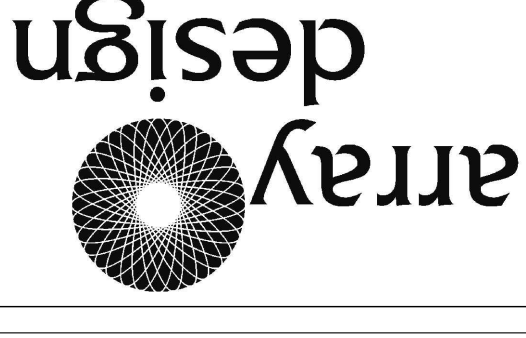


Schematic Design Documents



seal



shauna kucera,
registered architect
tel. 912.228.9088

Heaven's Landing Lot 181
Rabun County, Georgia

revisions

date: 26 JANUARY 2021
title:
DRAWING INDEX,
NOTES, SITE PLAN
drawing number
A-0.0

DRAWING INDEX

SHEET NO.	LATEST ISSUE DATE	TITLE
A--0.0	26 JANUARY 2021	COVER SHEET: TOPO/SITE PLAN, DRAWING INDEX, GENERAL NOTES
A--1.0	26 JANUARY 2021	FLOOR PLAN: GROUND LEVEL
A--1.1	26 JANUARY 2021	FLOOR PLAN: 1ST LEVEL
A--1.2	26 JANUARY 2021	FLOOR PLAN: LOFT; TRIM-JOIST FLOOR JOIST DETAILS
A--1.3	26 JANUARY 2021	ROOF PLAN
A--2.0	26 JANUARY 2021	EXTERIOR ELEVATIONS: FRONT (SOUTH) AND SIDE (WEST)
A--2.1	26 JANUARY 2021	EXTERIOR ELEVATIONS: REAR (NORTH) AND SIDE (EAST)
A--2.2	26 JANUARY 2021	BARK SIDING SF TAKE-OFFS
A--2.3	26 JANUARY 2021	STONE VENEER SF TAKE-OFFS
A--3.0	26 JANUARY 2021	DOOR AND WINDOW SCHEDULE AND DETAILS, FIREPLACE SPECIFICATIONS
		INTERIOR ELEVATIONS
		INTERIOR ELEVATIONS
		INTERIOR ELEVATIONS
		STRUCTURAL: GENERAL NOTES AND TYPICAL DETAILS
S-1	10 SEPTEMBER 2020	STRUCTURAL: RETAINING WALL DESIGN
S-2	19 SEPTEMBER 2020	STRUCTURAL: CONCRETE WALL DETAILS
		CIVIL: SITE PLAN
C-1	17 MARCH 2020	CIVIL: NOTES AND LEGENDS
C-2	17 MARCH 2020	CIVIL: DETAILS
C-3	17 MARCH 2020	CIVIL: DETAILS
C-4	17 MARCH 2020	CIVIL: DETAILS

PROJECT DESCRIPTION / DATA

SITE: 1481 AT HEAVENS LANDING MOUNTAIN ESTATE AIRBARK, RABUN COUNTY GEORGIA
47,890 SF TOTAL LOT
SQUARE FOOTAGE CALCULATIONS:
GROUND LEVEL: 44,000 SF
GARAGE: 615 SF
1ST FLOOR: 888 SF
LOFT: 400 SF
MECHANICAL ROOM AT SOUTH END: 120 SF
COVERED PATIOS: 712 SF
REAR PATIOS/PORCHES: 1,030 SF
MECHANICAL CLOSETS/STORAGE: 82 SF
FRONT PORCH: 82 SF
REAR PORCH/PORCHES: 1,030 SF
LOFT LEVEL HEATED: 247 SF
MECHANICAL CLOSETS/STORAGE: 82 SF
TOTAL HEATED: 3,137 SF

PROJECT TEAM

ARCHITECT: SHAUNA KUCERA OF ARRAY DESIGN // 912.228.9088
CIVIL ENGINEER: JAMES IRVIN OF FOOHILLS LAND DESIGN // 706.778.0067
STRUCTURAL ENGINEER: BRAD WEREDITH OF NORTHEAST GEORGIA CONSULTING ENGINEERS // 770.297.0075
TRUSS DESIGN: JIM DUFENDERFER OF ACCENT TRUSS // 864.351.8509
MECHANICAL ENGINEER: GENERAL CONTRACTOR:

MATERIALS

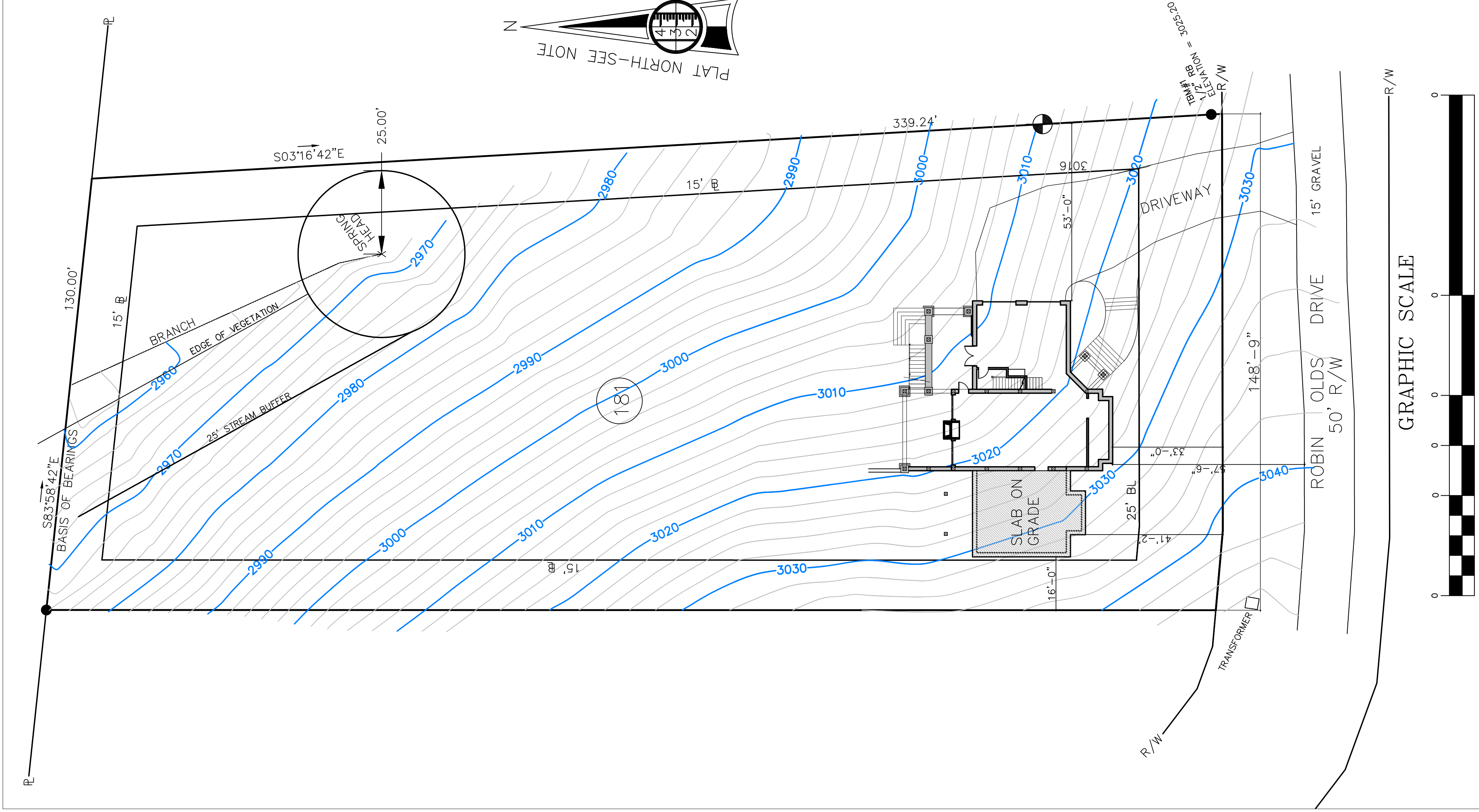
FOUNDATION STONE VENEER: stoneguard / film stone veneer / tostone blend ashlar
FOUNDATION CAPS AND SLABS: stoneyard / 2" thick mountain mist limestone with 'rocked' edge finish
STONE STAIR TREADS: TBD
WOOD SIDING: montana timber products / aquairt / hazelnut
CASING / TRIM: montana timber products / aquairt / hazelnut
DOORS & WINDOWS: kelba aluminum-clad wood ultra series, windows aluminum-clad pinnacle series, or approved equal
ASPHALT SHINGLE ROOFING: owens-corning duraflex architectural, color: teak
METAL ROOFING: metalroy meridian, 16" pans, color: medium bronze

BUILDING CODE DATA / RABUN COUNTY, GEORGIA

Mandatory Codes, State of Georgia:
International Residential Code, 2018 Edition, with Georgia Amendments (2020)
International Fire Code, 2018 Edition (No Georgia Amendments)
International Plumbing Code, 2018 Edition, with Georgia Amendments (2020)
International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020)
National Electrical Code, 2017 Edition (No Georgia Amendments)
International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020)
International Swimming Pool and Spa Code, 2018 Edition, with Georgia Amendments (2020)
Life Safety Code (NFPA 101), 2018

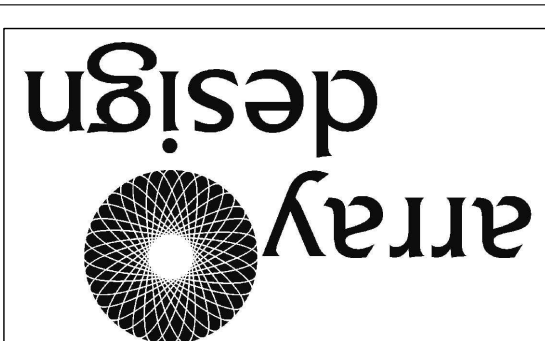
GENERAL NOTES:

- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE SPECIFIED BUILDING CODES, BY COMPANIES AND/OR INDIVIDUALS PROPERLY LICENSED TO PERFORM SUCH WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND HIS/HER SUB-CONTRACTORS TO BUILD A STRUCTURALLY SOUND WATERPROOF STRUCTURE, FREE FROM MATERIAL DEFECTS, THAT CONFORMS TO LOCAL BUILDING CODES AND AREA RESTRICTIONS.
- IT IS UNDERSTOOD THAT THE CONTRACTORS HAVE READ AND UNDERSTAND ALL DRAWINGS, SPECIFICATIONS, AND APPLICABLE CODES UNDER WHICH THE BUILDING IS TO BE CONSTRUCTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND ADDRESSING ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM THE FAILURE TO FOLLOW THE CONSTRUCTION DOCUMENTS OR THE DESIGN INTENT THEY CONVEY.
- THE CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE EXISTING CONDITIONS AND NOTIFY THE OWNER AND ARCHITECT IN WRITING IF ANY DISCREPANCIES OR INCONSISTENCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS ARE DISCOVERED. PRIOR TO SUBMITTING A BID AND BEGINNING CONSTRUCTION.
- IN CASE OF A CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE MORE RIGID REQUIREMENTS SHALL BE ASSUMED UNTIL A RULING IS MADE BY THE ARCHITECT OR ENGINEER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS. ALL WORK TO BE IN COMPLIANCE WITH CURRENTLY ADOPTED MECHANICAL, ELECTRICAL AND PLUMBING CODES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND INSPECTIONS TO INSURE THE SAFETY, INTEGRITY, AND COMPLETION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF OBTAINING THESE PERMITS AND INSPECTIONS. THE ARCHITECT ENGINEER'S COMMENTS OF THESE PERMITS SHALL BE REVIEWED BY THE ARCHITECT/ENGINEER, AS REQUIRED, WILL PROVIDE ANY ADDITIONAL DETAILS, CLARIFICATIONS AND COMMENTS IN DIRECT RESPONSE TO THOSE ON THE ISSUED PERMIT DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING REQUIRED INSPECTIONS AND TESTS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, STRUCTURAL STEEL SUPPORT, HANGERS, AND OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, MILLWORK, CABINETRY, STONE, HANDRAILS, FURNISHINGS, DECORATIVE LIGHTING AND ALL OTHER ITEMS REQUIRING SAME.
- ALL WORK AND/OR MATERIALS, ASSEMBLIES, PRODUCTS AND FINISHES SHALL BE PERFORMED/INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- ALL FINISHES, INCLUDING PAINT, ARE TO BE PURCHASED FROM SPECIFIED MANUFACTURER. ALL SUBSTITUTION REQUESTS MUST BE SUBMITTED TO THE ARCHITECT IN WRITING.
- DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. IN ORDER TO IDENTIFY CONFLICTS WITH EXISTING CONSTRUCTION AND DIMENSIONAL ERROR, DIMENSIONAL LAYOUT SHALL BE VERIFIED IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DIMENSIONS REQUIRING CORRECTION. DIMENSIONS ARE TO FACE OF WALL FINISH UNLESS OTHERWISE NOTED.





seal



shauna kucera,
registered architect
tel. 912.228.9088

Heaven's Landing Lot 181
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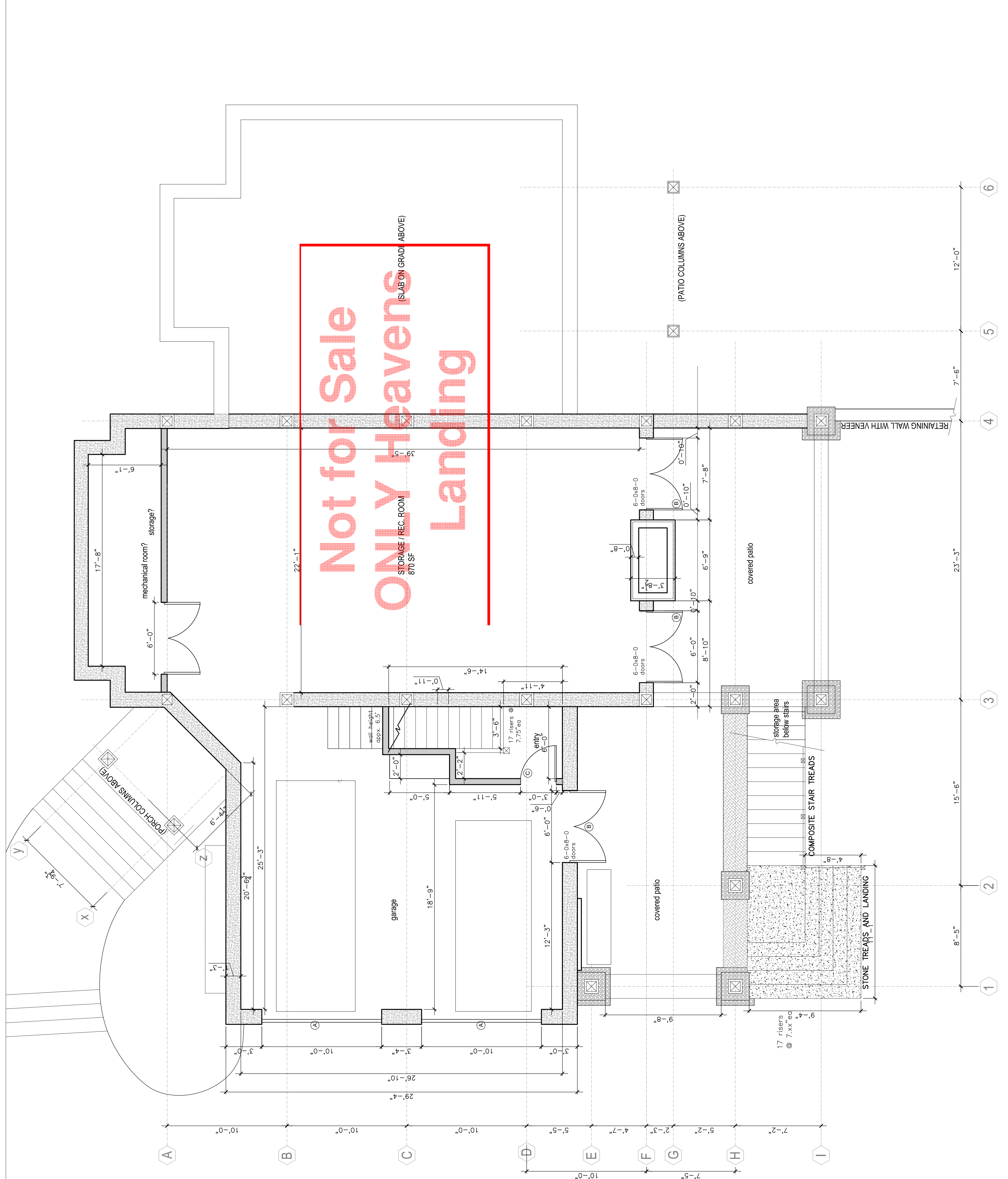
NOT RELEASED FOR CONSTRUCTION

