	15	5.5	12.9		
MAXIMUM IMPROVEMENT COVERAGE (%)	30	15.4	18.6		BERGEN CC

ENC - EXISTING NON-CONFORMING CONDITION V - VARIANCE REQUIRED N/A - NOT ANALYZED

**PLOT PLAN** SHADOW RD, LLC ## SHADOW ROAD

BOROUGH ENGINEER COMMENTS

BOROUGH ENGINEER COMMENTS

REVISION

SUEZ WATER SERVICE COMMENTS

RGEN COUNTY BOROUGH OF UPPER SADDLE RIVER

BLOCK 1005 LOT 1

GRAPHIC SCALE

# RICHARD WOSTBROCK & ASSOCIATES

44 GARRET PLACE MIDLAND PARK, NEW JERSEY (201)978-4519 WostbrockEngr@gmail.com

ROFESSIONAL ENGINEER NJ 24GE04111700 Y 079364-1 0027088 ROJECT No. DRAWN

23024

RW

DATE CHECKED SCALE SHEET No. RW 5.31.2023 1"=20'

NEW JERSEY

### BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH UNROTTED STRAW AT A RATE OF 2 TONS PER ACRE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER)
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ
- 4. STABILIZATION SPECIFICATIONS:
- A. TEMPORARY SEEDING AND MULCHING: GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST
- FERTILIZER APPLY 11LBS. /1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4". SEED - PERENNIAL RYEGRASS 100 LBS. /ACRE (2.3 LBS. /1,000 SF) OR OTHER APPROVED SEED: PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS.
- /1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER). B. PERMANENT SEEDING AND MULCHING:
- TOPSOIL -A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4"FIRMED IN PLACE IS REQUIRED. GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
- FERTILIZER APPLY 11 LBS. /1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF
- SEED TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS. /ACRE (8 LBS. /1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDING REQUIRES IRRIGATION)
- MULCH UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS. /1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND
- TWINE, MULCH NETTING, OR LIQUID MULCH BINDER). THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- 6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM
- . STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT
- 8. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 21/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC
- AND MAINTAINED. 9. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED

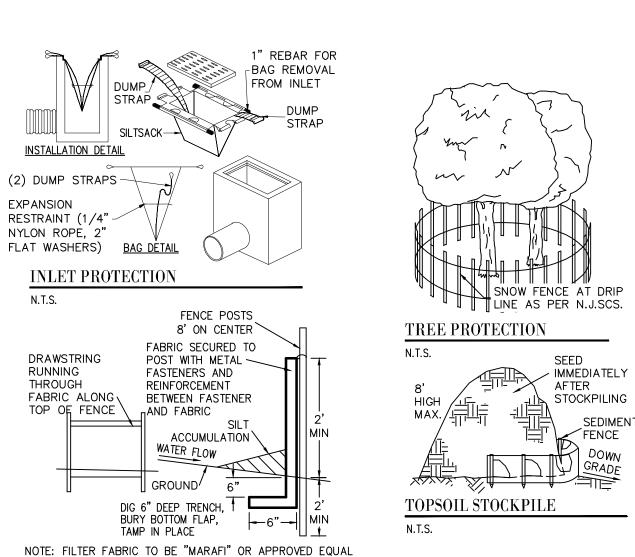
3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.

- 10. DRIVEWAYS MUST BE STABILIZED WITH 1" 21/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- 11. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. 12. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER
- DESIGNED IN ACCORDANCE WITH SECTION 28 -1 OF THE NJ STANDARDS. 13. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE
- THE DISCHARGE POINTS BECOME OPERATIONAL 14. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH
- SECTION 14-1 OF THE NJ STANDARDS. 15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
- 16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS.
- 17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT
- 18. ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
- 19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION 20. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED,
- IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE: BERGEN COUNTY SCD, 700 KINDERKAMACK ROAD, SUITE 106, ORADELL, NJ 07649. TEL: 201-261-4407; FAX 201-261-7573.
- 21. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION
- 22. THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.
- REVISED 12/7/17