date: 26 JANUARY 2021

title:
GROUND LEVEL PLAN

drawing number

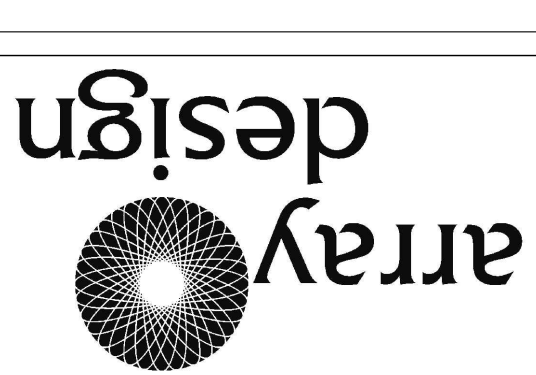
A-1.0



1 GROUND LEVEL PLAN
SCALE: 1/4" = 1'-0"



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shauna kucera,
registered architect
tel. 912.228.9088

Heaven's Landing Lot 181
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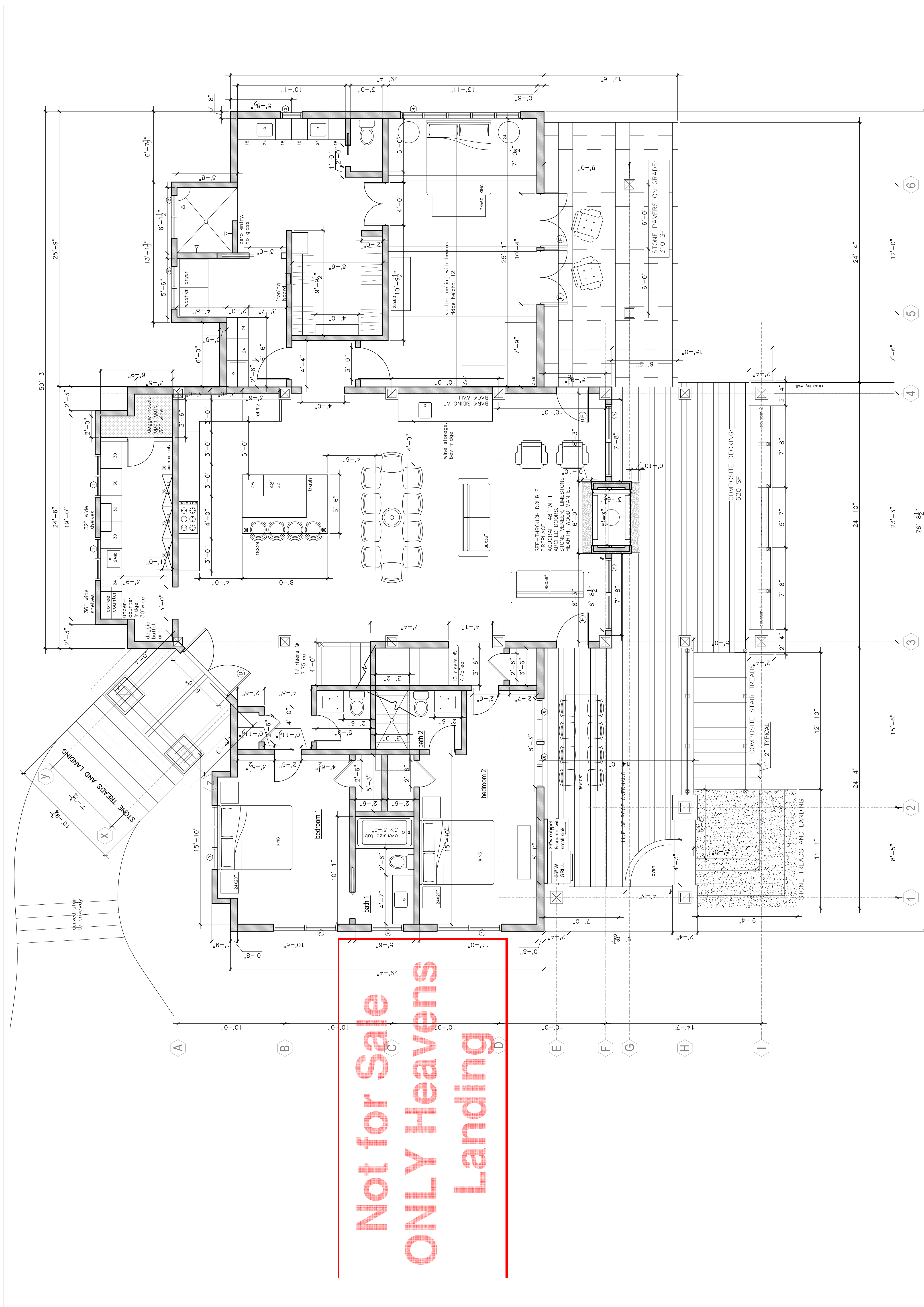
revisions

NOT RELEASED FOR CONSTRUCTION

date: 26 JANUARY 2021

title:
MAIN LEVEL PLAN

drawing number
A-1.1

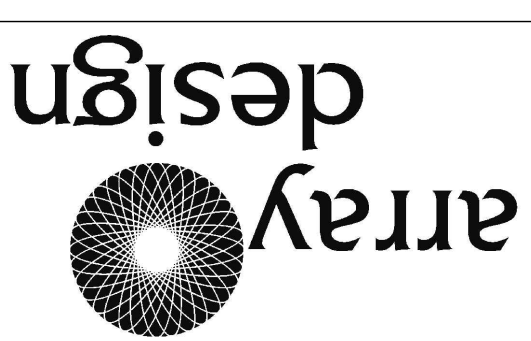


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1 MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"



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shauna kucera,
registered architect
tel. 912.225.9088

Heaven's Landing Lot 181
Rabun County, Georgia

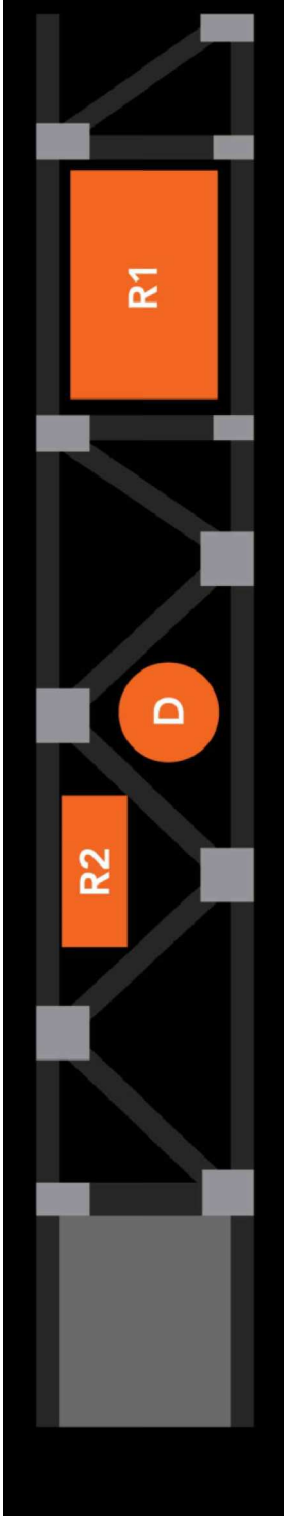
revisions

date: 26 JANUARY 2021

title:
LOFT LEVEL PLAN

drawing number
A-1.2

TRIM-JOIST J18 WEB OPENING SIZES

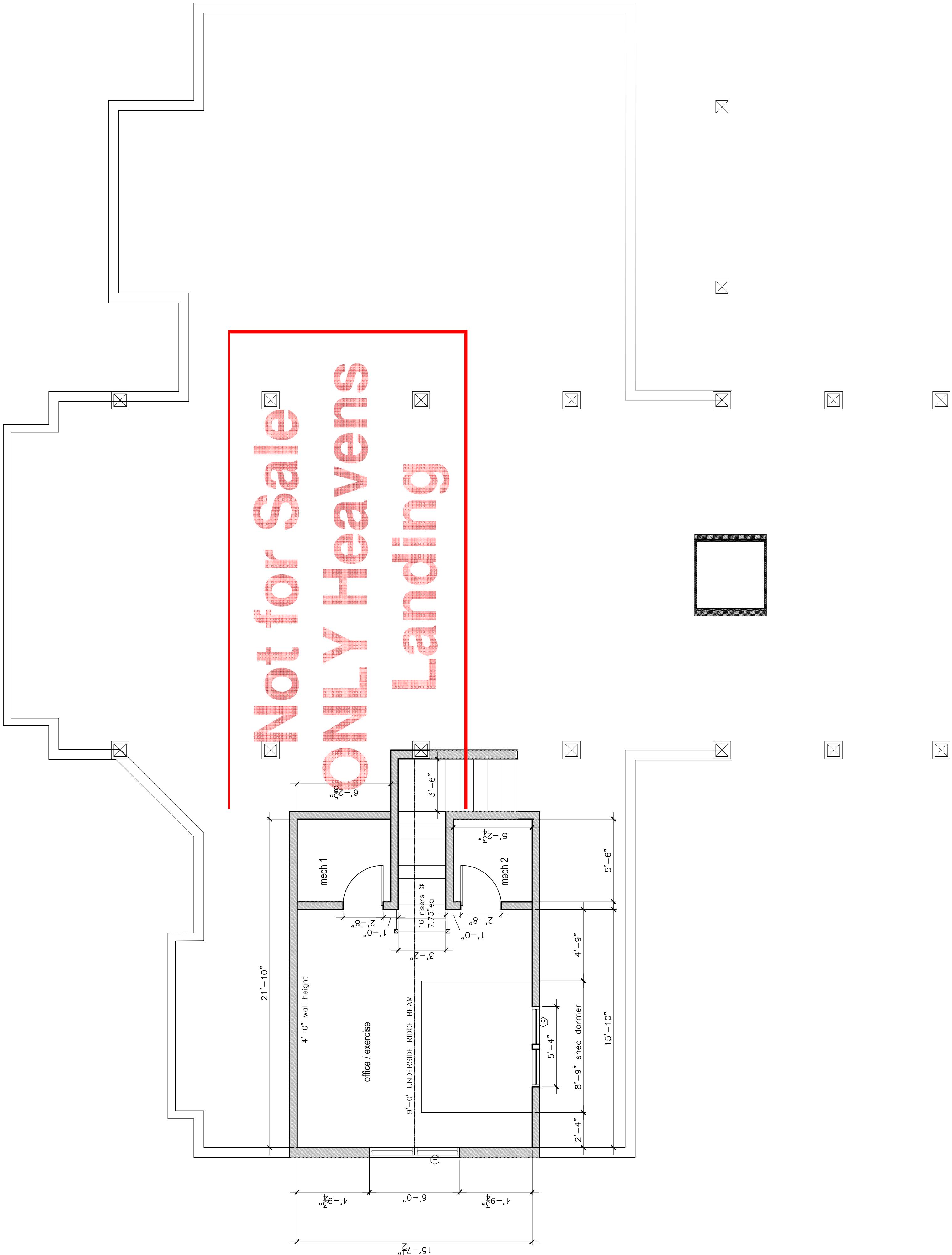


Family	H	D	R1	R2
J12	11 7/8"	5"	8 x 16"	4 x 9"
J14	14"	8"	10 x 24"	3 x 12" 4 x 10" 6 x 6"
J16	16"	9"	12 x 24"	3 x 14" 4 x 12" 6 x 8"
J18	18"	10"	14 x 24"	3 x 16" 4 x 14" 6 x 10" 8 x 8"

TRIM-JOIST J18 SPAN CHART

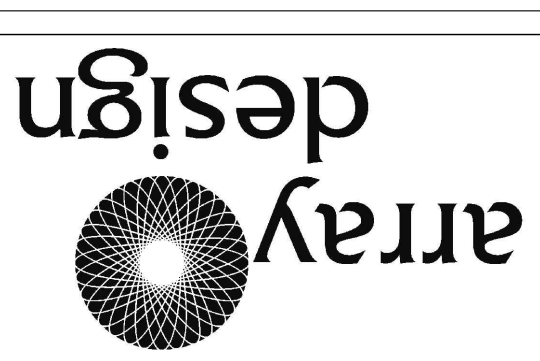
Loading...	50 (46-53)	55 (46-103)	60 (46-10-10)	65 (46-15-10)	70 (46-20-10)
Spc	12.0"	13.7"	16.0"	19.2"	24.0"
	30'-0" U768	30'-0" U671	30'-0" U575	30'-0" U479	28'-5" U466
	30'-0" U768	30'-0" U671	30'-0" U575	30'-0" U479	27'-4" U554
	30'-0" U768	30'-0" U671	30'-0" U575	30'-0" U479	26'-5" U529
	30'-0" U768	30'-0" U671	30'-0" U575	30'-0" U479	26'-0" U504
	30'-0" U768	30'-0" U671	30'-0" U575	30'-0" U479	25'-11" U489
	30'-0" U768	30'-0" U671	30'-0" U575	30'-0" U479	25'-11" U464
	30'-0" U768	30'-0" U671	30'-0" U575	30'-0" U479	25'-11" U439

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shauna kucera,
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tel. 912.228.9088

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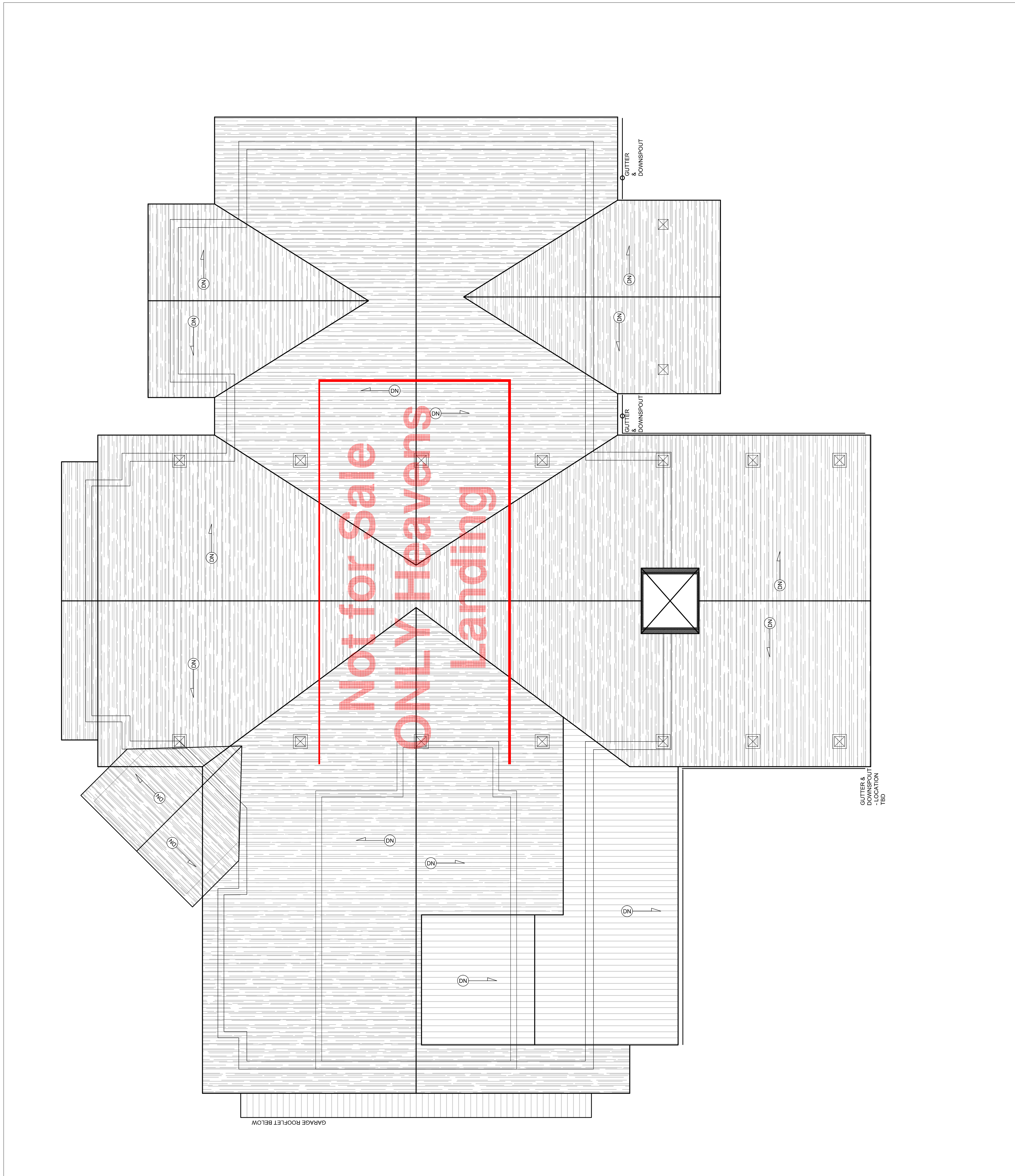
revisions

date: 26 JANUARY 2021

title:
ROOF PLAN

drawing number

A-1.3



LIVING ROOM RIDGE BEAM: UNDERSIDE AT 18'-10"

MASTER BEDROOM AND BATH VAULTED FROM 9'-0" TO 12'-6"

HEADER HEIGHT 8'-0" AFF

FINISHED FIRST FLOOR

GARAGE/BASEMENT CEILING 9'-0"

curved stair
down to driveway

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Landing**

1 FRONT ELEVATION: SOUTH

SCALE: 1/4" = 1'-0"

A-2.0

LIVING ROOM RIDGE BEAM: UNDERSIDE AT 18'-10"

MASTER BEDROOM AND BATH VAULTED FROM 9'-0" TO 12'-6"

HEADER HEIGHT 8'-0" AFF

FINISHED FIRST FLOOR

GARAGE/BASEMENT CEILING 9'-0"

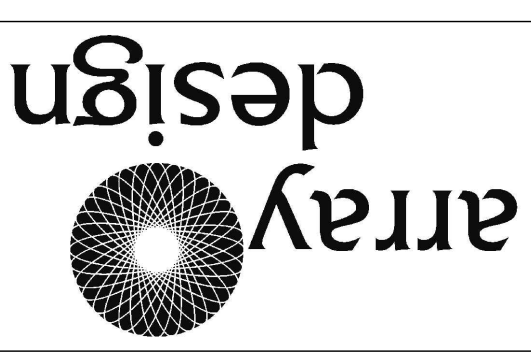
2 SIDE ELEVATION (WEST)

SCALE: 1/4" = 1'-0"

A-2.0



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shauna kucera,
registered architect
tel. 912.228.9088

Heavens's Landing Lot 181
Rabun County, Georgia

revisions

date: 26 JANUARY 2021

title:

EXTERIOR ELEVATIONS:
FRONT (SOUTH) AND
SIDE (WEST)

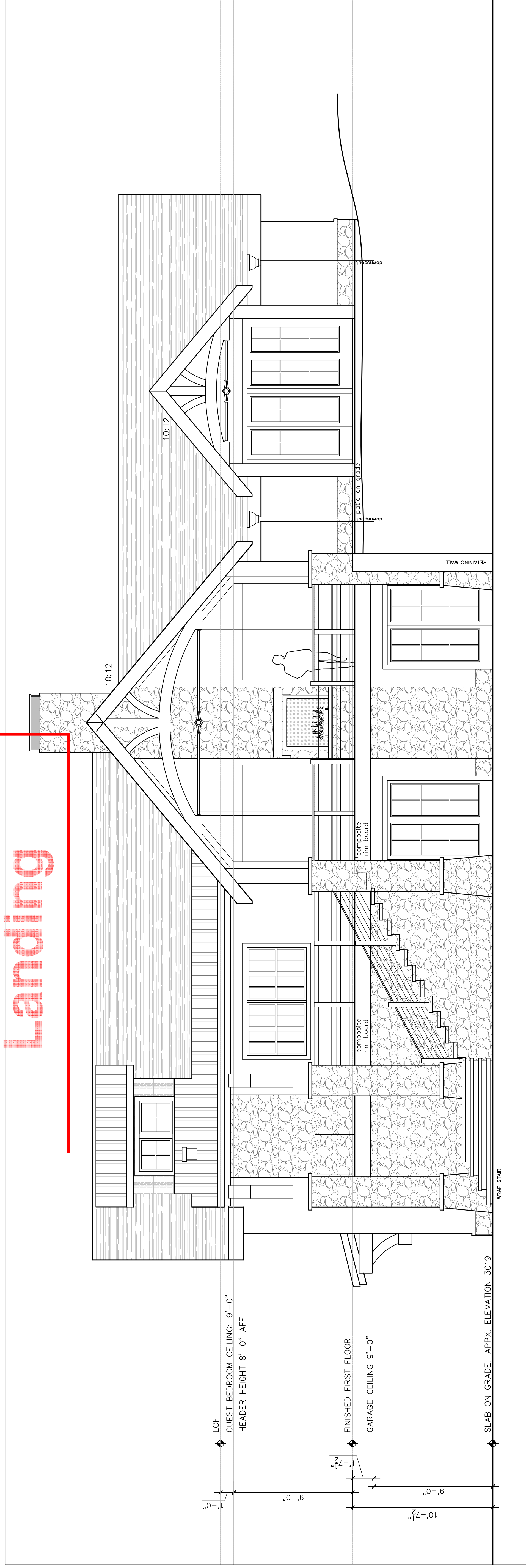
drawing number

A-2.0

NOT RELEASED FOR CONSTRUCTION



1 SIDE ELEVATION: EAST
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



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shauna kucera,
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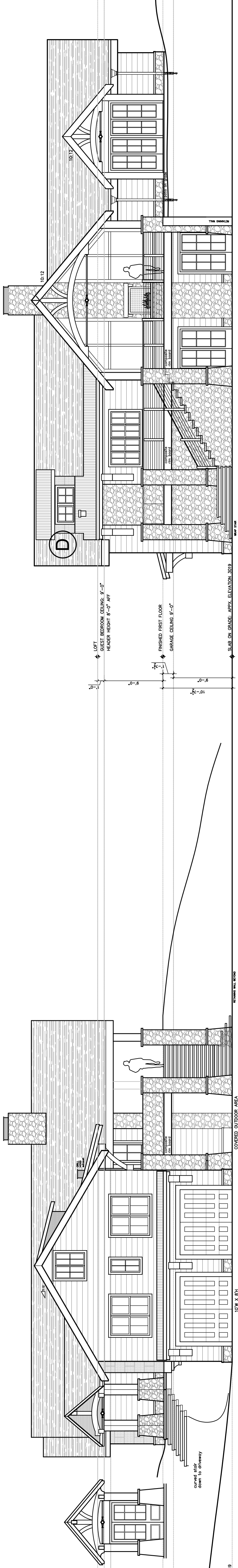
date: 26 JANUARY 2021

title:

EXTERIOR
ELEVATIONS: SIDE
(EAST) AND REAR
(NORTH)

drawing number

A-2.1

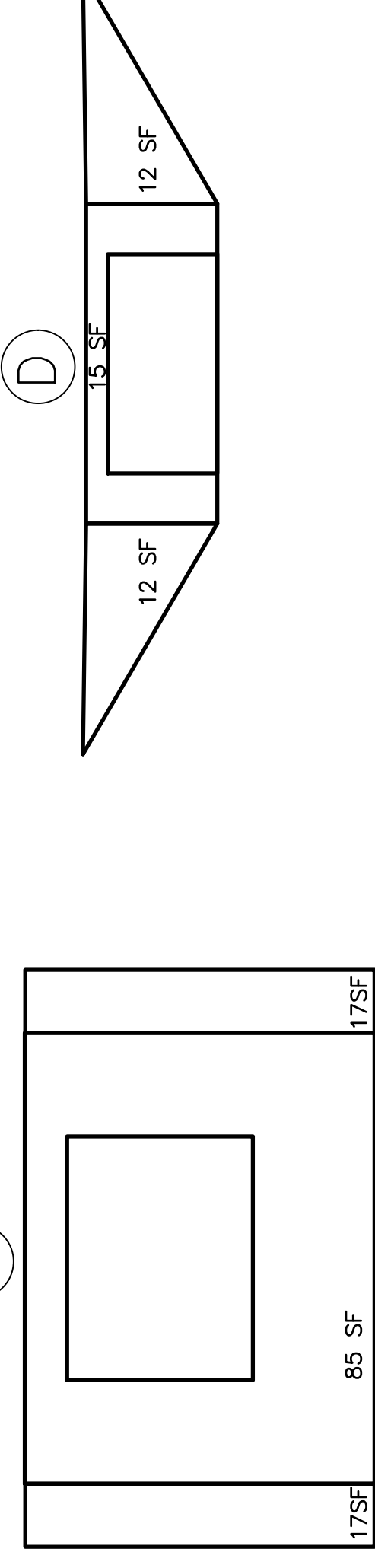
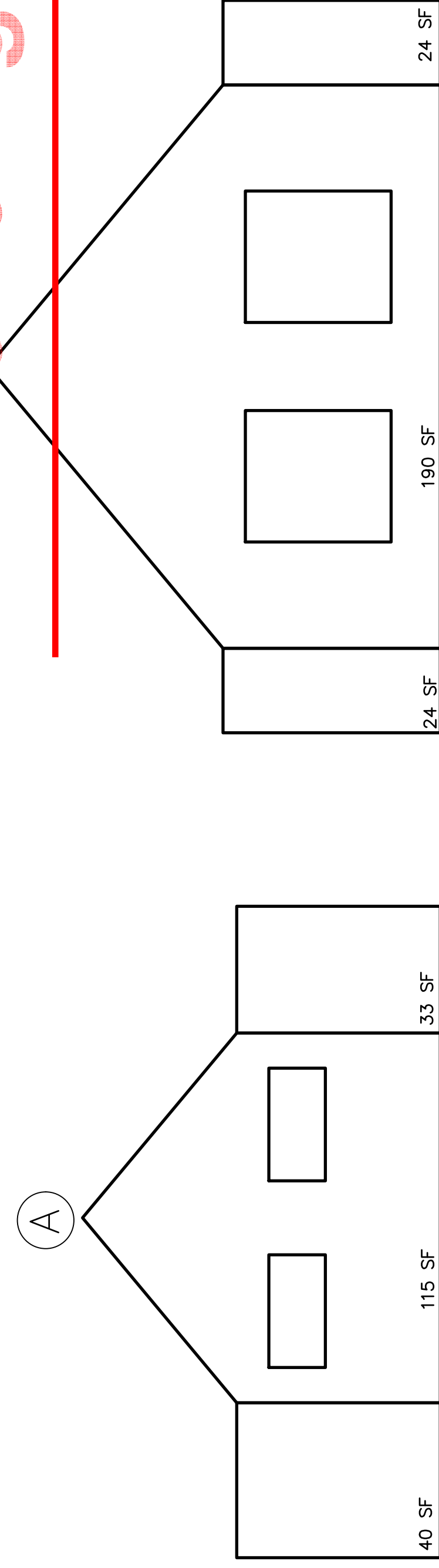


1 SIDE ELEVATION: EAST
SCALE: 1/8" = 1'-0"

2 REAR ELEVATION: NORTH
SCALE: 1/8" = 1'-0"

3 SIDE ELEVATION: WEST
SCALE: 1/8" = 1'-0"

4 FRONT ELEVATION: SOUTH
SCALE: 1/8" = 1'-0"



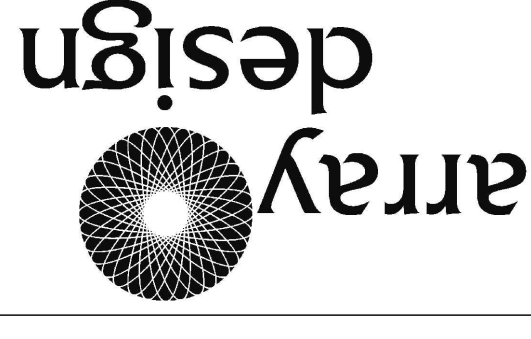
WITH OVERLAGE: 13% FOR TABLES 6% FOR STRAIGHT WALLS	44 SF	130 SF	36 SF	26 SF	215 SF	26 SF	26 SF
TOTAL: 652 SF	210 SF			267 SF			

	195SF	92 SF	195SF	17 SF	14 SF	14 SF
	130 SF		130 SF	45 SF		

5 BARK SIDING CALCULATIONS
SCALE: 1/4" = 1'-0"



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shauna kucera,
registered architect
tel. 912.225.9088

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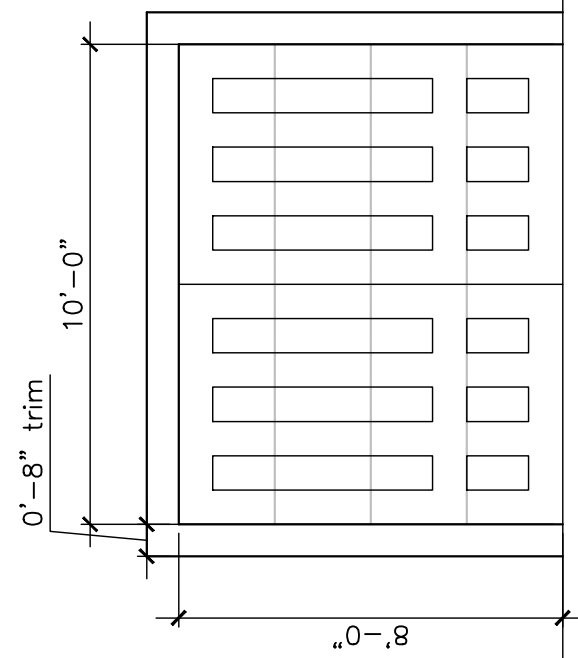
date: 26 JANUARY 2021