#### SEOUENCE OF CONSTRUCTION

- 1. OBTAIN CONSTRUCTION PERMITS FROM MUNICIPAL OFFICE & SOIL CONSERVATION DISTRICT, IF & WHERE REQUIRED
- 2. INSTALL FILTER FABRIC, CONSTRUCTION FENCING & CONSTRUCTION STABILIZED ACCESS & SEDIMENT FENCING AT LOCATION INDICATED ON THE CONTRACT DRAWINGS (1 DAY) 3. ROUGH GRADE SITE FOR PROPOSED IMPROVEMENTS (2
- 4. INSTALL NEW STORM DRAINAGE AND PROTECT WITH SESC MEASURES. SCHEDULE ENGINEER (WITH FIVE (5) BUSINESS DAYS NOTICE FOR EXCAVATION WITNESS AT DRYWELL LOCATION TO SERVE AS SOILS TEST PIT, INSPECT FOR SEASONAL HIGH GROUND WATER, AND TEST SOILS AT LABORATORY FOR PERMEABILITY RATING. INSTALL INLET FILTERS ON ALL NEW STORM DRAINAGE STRUCTURES (2
- 5. INSTALL STRUCTURES (8-12 WEEKS)
- 6. INSTALL HARDSCAPE (2 WEEKS) 7. INSTALL LANDSCAPING (1 WEEK)
- 8. SITE AND LAWN RESTORATION OF DISTURBED AREAS. UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5"
- (MINIMUM 4"), FIRMED IN PLACE (2 DAYS) 9. REMOVE SESC MEASURES AFTER SOILS HAVE BEEN STABILIZED (1 DAY)
- TOTAL CONSTRUCTION TIME  $(4-6\pm MONTHS)$

SOIL COMPACTION EXEMPTION NOTE THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS LOCATED IN A METROPOLITAN PLANNING AREA



-ROOF LEADER

OVERFLOW

~ SPLASH

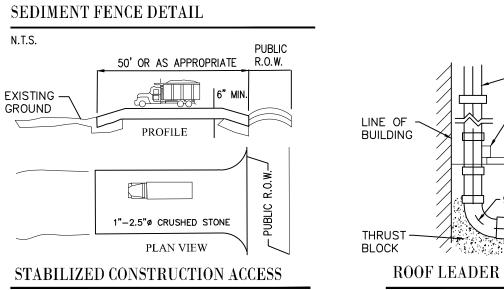
BLOCK

-90° ELBOW

N.T.S.

-PROVIDE SLOTTED

CLEANOUT FOR



INSTALLATION DETAIL

(2) DUMP STRAPS -

RESTRAINT (1/4" -

DRAWSTRING

FABRIC ALONG

TOP OF FENCE \

RUNNING

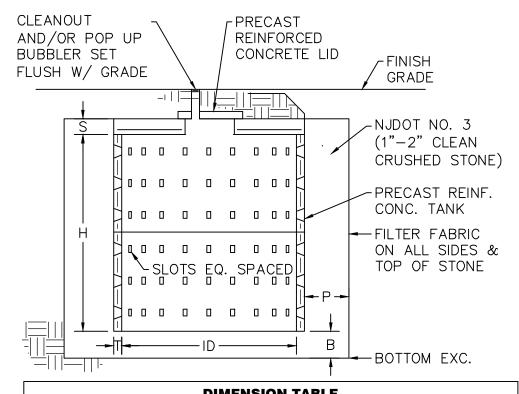
THROUGH

N.T.S.

NYLON ROPE, 2"

EXPANSION

N.T.S.



APPROX.

DWELLING

LOCATION

DEMOLITION & SOIL EROSION & SEDIMENT CONTROL PLAN

GRATE=353.09

CONC.

INLET -

INV(A) = 348.47

INV(B) = 348.47

**BLOCK 1005** 

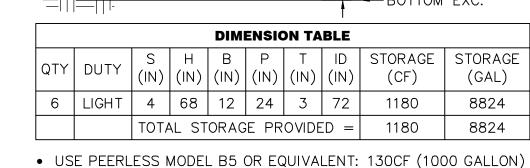
LOT 16

40

80,

MON.

(FND.)



SEEPAGE PIT DETAIL N.T.S.

0.1' MON.

— (FND.)

LIMIT OF DISTURBANCE

|INSTALL & MAINTAIN|

SEDIMENT CONTROL

REF. 2

STUMP (TYP. FOR 23)

REMOVE TREE &

38,200SF (0.88AC)

IFENCE

. SEEPAGE PIT SHALL BE PRECAST CONCRETE.

2. THE FOLLOWING STORM SYSTEM PIPE CHARACTERISTICS TO BE FOLLOWED, UNLESS OTHERWISE INDICATED ON THE PLAN: - UTILIZE 4"Ø SDR35 PVC FOR ALL PATIO DRAIN PIPES

(FND. &HELD) × 345.19

B604 L5 (MUNICIPAL WATER)

DEMOLISH & REMOVE 2-ST

ASSOCIATED SITE FEATURES!

GRATE=343.47

INV=340.57

TEMPORARY SOIL STOCKPILE

GRAVEL DRIN

REMOVE DRIVEWAY:

SAW CUT PAVEMENT

ALONG STREET

APPROX.

DWELLING

LOCATION

GRATE=342.22 INV(A) = 338.62

INV(B) = 338.52

INV(C) = 338.32

INLET —

|INSTALL & MAINTAIN|

INLET FILTER (TYP.)

STABILIZED CONSTRUCTION ACCESS

Ш

(EXISTING PAVED

DRIVEWAY)

<sup>'</sup> GRATE=340.83

DWELLING, DETACHED

18" SETBACK SITE OF THE SET OF TH

PORCH

GARAGE

SEPTIC

REF. 2

<del>- PINE ROW</del>

**BLOCK 1005** 

LOT 2

DRIVEWAY

GARAGE, DRIVEWAY, &

LAKE STREET (CR2)

RIM=351.62/

**BLOCK 1005** 

LOT 1

37,446 SQ.FT.

0.860 AC.

- PIPE SLOPES 2% MIN. (OR 6" Ø @ 1% MIN. UNLESS NOTED ON PLAN) . CONTRACTOR TO COORDINATE DOWN SPOUT LOCATIONS W/
- ARCHITECTURAL PLANS 4. CASTINGS & CLEANOUTS TO MATCH FINISHED SURFACE

- ALL FITTINGS TO BE THE SAME RATING AS THE PIPE

- 5. CONTRACTOR MUST CERTIFY THAT BACKFILL HAS BEEN COMPACTED TO 90% MODIFIED PROCTOR DENSITY MINIMUM
- (95% UNDER HARDSCAPE SURFACES) 6. PRIOR TO INSTALLATION, CONTRACTOR SHALL PERFORM TESTS IN ACCORDANCE WITH LOCAL, COUNTY, AND STATE REGULATIONS AT EACH SEEPAGE PIT LOCATION TO VERIFY ACCEPTABLE PERCOLATION RATES.
- 7. OPERATION, INSPECTION, AND MAINTENANCE OF THE ON-SITE SEEPAGE PIT(S) & DRAINAGE SYSTEMS ARE THE RESPONSIBILITY OF THE PROPERTY OWNERS. PIT(S) SHALL BE INSPECTED AFTER EACH RAINFALL EVENT OF TWO (2) INCHES OR MORE, BUT NOT LESS THAN TWICE ANNUALLY

## DRAINAGE DESIGN STORM:

MUNICIPAL REQ'T: 10 YR 60 MIN DURATION (2") FOR TOTAL IMPERVIOUS AREA

REQUIRED STORAGE VOLUME				
CHANGE IN AREA	STORAGE (CF)	STORAGE (GAL)		
6,962 1160		8,679		

XX Before You Dig Drill Or Blast! BOROUGH ENGINEER COMMENTS CALL US TOLL FREE 1 (800) 272-1000 8.01.2023 BOROUGH ENGINEER COMMENTS N.J.S.A 48:2-73 thru N.J.S.A 48:2 N.J.A.C. 14:2.1 thru N.J.A.C. 14: SUEZ WATER SERVICE COMMENTS DATE REVISION GRAPHIC SCALE **DEMOLITION & SOIL EROSION & SEDIMENT CONTROL PLAN** SHADOW RD, LLC ## SHADOW ROAD