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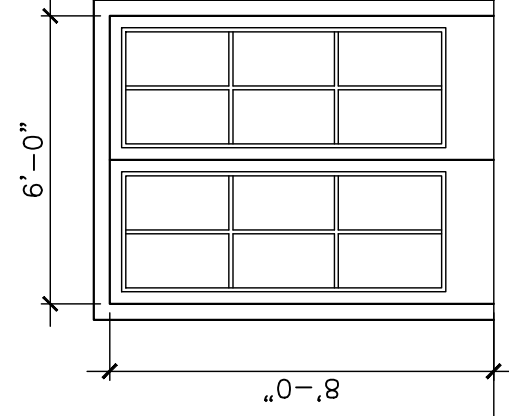
BARK SIDING SF
TAKE-OFFS

drawing number

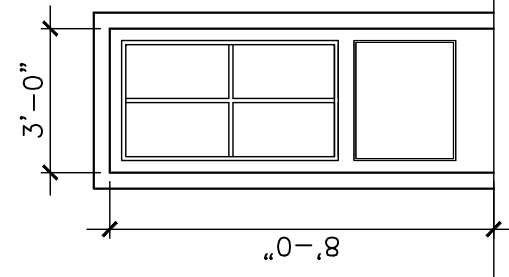
A-2.2



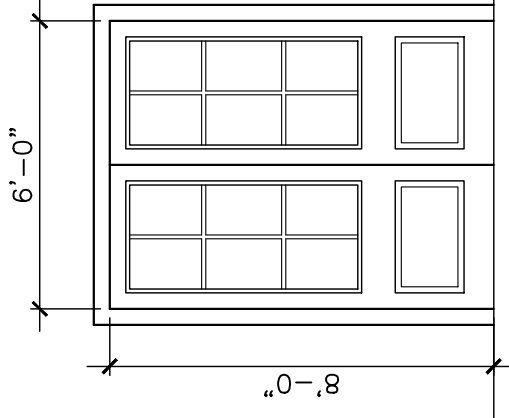
(A) CARPACE DOORS, CLOPAY, INSULATED
ALUMINUM CLAD, WOOD, FULL LIGHT FRENCH DOOR



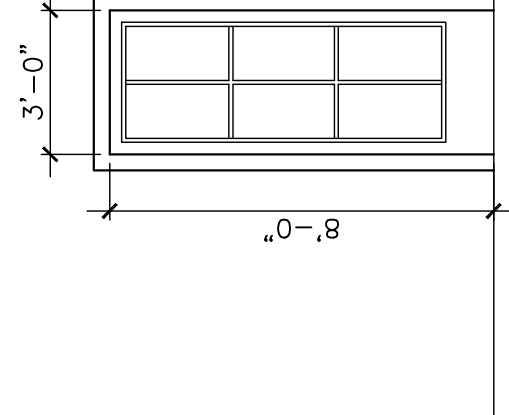
(B) ALUMINUM CLAD, WOOD, FULL LIGHT FRENCH DOOR



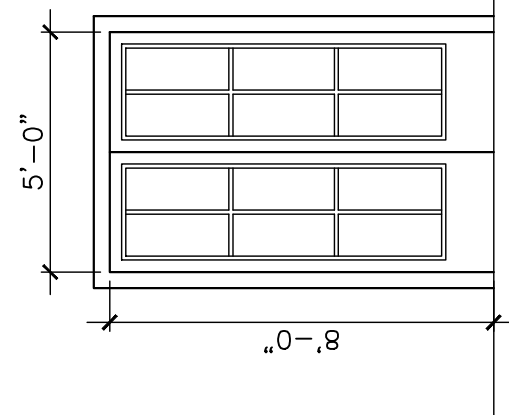
(C) ALUMINUM CLAD, WOOD, HALF-LIGHT ENTRY DOOR



(D) ALUMINUM CLAD, WOOD, 3/4-LIGHT FRENCH DOOR

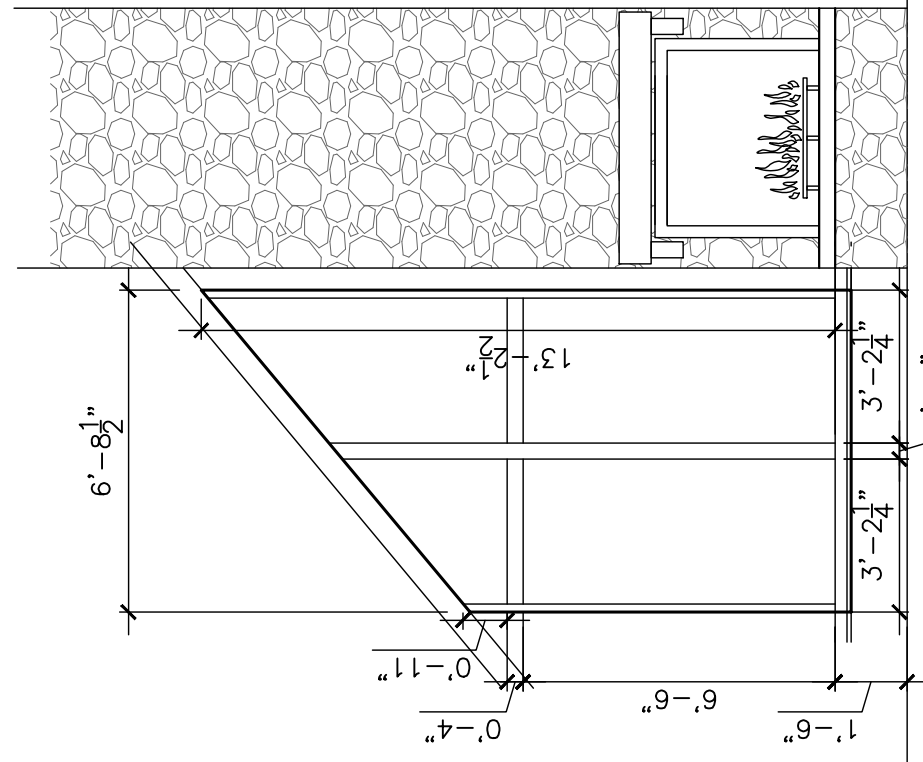


(E) ALUMINUM CLAD, WOOD, FULL-LIGHT ENTRY DOOR

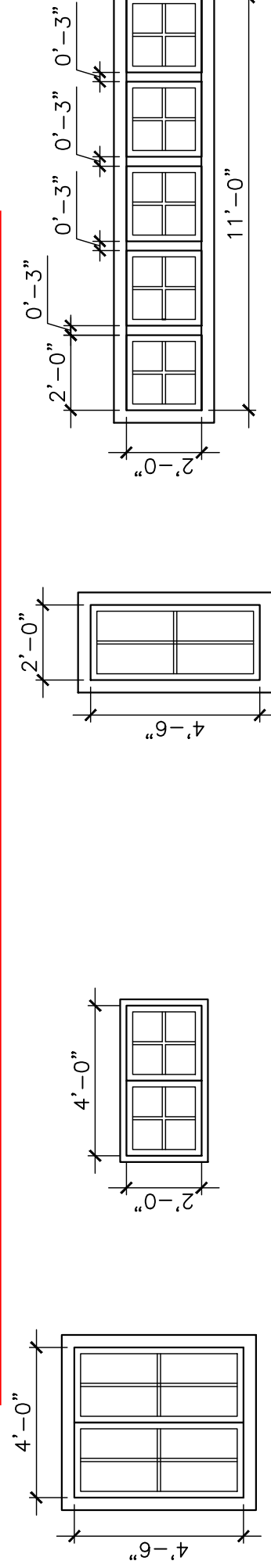


(E) ALUMINUM CLAD, WOOD, FULL-LIGHT FRENCH DOOR

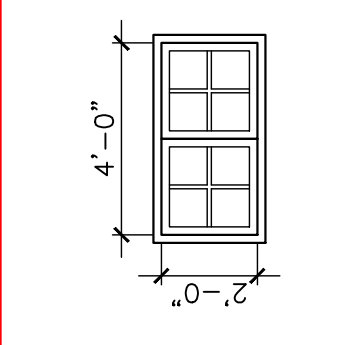
**Not for Sale
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Landing**



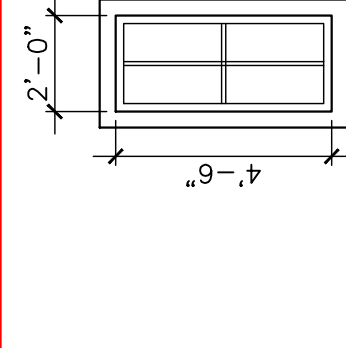
(5) FIXED: DIRECT SET
*CONFIRM DIMENSIONS ON SITE BEFORE ORDERING



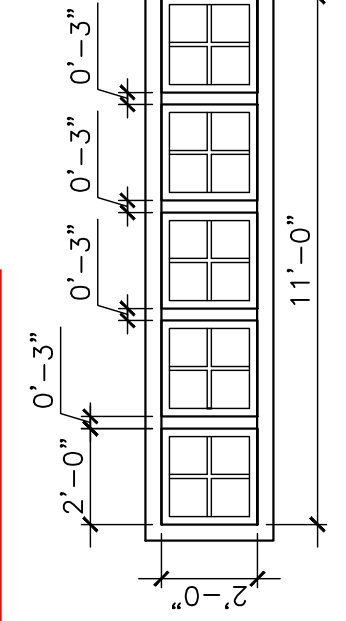
(1) TWIN CASEMENT



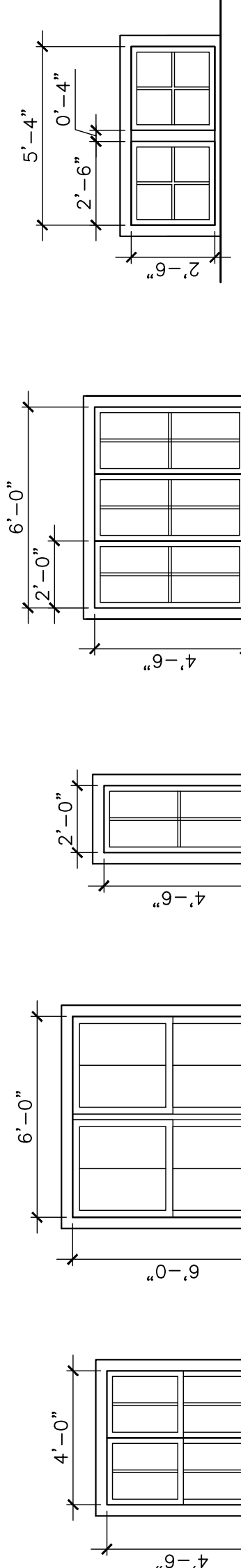
(2) TWIN FIXED COMPOSITE/VINYL? (SHOWER)



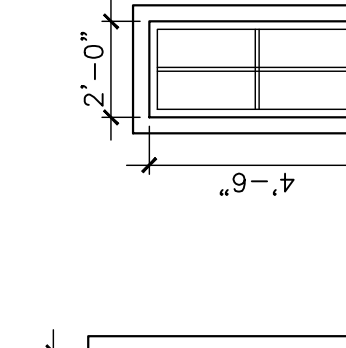
(3) CASEMENT



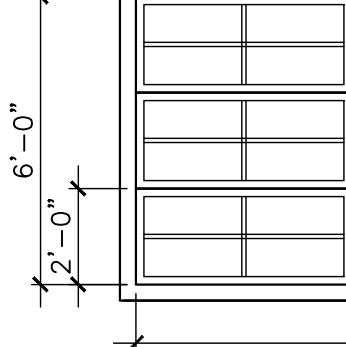
(4) FIXED



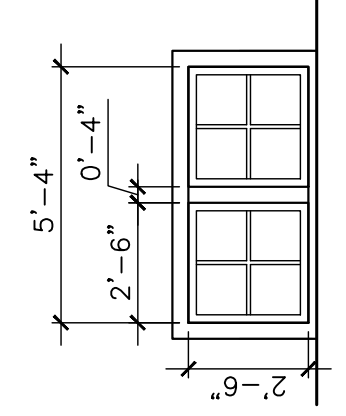
(6) TWIN DOUBLE-HUNG *MUST MEET EGRESS*



(8) CASEMENT



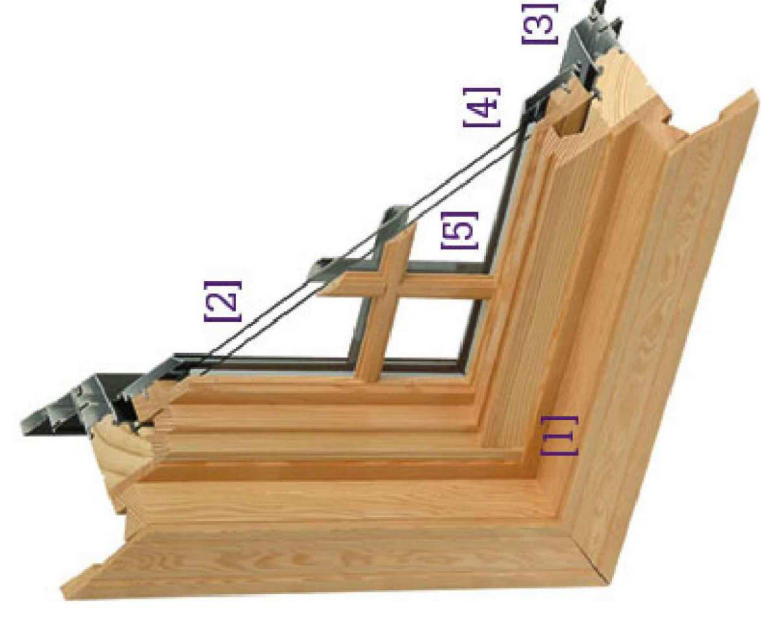
(9) CASEMENT



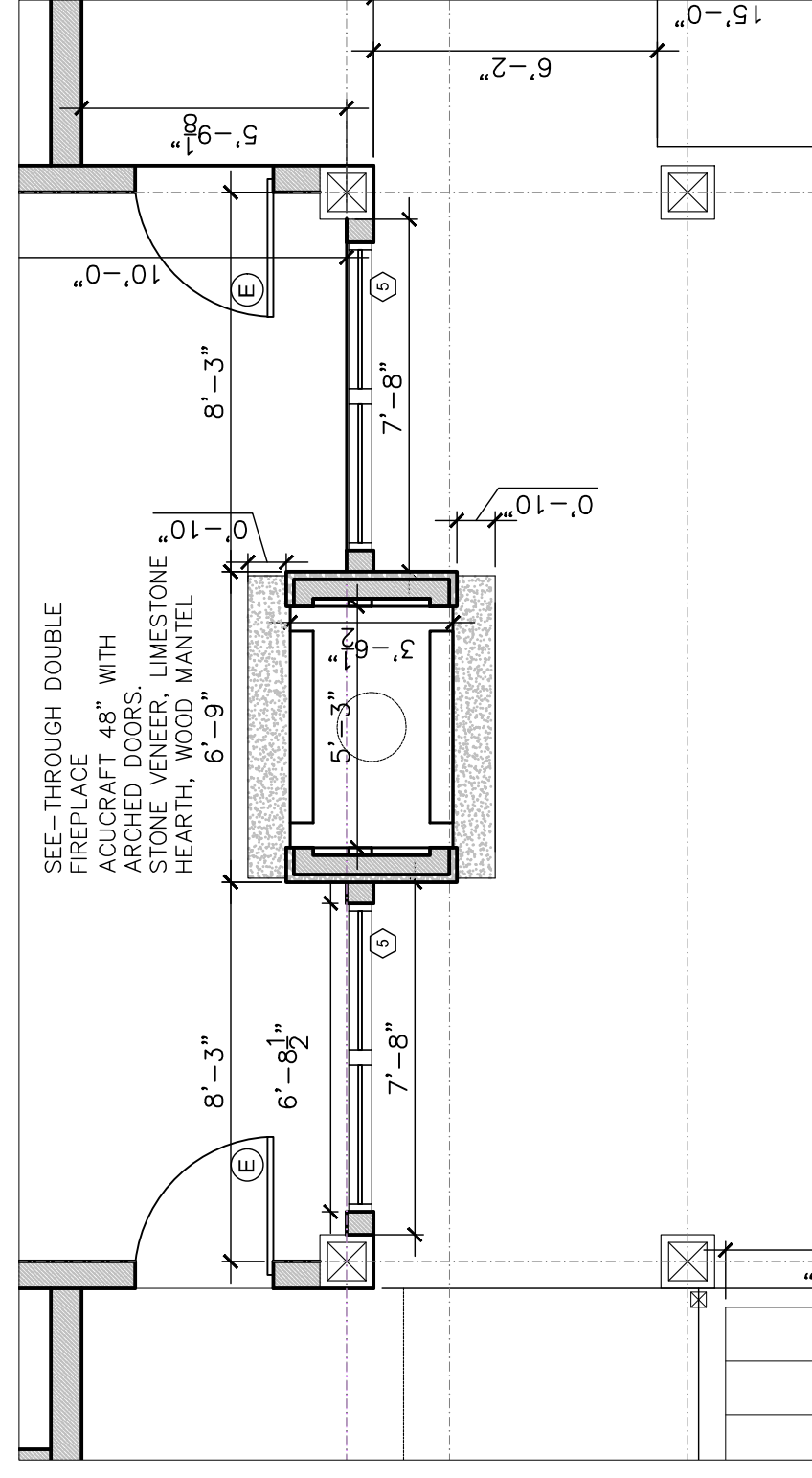
(10) CASEMENT

TYPICAL DOOR AND WINDOW NOTES:

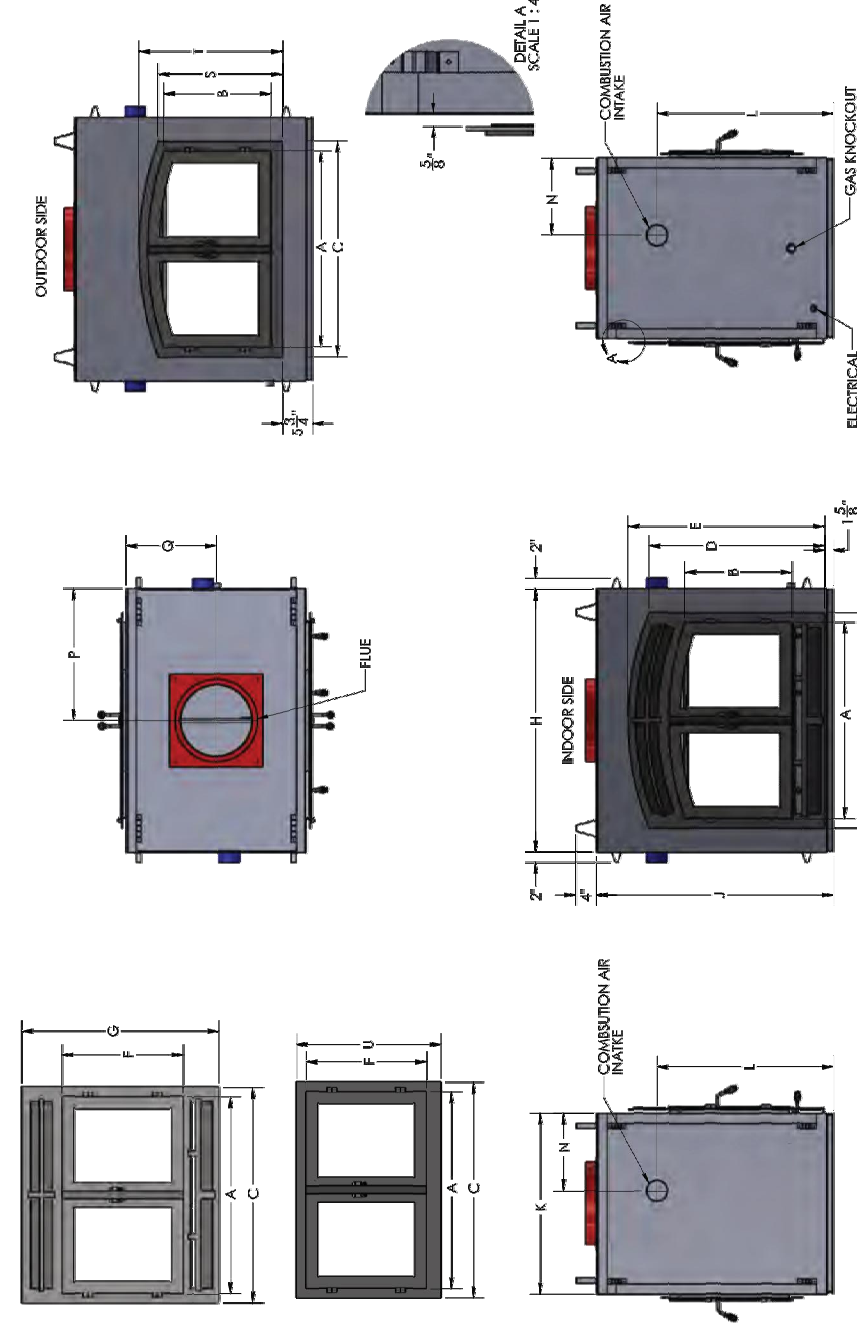
1. NEW WINDOWS AND DOORS TO BE ALUMINUM-CLAD WOOD, PREMIUM SERIES WITH 8" PUTTY-GLAZE PROFILE MULLIONS, SIMULATED DIVIDED LIGHT.
2. ALL GLAZING TO BE LOW-E GLASS
3. SUPPLIER TO CONFIRM THAT WINDOWS MEET NECESSARY DP AND EGRESS REQUIREMENTS. EGRESS WINDOWS WILL HAVE MAXIMUM SILL HEIGHT OF 44" AFF, NET CLEAR OPENING OF 5.7 SF MINIMUM, NET CLEAR OPENING HEIGHT OF 22" MINIMUM, NET CLEAR OPENING WIDTH OF 20" MINIMUM.
4. SOME WINDOWS WILL HAVE SCREENS. VERIFY SCREEN LOCATIONS WITH OWNER/ARCHITECT.
5. LARGE WINDOWS ON EITHER SIDE OF FIREPLACE WILL BE FIXED, DIRECT-SET WITH MINIMAL MULLION AND SASH WIDTHS. CONFIRM WINDOW OPTIONS AND VERIFY SIZES DURING FRAMING.



SECTION: WINDSOR PINNACLE



FIREPLACE SPECIFICATIONS



HEARTHROOM DIMENSIONS										
MODEL	A	B	C	D	E	F	G	H	J	K
HR-36-IO	36"	20 3/4"	41 3/4"	34 1/4"	38 1/4"	23 7/16"	38 1/4"	51"	46"	35"
HR-44-IO	44"	48 1/2"	24 3/8"	49 3/4"	37 1/4"	43 1/4"	28 13/16"	43 1/4"	39"	50"
HR-48-IO	48"	48 3/4"	39 7/16"	53 3/4"	53 3/4"	59 9/16"	38 5/8"	53 3/8"	63"	42 1/2"

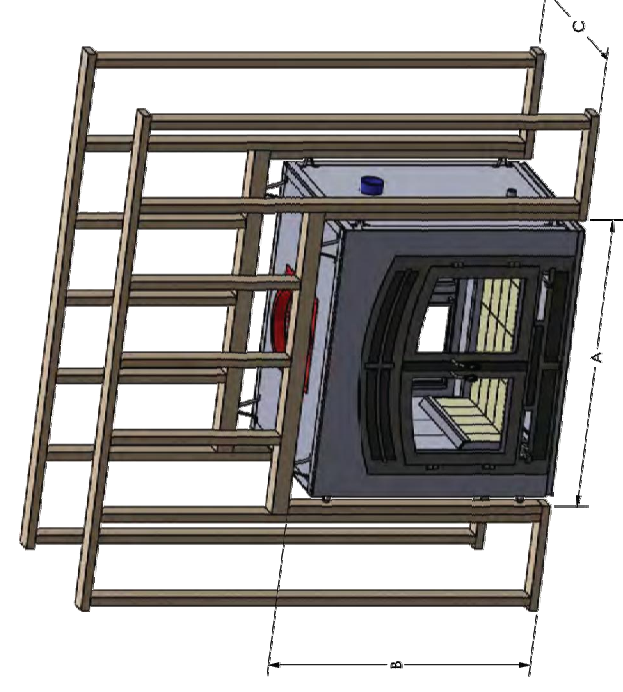
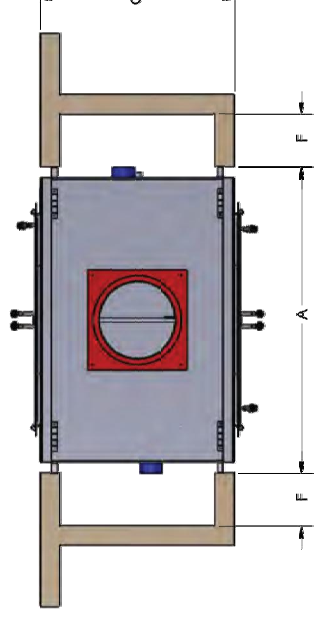
MODEL	L	N	P	O
HR-36-IO	34 1/4"	16"	25 1/2"	17 1/2"
HR-44-IO	38 1/2"	14 1/2"	29 1/2"	17 1/2"
HR-48-IO	55 1/2"	14"	31 1/2"	21 1/4"

SPECIFICATIONS		
MODEL	FLUE	APPROX WEIGHT
HR-36-IO	4"	900 LBS
HR-44-IO	5"	1200 LBS
HR-48-IO	6"	1800 LBS

Columns B, D & E are for ARCH fronts only. Columns F & G are for RECTANGULAR fronts only.

FRAMING & FACING INSTALLATION

STANDARD IN WALL FRAMING



Framing Dimensions					
A	B	C	F	J	K
HR-36-IO	55"	50"	55"	9 1/2"	35"
HR-44-IO	65"	54"	59"	10 1/2"	50"
HR-48-IO	67"	70 1/2"	42 1/2"	11 1/2"	65 1/2"

If framing in the fireplace beforehand the rough opening must be large enough to slide the unit into place.

DESIGN CRITERIA: (2018 INTERNATIONAL BUILDING CODE WITH GEORGIA AMENDMENTS)

- CONCRETE WALLS ARE DESIGNED IN ACCORDANCE WITH THE FOLLOWING:
 - CONCRETE UNIT FLOOD WEIGHT OF SOIL = 40 PCF, ASSUMING "ACTIVE" EARTH PRESSURE CONDITIONS (BEARING WALLS)
 - EARTH PRESSURE COEFFICIENT OF 0.30 FOR "REST" WALLS
 - ULTIMATE PASSIVE SOIL RESISTANCE OF 300 PCF
 - FRICITION COEFFICIENT, CONCRETE AGAINST SOIL = 0.4
 - UNIT WEIGHT OF SOIL = 110 PCF
 - MINIMUM SAFETY FACTOR AGAINST SLIDING AND OVERTURNING = 1.5
 - 40 PSF LIVE LOAD SURCHARGE ON RETAINED SIDE OF WALL

CONCRETE:

- CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH (f'c) OF 3,500 PSI AND A DENSITY OF 145 PCF, UNLESS NOTED OTHERWISE.
- REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- MINIMUM CONCRETE COVER, UNLESS NOTED OTHERWISE:
 - UNFORMED SURFACE IN CONTACT WITH THE GROUND: _____ 3 IN.
 - FORMED SURFACES EXPOSED TO EARTH OR WEATHER: _____
 - #5 BARS AND SMALLER _____ 1 1/2 IN.
 - #6 BARS AND LARGER _____ 2 IN.

FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER:
 BEAMS, GIRDERS, AND COLUMNS: _____ 1 1/2 IN.
 SLABS, WALLS, AND JOISTS: _____ 3/4 IN.
 #11 BARS AND SMALLER: _____ 1 1/2 IN.
 #14 AND #18 BARS: _____

- LAP SPICES SHALL BE IN ACCORDANCE WITH THE FOLLOWING TABLE, UNLESS NOTED OTHERWISE. WHERE CLASSES ARE NOT CALLED OUT ON DRAWINGS, USE CLASS "B" SPICES.

BAR SIZE	TENSION SPICES (INCHES)		COMPRESSION SPICES (INCHES)	
	TOP BARS	OTHER BARS	ALL BARS	
#3	22	17	22	12
#4	28	22	28	15
#5	36	28	36	19
#6	43	33	43	23
#7	52	40	52	27
#8	61	48	61	32
#9	71	57	71	37
#10	81	65	81	42
#11	91	74	91	47

- FOUNDATION DOWNL EMBEDMENT: 22 BAR DIAMETERS
 LAP WELDED WIRE FABRIC ONE SPACING OF CROSS WIRES PLUS 2"
 BASE PLATES, ANCHOR BOLTS, SUPPORT ANGLES, ETC., BELOW GRADE SHALL BE COVERED WITH A MINIMUM OF 3" OF CONCRETE.