# BERGEN COUNTY BOROUGH OF UPPER SADDLE RIVER

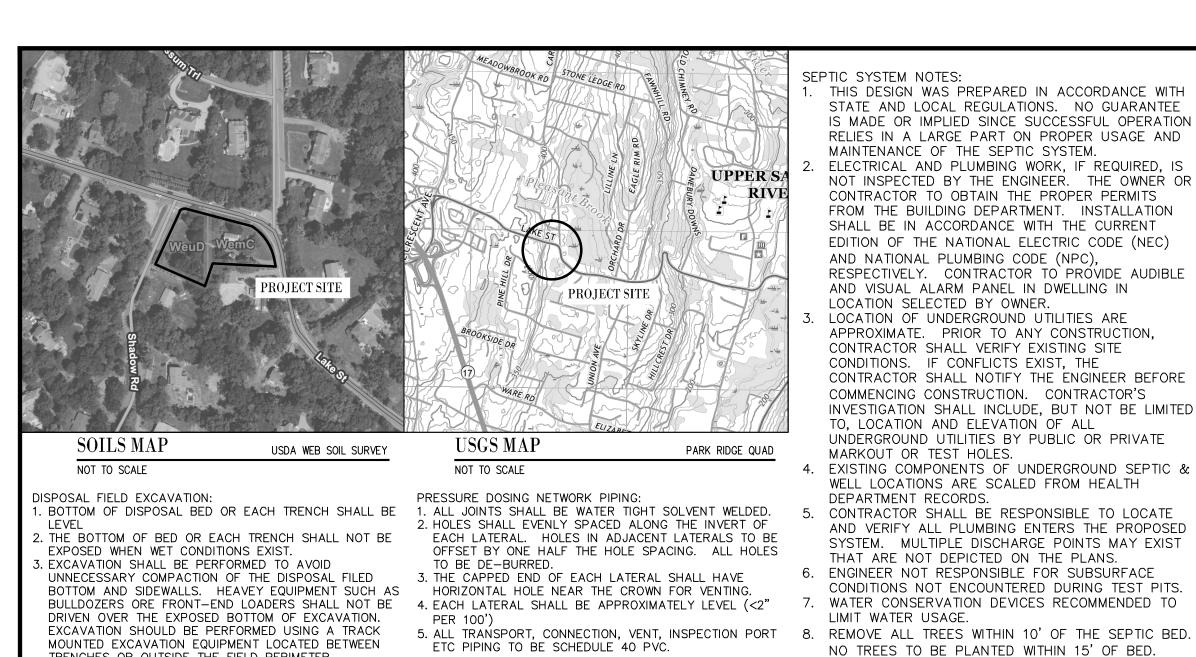
BLOCK 1005 LOT 1

NEW JERSE'

RICHARD WOSTBROCK & ASSOCIATES

44 GARRET PLACE MIDLAND PARK, NEW JERSEY (201)978-4519 WostbrockEngr@gmail.com

APPLICANT INFORMATION: SHADOW RD, LLC c/o MARIUSZ NAWROCKI ROFESSIONAL ENGINEER J 24GE04111700 FOX CONSTRUCTION, LLC 079364-1 984 RT 9, SUITE 4B 0027088 PARLIN, NJ 08859 SCIONAL EN 732.313.7056 ROJECT No. DRAWN CHECKED SCALE DATE SHEET No. MARIO@FOX-GC.COM 23024 RW RW 5.31.2023 1"=20'



MOUNTED EXCAVATION EQUIPMENT LOCATED BETWEEN TRENCHES OR OUTSIDE THE FIELD PERIMETER. 4. ANY SMEARED OR COMPACTED SOIL SURFACES SHALL BE BACKFILL AND FINAL GRADING: REMOVED TO EXPOSE A FRESH SOIL WITH IS ROUGH AND 1. A MINIMUM OF 9 AND NO MORE THAN 18 INCHES OF

. WORK SHOULD BE SCHEDULED TO AVOID EXPOSURE TO RAINFALL OR WIND-BLOWN SILT. ANY LOOSE SOIL OR DEBRIS WHICH IS DEPOSITED INTO THE EXCAVATION SHALL BE REMOVED PRIOR TO BACKFILLING WITH SUITABLE FILL

SUITABLE FILL

. SUITABLE FILL MATERIAL MEETING NJAC 7: 9A-10.1(f)(4)(5):

2. CONTRACTÒR TO PROVIDE CURRENT MATERIAL CERTIFICATION FROM SUPPLIER AND A SAMPLE OF MATERIAL FOR ANALYSIS. 3. ZONE OF TREATMENT:

A. COARSE FRAGMENT CONTENT (GREATER THAN A NO. 8 SIEVE) OF LESS THAN 15% BY VOLUME OR LESS THAN 20% BY WEIGHT:

B. TEXTURAL ANALYSIS (COMPOSITION, BY WEIGHT, OF SIZE FRACTION PASSING THE PARTICULAR SIEVE) BETWEEN 80-100% MUST PASS A NO. 8 SIEVE; BETWEEN 50-85% MUST PASS A NO. 16 SIEVE; BETWEEN 25-60% MUST PASS A NO. 30 SIEVE; BETWEEN 10-30% MUST PASS A NO. 50 SIEVE; AND

BETWEEN 2-10% MUST PASS A NO. 100 SIEVE; C. PERMEABILITY SHALL RANGE FROM 6 TO 20 INCHES PER HOUR (K-4). 1. ZONE OF DISPOSAL, IF REQUIRED:

A. FILL MATERIAL SHALL MEET THE SAME SPECIFICATION FOR ZONE OF TREATMENT OR THE FOLLOWING. B. COARSE FRAGMENT CONTENT LESS THAN 15% BY VOLUME OR LESS THAN 25% BY WEIGHT; C. TEXTURAL ANALYSIS (COMPOSITION, BY WEIGHT, OF

SIZE FRACTION PASSING THE PARTICULAR SIEVE) OF 85% OR MORE OF SAND D. PERMEABILITY GREATER THAN TWO INCHES PER HOUR OR PERCOLATION RATE FASTER THAN 30 MINUTES

ILTER MATERIAL FILTER MATERIAL SHALL BE NJDOT #24, 3, OR 4. IN GENERAL, THIS SHALL BE 3/4 TO 2-1/2 INCH WASHED

. THE FILTER MATERIAL SHALL BE COVERED WITH DRAINAGE FABRIC WITH ADEQUATE STRENGTH TO PREVENT RIPPING, AIR PERMEABILITY TO ALLOW FREE FLOW OF GASES, AND PARTICLE RETENTION TO PREVENT MIGRATION OF SOIL INTO THE FILTER MATERIAL 3. A MINIMUM OF 2 INCHES OF FILTER MATERIAL SHALL BE

STONE OR GRAVEL, FREE OF FINES, DUST, ASH, OR

PLACED OVER THE LATERALS.

NON-TOXIC SEALER.

├**├** 15**′** ├

\_\_\_\_24**′**\_\_\_

SEPTIC TANK

LIQUID LEVEL

4" FLOOR

PER INCH.

TANK REQUIREMENTS: 1. 1,500 GALLON MINIMUM LIQUID CAPACITY. 9. 4"Ø INSPECTION PORT W/ CAP TO GRADE. TWO (2) COMPARTMENT

3. RESIDENTIAL-TRAFFIC RATED. 4. INLET BAFFLE OR PIPE TEE PER N.J.A.C. 7:9A-8.2(J)2.

5. NSF46 EFFLUENT FILTER AT OUTLET 6. CONCRETE 4500 PSI @ 28 DAYS. REINFORCING IN ACCORDANCE W/ MANUFACTURER'S REQUIREMENTS. INTERIOR FINISH W/ TWO COATS OF ETC PIPING TO BE SCHEDULE 40 PVC.

BACKFILL SHALL BE PLACED OVER THE TOP OF THE FILTER FABRIC. 2. BACKFILL MATERIAL SHALL BE EARTH SIMILAR TO THAT FOUND AT THE SITE AND FREE OF LARGE STONES. 3. IN NO CASE SHALL THE BACKFILL MATERIAL BE MORE

PERMEABLE THAN THE SURROUNDING SOIL. 4. BACKFILL SHALL COMPLETELY COVER THE ENTIRE DISPOSAL BED OR EACH TRENCH AND SHALL BE GRADED 10. SITE ACCESS IS LIMITED. CONTRACTOR SHALL SMOOTHLY INTO THE SURROUNDING TOPOGRAPHY ON ALL

5. THE FOLLOWING PRACTICES SHALL BE FOLLOWED. A. HEAVY MACHINERY, RUBBER TIRED VEHICLES OR OTHER VEHICLES WHICH EXERT A GROUND PRESSURE >8 LBS PER SQUARE FOOT SHALL NOT BE ALLOWED PASS OVER THE DISPOSAL FIELD OR TRENCHES AFTER

THE FILTER MATERIAL IS INSTALLED. B. TRACKED EQUIPMENT MAY BE USED FOR THE PURPOSE OF BACKFILLING AND FINAL GRADING PROVIDED HAT THIS EQUIPMENT DOES NOT EXERT PRESSURE ON THE UNDERLYING SOIL IN EXCESS OF LBS PFR SQUARE FOOT C. FINAL GRADING SHALL BE COMPLETED IN ACCORDANCE

WITH THE APPROVED ENGINEERED DESIGN AND IN SUCH A MANNER THAT SURFACE WATER WILL NOT COLLECT OVER THE DISPOSAL FIELD OR BE DIRECTED TOWARD THE DWELLING. D. AFTER COMPLETION OF THE BACKFILLED AREA AND

FINAL GRADING, ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED TO ESTABLISH A VEGETATIVE COVER OR OTHERWISE STABILIZED AGAINST EROSION IN A MANNER ACCEPTABLE TO THE ADMINISTRATIVE AUTHORITY.

E. FINAL COVER SHALL BE A MINIMUM OF 4" OF TOPSOIL SUITABLE GRASS GROWTH, SEEDED/SODDED, AND HAYED AS SOON AS PRACTICAL. F. FILL MATERIAL SHALL BE SPREAD AND COMPACTED IN

LAYERS <12" THICK. COMPACTION SHALL BE MANUALLY OR MECHANICALLY BY TAMPING OR ROLLING, OR BY DRIVING OVER THE AREA IN A CONTROLLED PATTERN USING A TRACKED

H. IF HEAVY EXCAVATING EQUIPMENT IS OPERATED WITHIN THE EXCAVATION FOR THE PURPOSE OF PLACEMENT OF FILL MATERIAL. THIS EQUIPMENT SHALL NOT BE DRIVEN DIRECTLY ON THE EXPOSED BOTTOM OF THE EXCAVATION. A MINIMUM OF 12" OF FILL MATERIAL SHALL BE MAINTAINED BELOW THE VEHICLE TRACKS

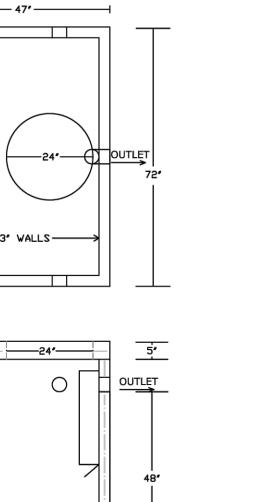
AT ALL TIMES. 6. SOME SETTLEMENT WITHIN BACKFILLED AREAS MAY OCCUR AND SHOULD BE ADDRESSED BETWEEN THE CONTRACTOR AND PROPERTY OWNER.