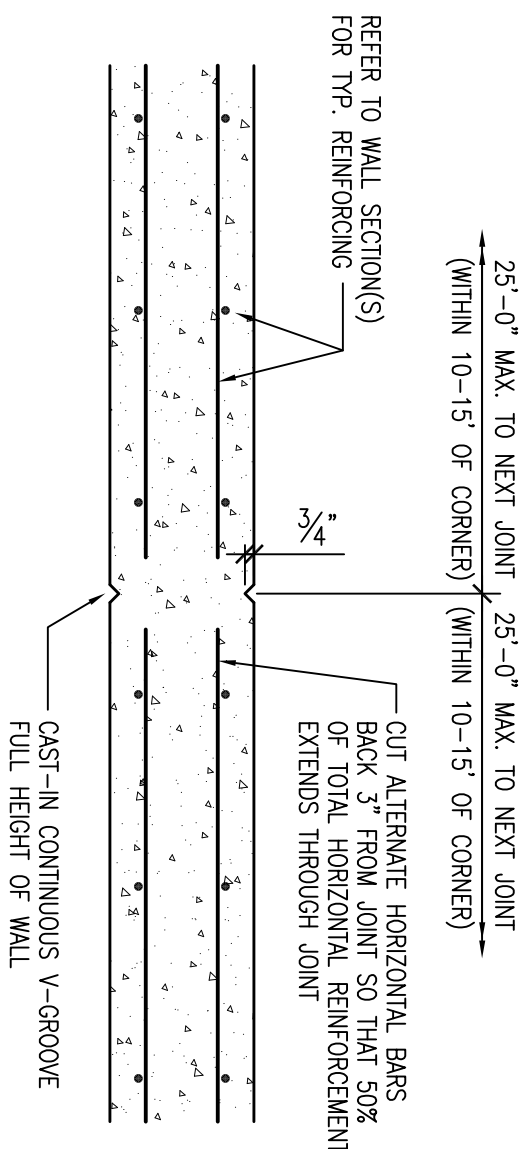
FOUNDATIONS – GENERAL:

- CONTINUOUS WALL FOOTINGS SHALL BEAR ON A SOIL CAPABLE OF SUSTAINING A NET ALLOWABLE BEARING PRESSURE OF 2,000 PSF UNDER SERVICE LIVE AND DEAD LOADS.
- FOOTINGS MAY BE POURED INTO AN EARTH-FORMED TRENCH IF SOIL CONDITIONS PERMIT.
- ALL BEARING MATERIAL SHALL BE INSPECTED BY AN INDEPENDENT TESTING AGENCY PRIOR TO CONCRETE PLACEMENT. THE INDEPENDENT TESTING AGENCY SHALL BE THE SOLE JUDGE AS TO THE SUITABILITY OF THE BEARING MATERIAL. FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED.
- BOTTOM OF EXTERIOR FOOTINGS SHALL BEAR A MINIMUM OF 1'-0" BELOW FINISH GRADES.
- FOUNDATION CONCRETE SHALL HAVE REACHED A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSF BEFORE BEING LOADED. STRENGTHS SHALL BE VERIFIED BY TESTS.

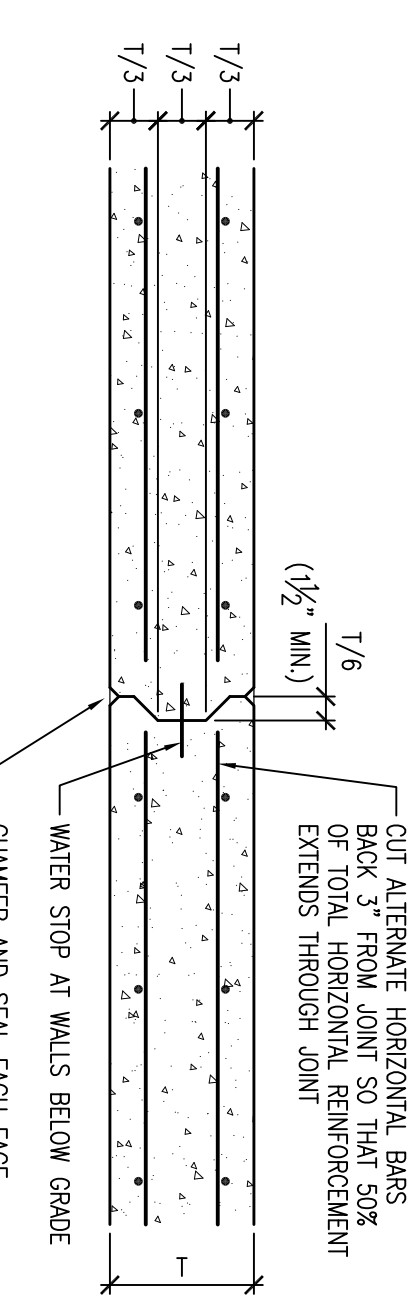
MISCELLANEOUS:

- NO OPENINGS SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE WRITTEN APPROVAL OF THE PROFESSIONAL OF RECORD.
- NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE PROFESSIONAL OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE LOADS ARE IMPOSED.
- THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING NECESSARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.
- THE CONTRACT DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, SEQUENCES, AND SAFETY. THE ENGINEER DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR:
 - CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES
 - PRECAUTIONS OR MEASURES OF PROTECTION OF EXISTING WORK.
 - OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- DO NOT SCALE THESE DRAWINGS. USE DIMENSIONS SHOWN.
- CONTRACTOR'S CONSTRUCTION AND/OR ERECTION SEQUENCES SHALL RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL INFORM THE PROFESSIONAL OF RECORD IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELEASED FROM THE RESPONSIBILITY OF SUCH DEVIATION BY THE PROFESSIONAL OF RECORD. REVISED DRAWINGS, PRODUCT DATA, ETC., UNLESS THE CONTRACTOR HAS BEEN ADVISED BY THE PROFESSIONAL OF RECORD OF SUCH DEVIATION AT THE TIME OF SUBMISSION, AND THE PROFESSIONAL OF RECORD HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
- THE CONTRACTOR SHALL NOT IMPLEMENT REMEDIAL DETAILS NECESSARIED BY MISFABRICATION OR FAILURE CONSTRUCTION WITHOUT WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER.

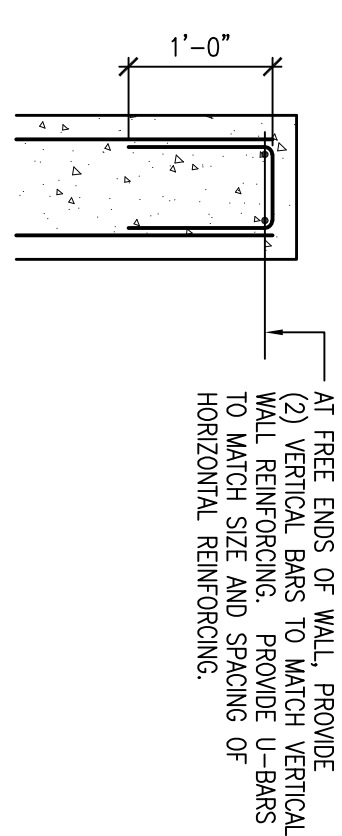
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Landing



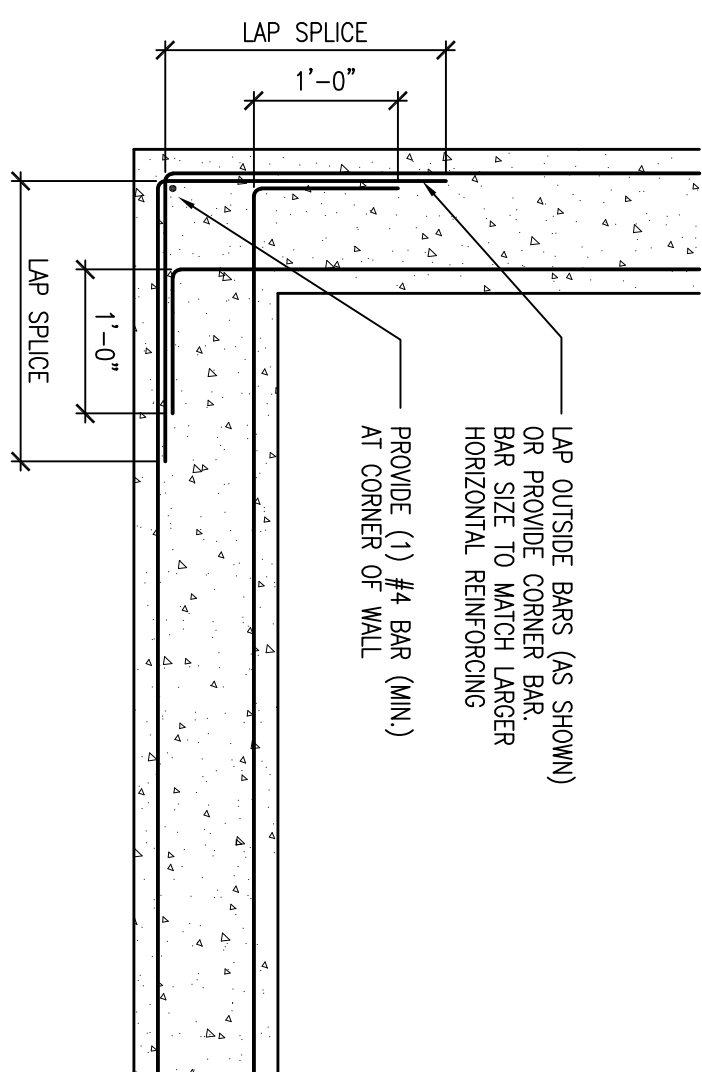
1 TYP. WALL VERTICAL CONTROL JOINT
SCALE: N1/S



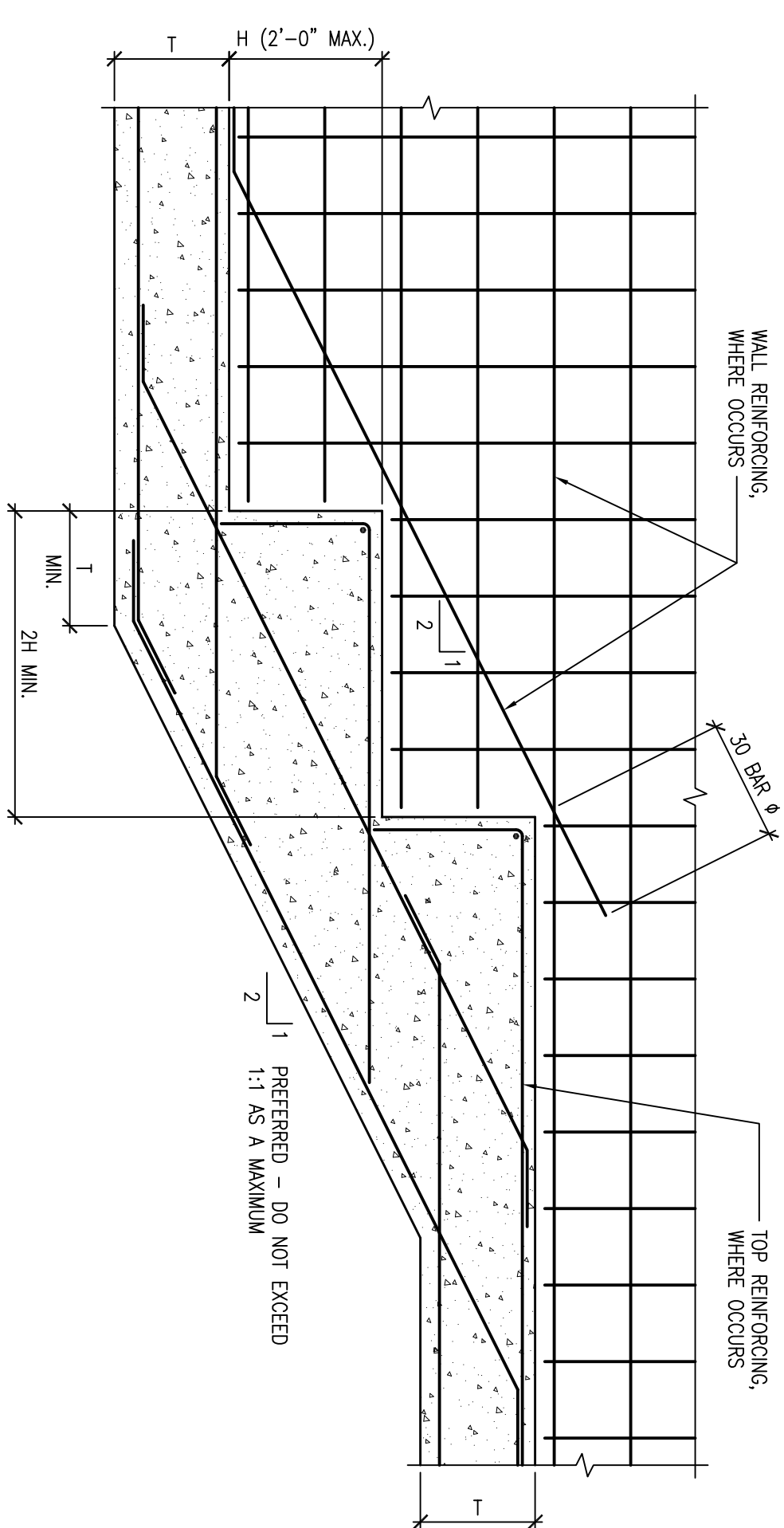
2 TYP. WALL VERTICAL CONSTRUCTION JOINT
SCALE: N1/S



3 TYP. REINFORCING AT CONCRETE WALL CORNERS AND INTERSECTIONS
SCALE: N1/S



4 TYP. FOOTING STEP DETAIL
SCALE: N1/S



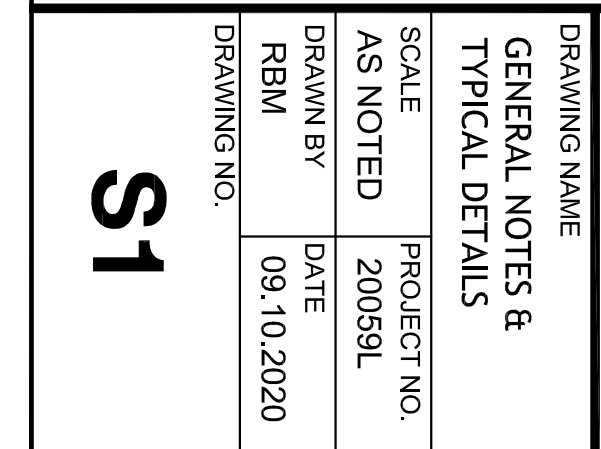
**HEAVEN'S LANDING
LOT 181
Basement and
retaining wall designs**

DRAWING NAME GENERAL NOTES & TYPICAL DETAILS	
SCALE AS NOTED	PROJECT NO. 20059L
DRAWN BY RBM	DATE 09.10.2020
DRAWING NO. S1	