10. 24"ø RISERS & MANHOLE CASTING & COVER FLUSH W/ FINISH GRADE PER

N.J.A.C.7: 9A-8.2(L). SHALL BE TESTED FOR WATERTIGHTNESS IN ACCORDANCE WITH N.J.A.C.7: 9A-8.2(M)

11. TANK, RISERS & INSPECTION PORTS 12. 6' MAXIMUM BACKFILL ON TOP OF TANK. 13. PROVIDE BUOYANCY RESTRAINT PER MANUFACTURER'S RECOMMENDATIONS.

3" WALLS -



DOSING

DEMAND DOSING TANK CONTROLS

RESTORED TO MATCH EXISTING CONDITIONS UNLESS THIS DESIGN WAS PREPARED IN ACCORDANCE WITH OTHERWISE AGREED TO BY OWNER. CONTRACTOR TO STATE AND LOCAL REGULATIONS. NO GUARANTEE REPAIR AND/OR REPLACE IRRIGATIONS SYSTEM IS MADE OR IMPLIED SINCE SUCCESSFUL OPERATION COMPONENTS DISTURBED BY THE CONSTRUCTION OF RELIES IN A LARGE PART ON PROPER USAGE AND THE SEPTIC. 11. SOIL EROSION CONTROL SHALL BE PROVIDED IN ELECTRICAL AND PLUMBING WORK, IF REQUIRED, IS ACCORDANCE WITH THE NEW JERSEY STANDARDS NOT INSPECTED BY THE ENGINEER. THE OWNER OR

FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION. 12. ROOF LEADER DRAINS AND SUMP PUMP

DISCHARGES SHALL BE MODIFIED TO DIRECT WATER AWAY FROM THE SEPTIC SYSTEM. 13. IRRIGATION SYSTEM LINES SHALL BE RE-ROUTED AROUND SEPTIC SYSTEM.

14. CONTRACTOR SHALL RESTORE ALL HARDSCAPE, FENCES, AND LANDSCAPING UNLESS DIRECTED OTHERWISE 15. PROPERTY IS TO BE SERVED BY MUNICIPAL WATER

16. PROPERTY HAS A PRIVATE WATER WELL TO BE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE **ABANDONED** 17. THERE ARE NO KNOWN WELLS WITHIN 100' OF PROPOSED FIELD. INVESTIGATION SHALL INCLUDE, BUT NOT BE LIMITED

SUPPLY.

20. THIS SYSTEM IS BEING PROPOSED AS A NEW SYSTEM OR EXPANSION OF USE IN ACCORDANCE WITH NJAC 7:9A-3.2. 21. IN ACCORDANCE WITH THE NJGEOWEB MAPPING, THE SUBJECT PROJECT AREA IS NOT SUBJECT TO

FRESHWATER WETLANDS NJAC 7:7A. 22. PLUMBING & ELECTRICAL (IF REQUIRED) WORK NOT INSPECTED BY THIS OFFICE. MUNICIPAL CODE OFFICIALS INSPECT AND APPROVE SAME. 23. ENGINEER'S APPROVALS ARE NOT TO BE

CONSTRUED AS A GUARANTEE OF FUTURE OPERATION OR OF CONTRACTOR'S WORKMANSHIP. THE ULTIMATE OPERATION OF THE SEPTIC SYSTEM DEPENDS ON THE OWNER'S CONSERVATION OF WATER AND MAINTENANCE OF THE SYSTEM. 24. CONTRACTOR SHALL PROVIDE:

A. 48 HOUR NOTICE TO DESIGN ENGINEER &

HEALTH DEPARTMENT IN ADVANCE OF CONSTRUCTION COMMENCEMENT B. CERTIFICATION THAT ALL SYSTEM COMPONENTS WERE FOUND AND REMOVED OR ABANDONED; BURY HOLE AND/OR LANDFILL LOCATION TO BE PROVIDED.

C. CERTIFICATION OF VACUUM TEST RESULTS D. CURRENT SIEVE ANALYSIS FROM THE SUITABLE FILL MATERIAL SUPPLIER E. SUITABLE FILL MATERIAL DELIVERY TICKETS

**4'** OF 4"ø SCH **102'** OF **3"**Ø SCH. 40 PVC **20'** OF 4"ø \_40 PVC @ \_SCH. 40 PVC @ -PITCH BACK TO DOSING  $\frac{1}{4}$ "/FT (MIN.) TANK  $\frac{1}{4}$ "/FT (MIN.) FF **354.4** - PROPOSED GRADE 344.4 INV OUT DOSING DISPOSAL FIELD **341.75±** (V.I.F.) TANK TANK 3"ø SCH 40 PVC MANIFOLD 348.5± 348.0± Rim 1"ø SCH 40 PVC LATERALS INV IN **340.75** INV IN **341.25** PIPE INV **344.0** INV OUT **340.5** INV OUT **341.0** LEVEL INF. **343.0** BOT. EXC. **339.0** SEPTIC SYSTEM PROFILE

9. CONTRACTOR SHALL BE RESPONSIBLE TO TRACE

POINT (VIA EXCAVATION OR CAMERA) TO

COORDINATE WITH OWNER TO MINIMIZE

WITH NJAC 7:9A.

ALL EXISTING SANITARY WASTE LINES TO THEIR END

DETERMINE THE PRESENCE OF CESSPOOLS, PITS,

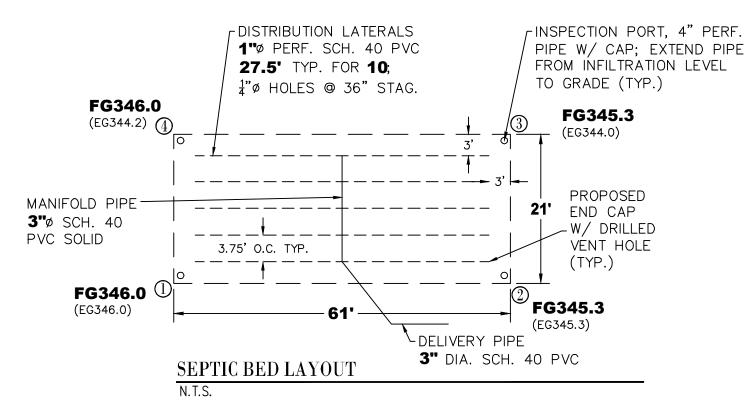
STRUCTURES. CONTRACTOR SHALL REMOVE OR

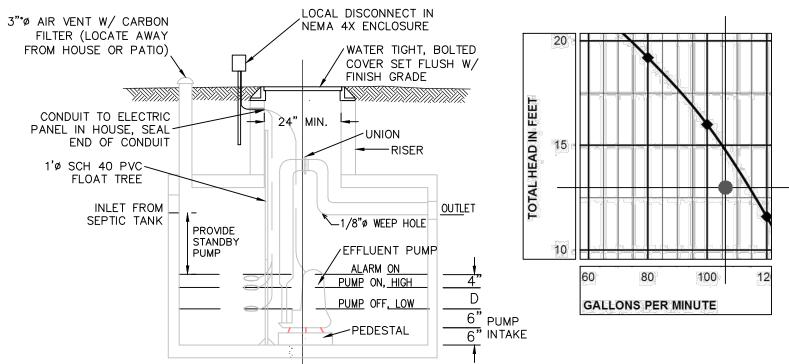
DISTURBANCE. ALL DISTURBANCES CREATED BY

THE WORK UNDER THIS CONTRACT SHALL BE

D-BOXES, AND/OR ANY OTHER SANITARY DISPOSAL

FILL IN ALL SANITARY STRUCTURES IN ACCORDANCE





1. 1,500 GALLON MINIMUM CAPACITY TANK BY PEERLESS OR EQUAL 2. RESIDENTIAL TRAFFIC RATED, MAXIMUM 6' OF BACKFILL ON TOP OF TANK 3. REINFORCING IN ACCORDANCE W/ MANUFACTURERS REQUIREMENTS

4. CONTRACTOR SHALL CERTIFY VACUUM TEST OF ALL TANKS PER NJAC 7:9A 5. A PERMANENT, NON-CORROSIVE MARKER A MINIMUM OF 6" SQ IN SIZE CONTAINING THE FOLLOWING INFORMATION SHALL BE ATTACHED TO THE MANHOLE COVER OR RISER IMMEDIATELY BELOW THE COVER: ADMINISTRATIVE AUTHORITY NAME & PERMIT NUMBER, DATE OF INSTALLATION, TYPE OF SYSTEM, TOTAL DESIGN CRITERIA IN GPD.