RELEASE DATES	
NO.	DESCRIPTION
0	FOR CONSTRUCTION
DATE	
9/10/20	

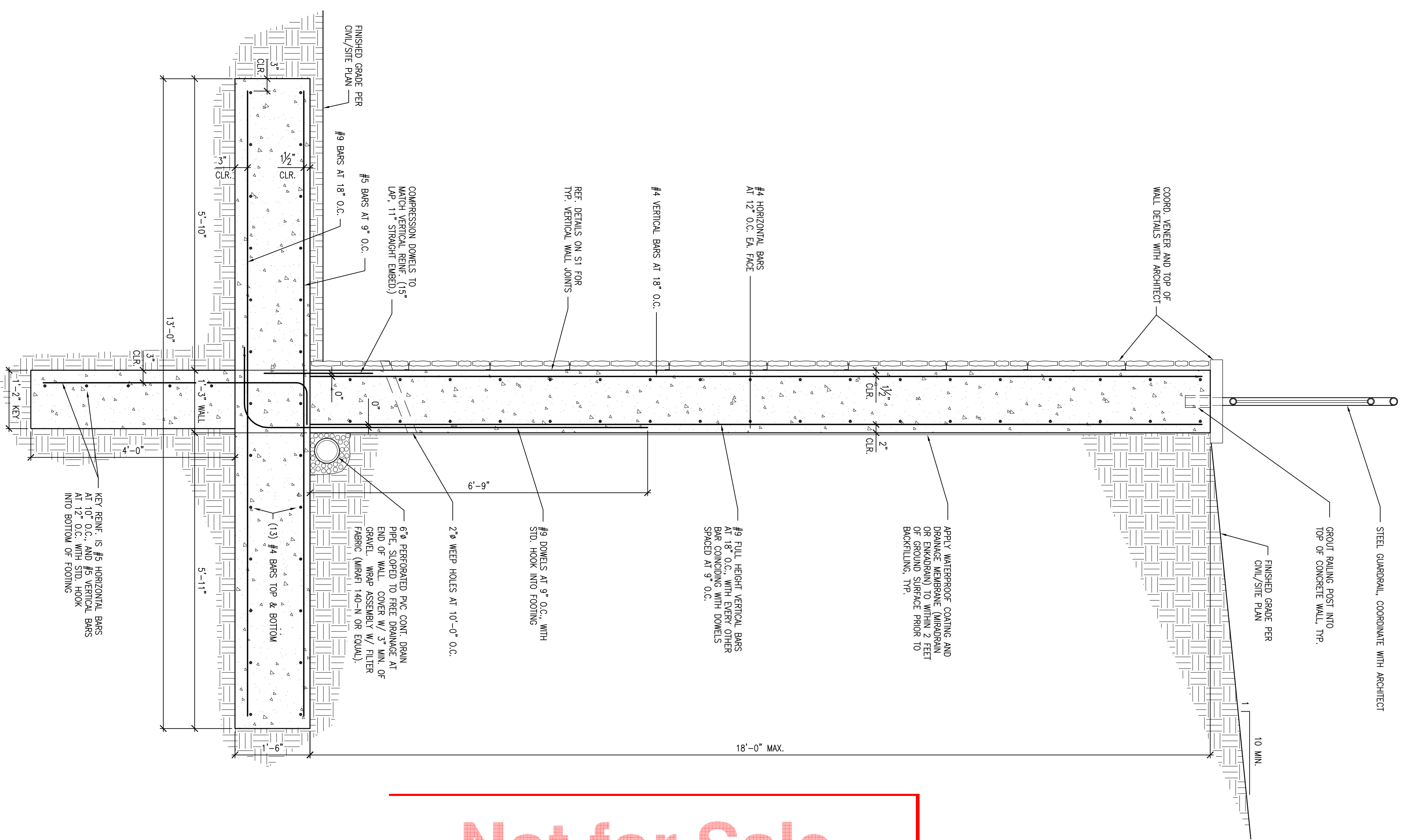
CLIENT:
Michael Cournoyer

712 Wilmington Island Road
Savannah, GA 31410



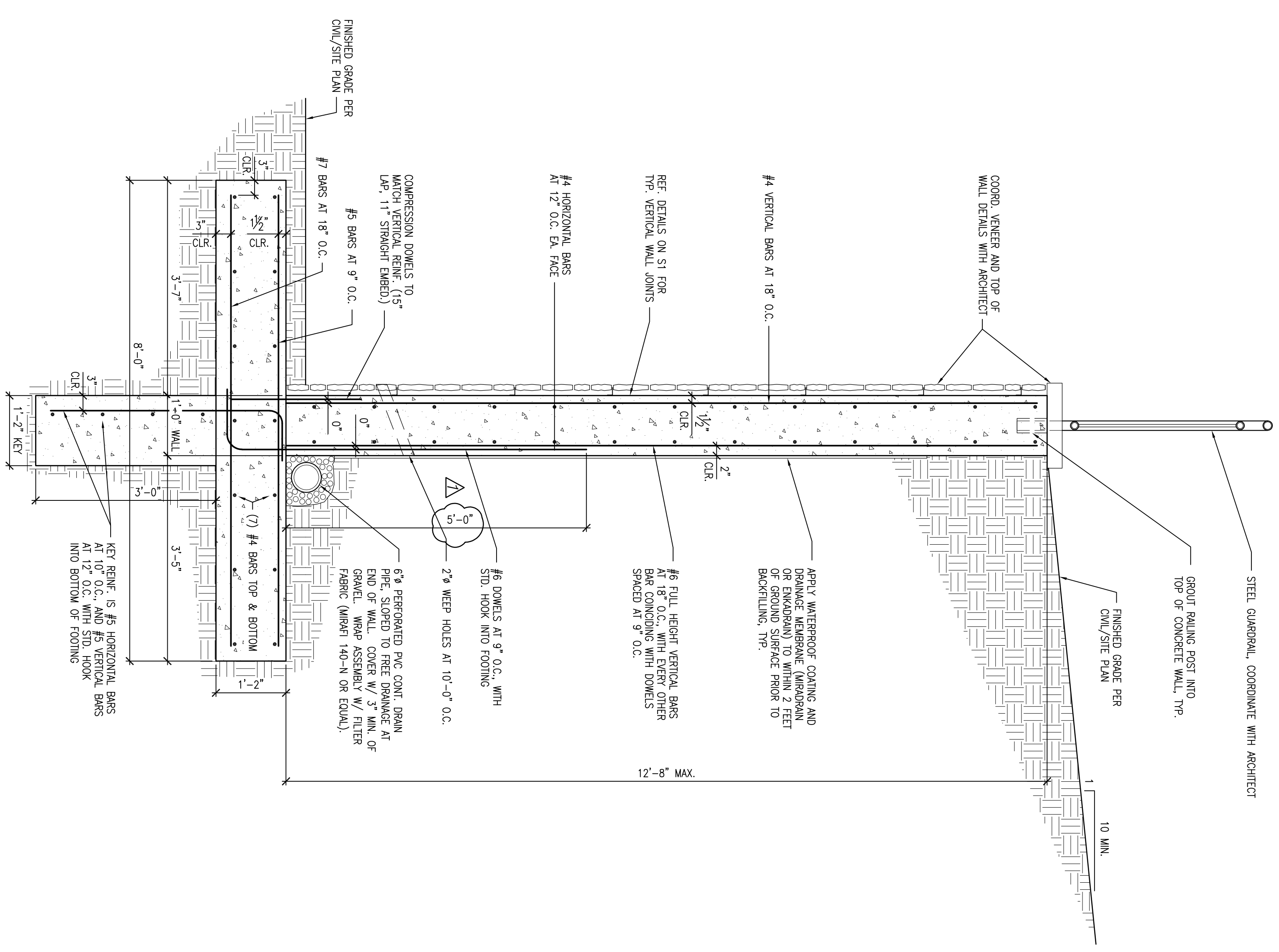
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NGCE
Northeast Georgia
Consulting Engineers, LLC
3939 Old Flowering Branch Road
Oakwood, GA 30566
PH: (770) 297-0075
FAX: (770) 297-0078



1 SITE RETAINING WALL SECTION (18'-0" MAX.)
SCALE: 3/4" = 1'-0"

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2 SITE RETAINING WALL SECTION (12'-8" MAX.)
SCALE: 3/4" = 1'-0"

CONTRACTOR NOTE:
SITE RETAINING WALLS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE SITE PLAN PREPARED BY FOOHILLS LAND DESIGN, DATED 3-17-20. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SAME, AND FOR DETERMINING LOCATIONS OF APPROXIMATE TRANSITIONS OVER THE DIFFERENT DETAILS. 6'-0" MAX. RETAINING WALL DETAIL IS ON SHEET S3.

NGCE
Northeast Georgia
Consulting Engineers, LLC
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Oakwood, GA 30566
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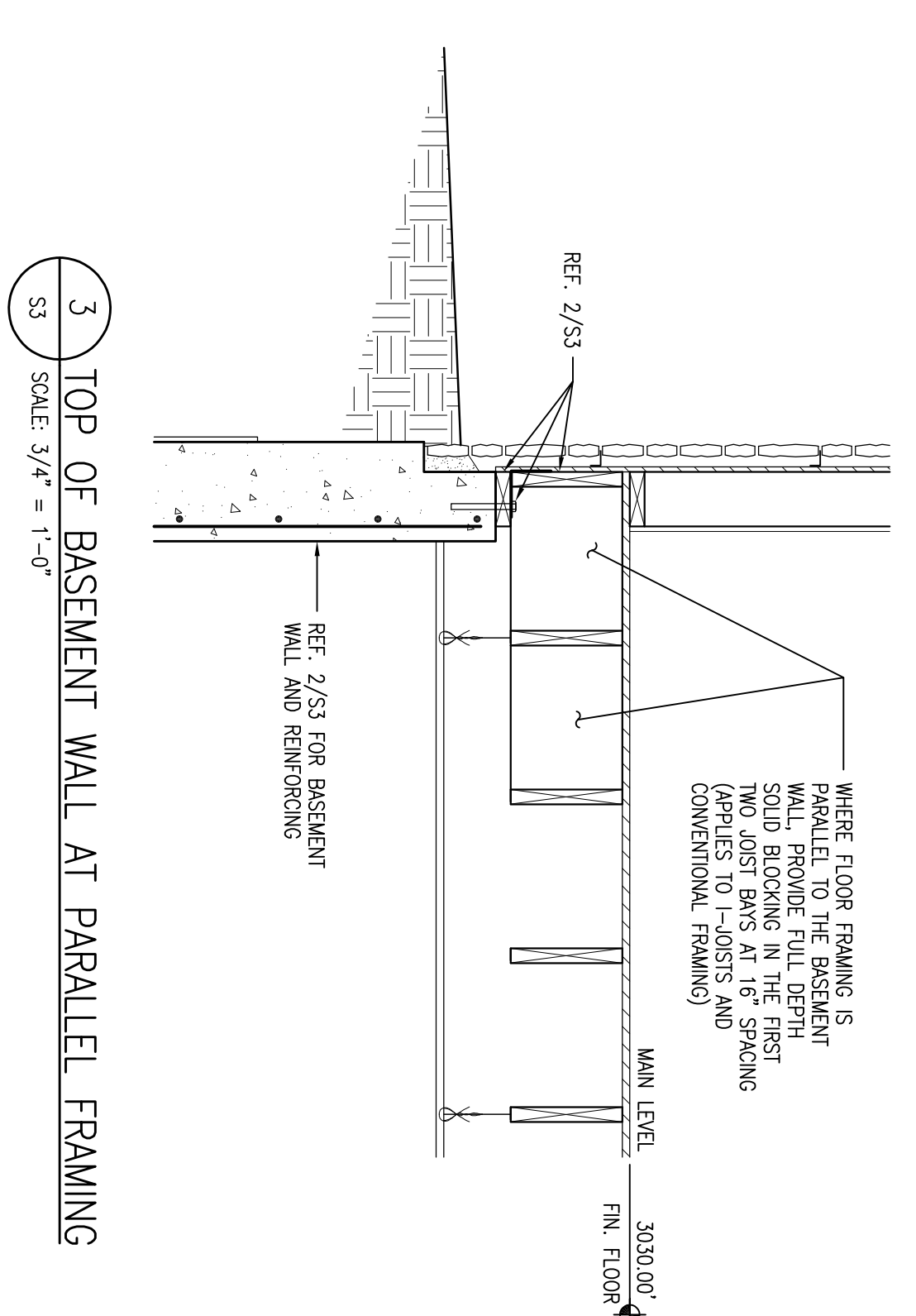
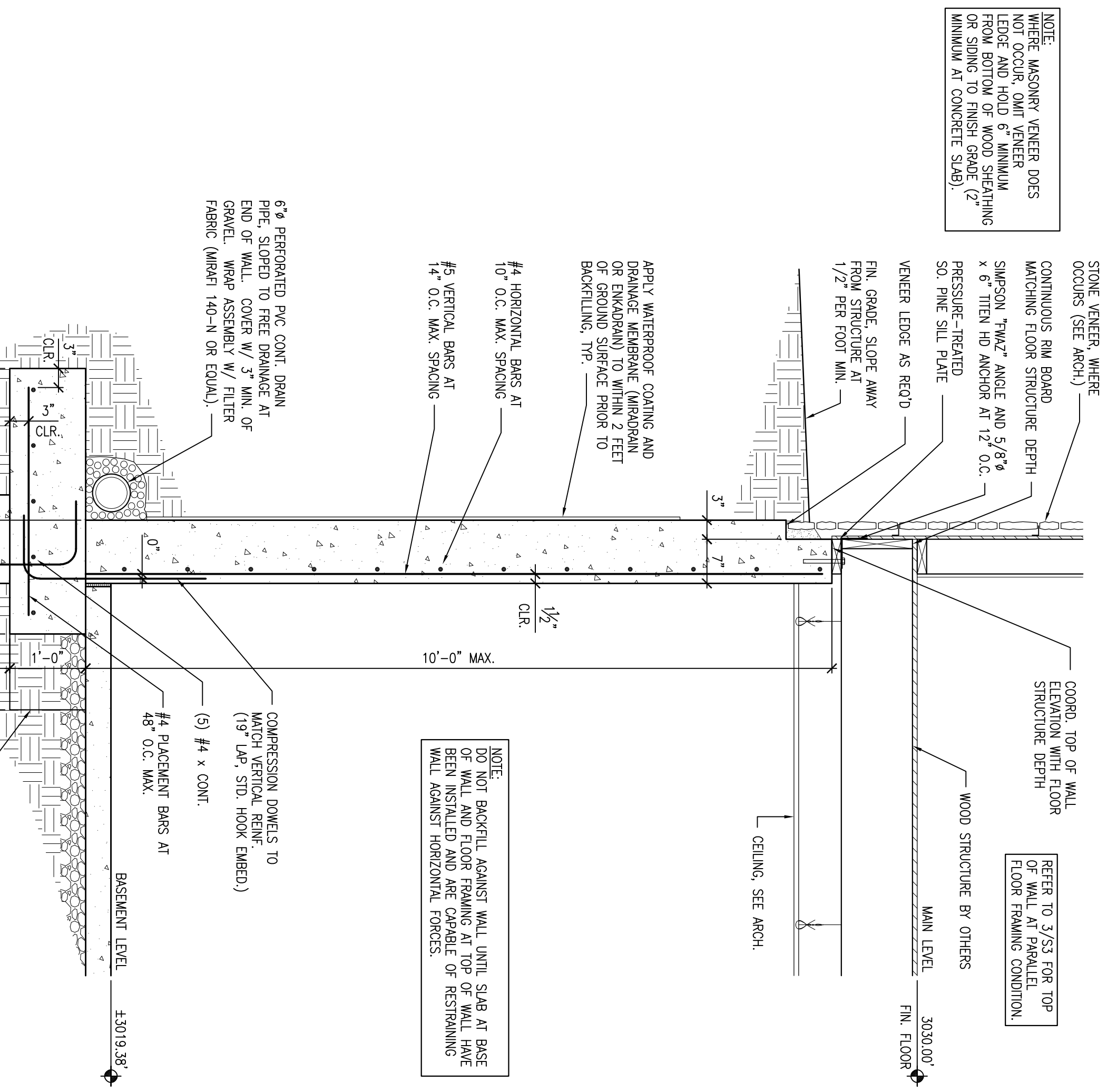
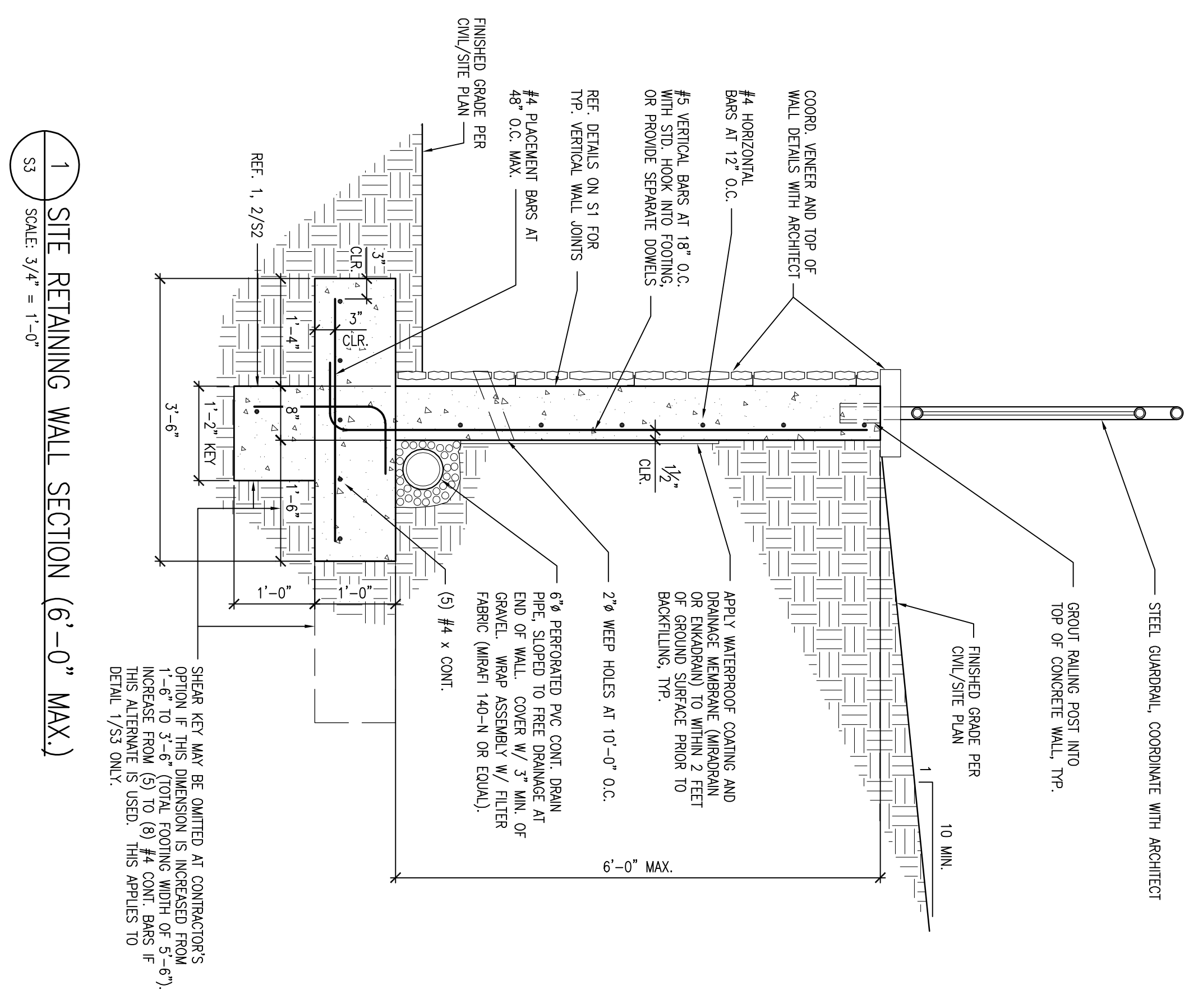


CLIENT:
Michael Cournoyer
712 Wilmington Island Road
Savannah, GA 31410

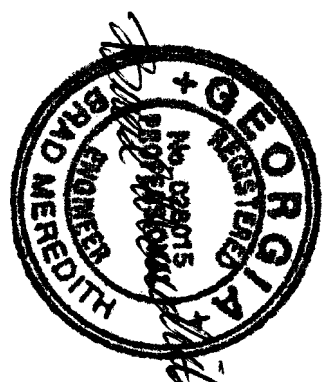
RELEASE DATES	
NO.	DESCRIPTION
0	FOR CONSTRUCTION
1	REVISION 1

**HEAVEN'S LANDING
LOT 181
Basement and
retaining wall designs**

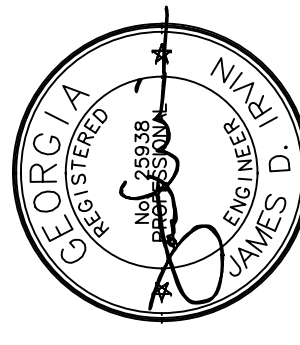
DRAWING NAME CONCRETE WALL DETAILS	
SCALE AS NOTED	PROJECT NO. 20059L
DRAWN BY RBM	DATE 08.19.2020
DRAWING NO. S2	



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HEAVEN'S LANDING LOT 181 Basement and retaining wall designs	DRAWING NAME CONCRETE WALL DETAILS	SCALE AS NOTED PROJECT NO. 20059L	DRAWN BY RBM DATE 09.10.2020	DRAWING NO. S3	RELEASE DATES <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>FOR CONSTRUCTION</td> <td>9/10/20</td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE	0	FOR CONSTRUCTION	9/10/20	CLIENT: Michael Cournoyer 712 Wilmington Island Road Savannah, GA 31410		THIS DRAWING IS A COPYRIGHTED INSTRUMENT OF SERVICE. THE INFORMATION SHOWN MAY NOT BE REPRODUCED WITHOUT THE PERMISSION OF NORTHEAST GEORGIA CONSULTING ENGINEERS, LLC. ©	NGCE Northeast Georgia Consulting Engineers, LLC 3939 Old Flowerly Branch Road Oakwood, GA 30566 PH: (770) 297-0075 FAX: (770) 297-0078
NO.	DESCRIPTION	DATE													
0	FOR CONSTRUCTION	9/10/20													

NO.	DESCRIPTION	DATE



GSWCC LEVEL II #9632
 DATE: MARCH 17, 2020

SCALE: 1" = 20'

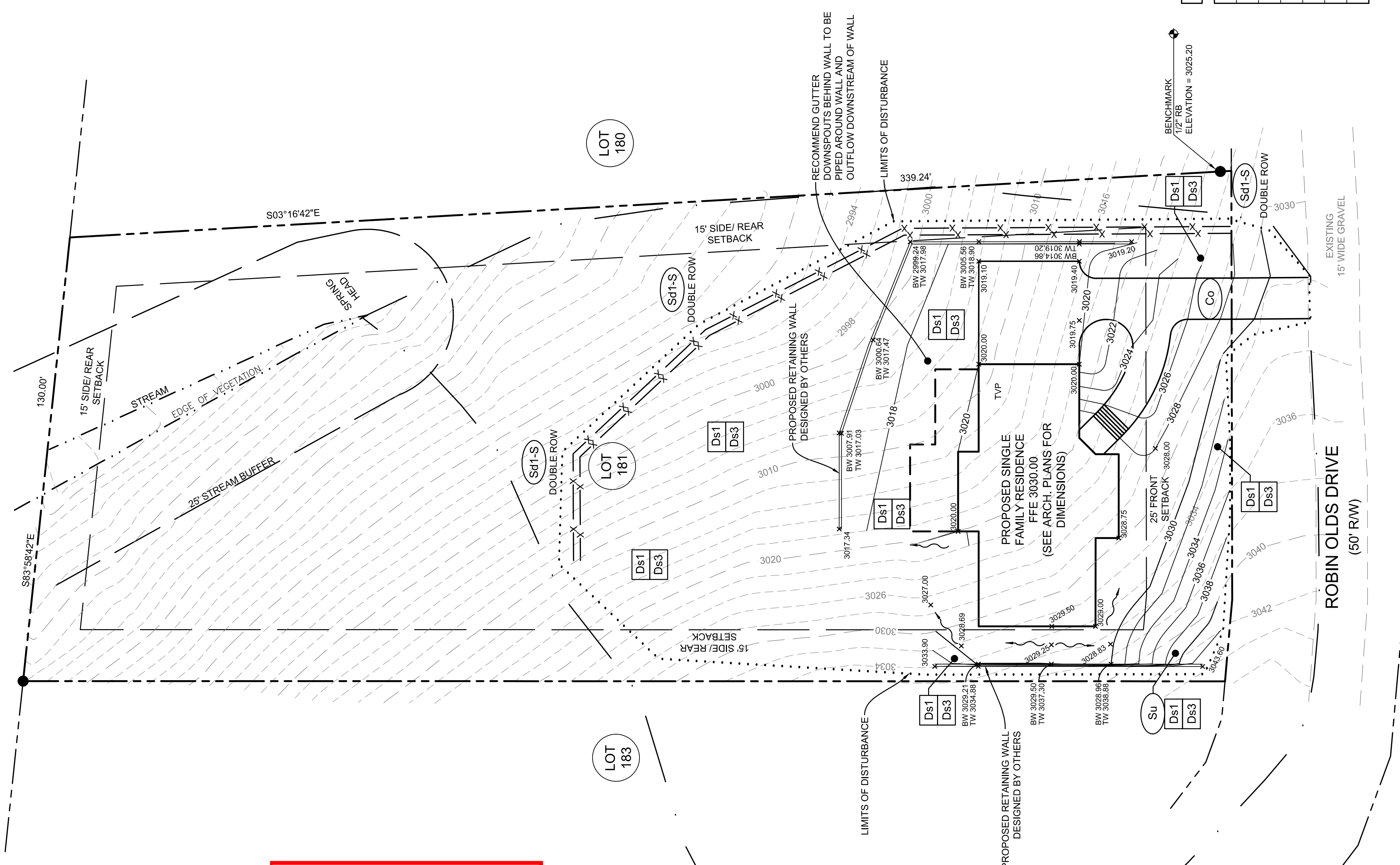
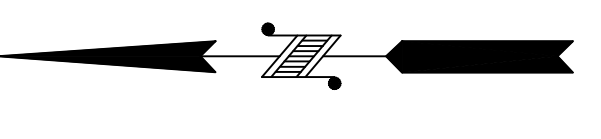
SHEET: 1

LEGEND

- LIMITS OF DISTURBANCE
- - - - - EXISTING CONTOUR
- PROPOSED CONTOUR
- SOIL TYPE BOUNDARY
- ~~~~~ PROPOSED SURFACE WATER FLOW
- x 1456.08 PROPOSED SPOT ELEVATION
- (Sd1-S) SEDIMENT BARRIER (SILT FENCE TYPE: SENSITIVE)
- (Co) CONSTRUCTION EXIT
- (Ds1) DISTURBED AREA (WITH MULCHING ONLY)
- (Ds3) DISTURBED AREA STABILIZATION (WITH PERMANENT GRASSING)
- (Su) SURFACE ROUGHENING

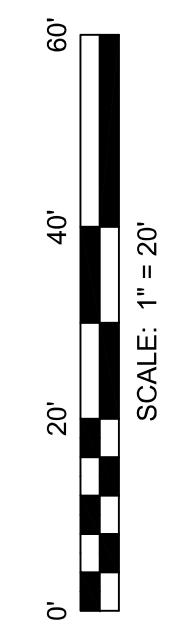
24 HOUR CONTACT:
 Michael Cournoyer - 912-433-5484
 EMAIL: MCournoyer@centurydrywall.com

CONSTRUCTION EXIT
 LOCATION:
 34.917721°, -83.467811°



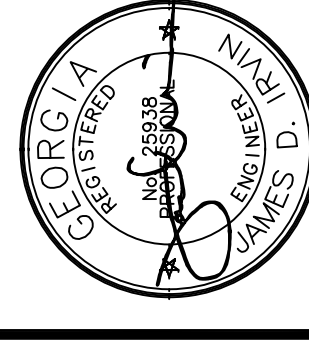
PROJECT CONSTRUCTION SCHEDULE

ACTIVITY DESCRIPTION	MONTH 1	MONTH 2	MONTH 3	MONTH 4	MONTH 5	MONTH 6
BMP INSTALLATION	█					
BMP MAINTENANCE						
GRADING	█	█				
WALL CONSTRUCTION						
TEMP VEGETATION						
HOUSE CONSTRUCTION						
FINAL VEGETATION						



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CONTRIBUTING DRAINAGE BASIN
 1.12 AC



GSWCC LEVEL II #6632

DATE: MARCH 17, 2020

SCALE: N/A

SHEET: 4

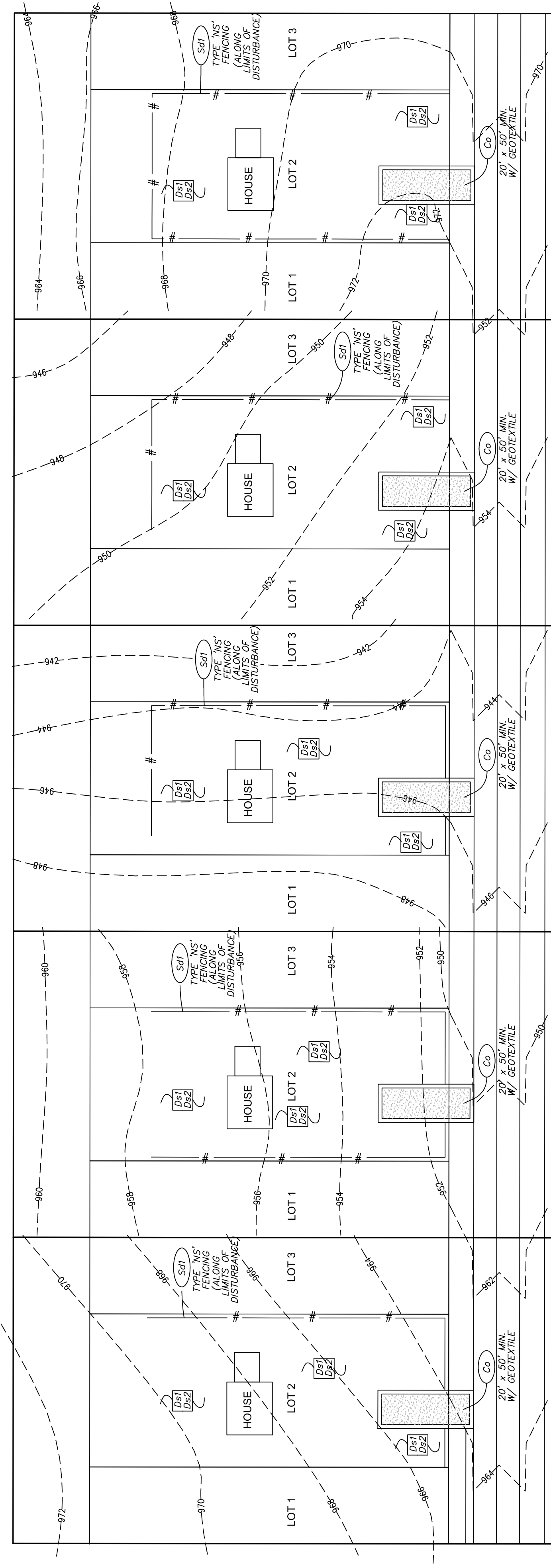
NO.	DESCRIPTION	DATE

EROSION CONTROL DETAILS
HEAVENS LANDING
LOT 181
 LAND LOT 40, 1st DISTRICT
 RABUN COUNTY, GA

OWNER/ DEVELOPER:
JENNIFER YANNUCCI &
 MICHAEL COURNOYER
 712 WILMINGTON ISLAND RD,
 SAVANNAH, GA 31410
 Phone: 912-433-5484

164 PROFESSIONAL PARK DRIVE
 ATLANTA, GA 30311
 PHONE: (706) 778-0069
 FAX: (706) 778-0069
 WWW.FOOTHILLSID.COM

FSD
land design



TYPICAL EROSION MEASURES FOR VARIOUS LOT SITUATIONS
 ELEVATIONS SHOWN ARE NOT ACTUAL BUT ARE ONLY TO INDICATE SLOPE DIRECTION

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