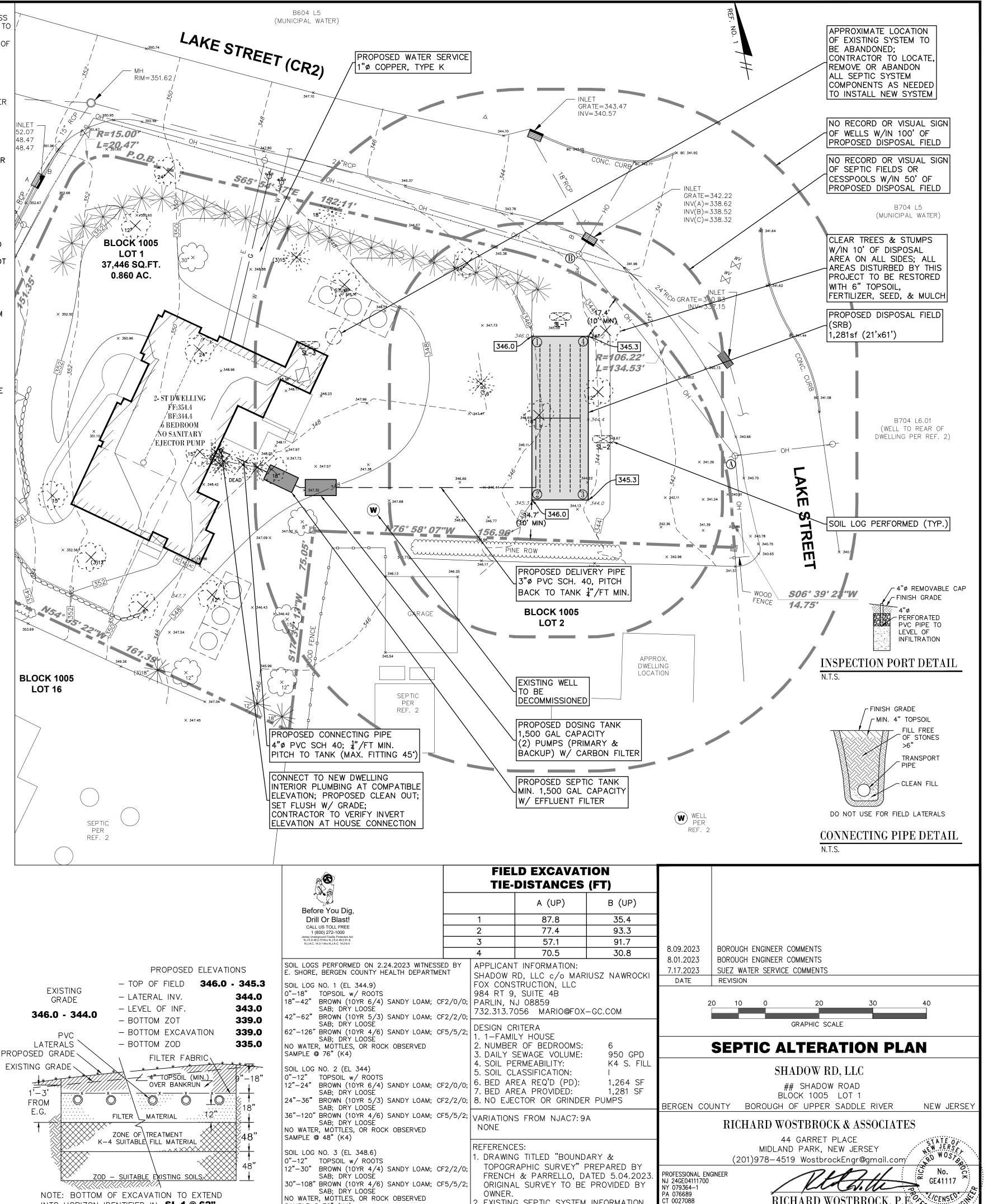
6. CONTRACTOR TO PROVIDE BUOYANCY RESTRAINT PER MANUFACTURER'S RECOMMENDATION. 7. (2) PUMPS LIBERTY LE70 OR EQUAL; CAPABLE OF 106 GPM @ 13' TDH W/ IFS DUPLEX PUMP CONTROLLER & ALARM BY SJE RHOMBUS FOR DEMAND

INTO HORIZON IDENTIFIED IN SL-1 @ 62"

SOIL REPLACEMENT BOTTOM LINED FIELD

SAMPLE @ 70" (K4)

8. SET DOSE VOLUME = 260 GALLONS (D=7")



EXISTING SEPTIC SYSTEM INFORMATION

ROJECT No. DRAWN

23024

SCALE

1"=20'

CHECKED

RW

DATE

5.31.2023

OBTAINED FROM LOCAL HEALTH

DEPARTMENT RECORDS ON FILE

SYONAL EN

SHEET No.