

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

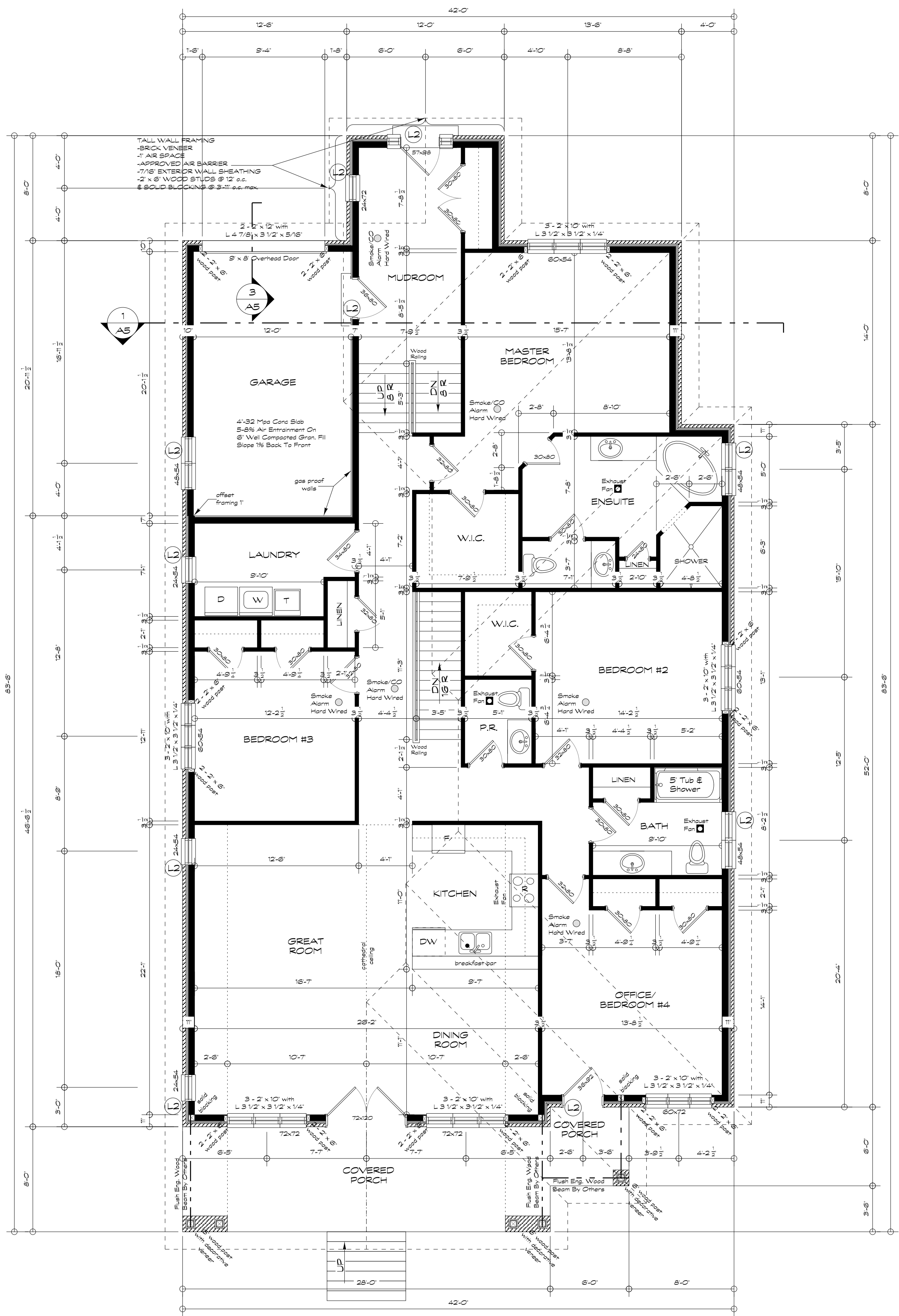
QUALIFICATION INFORMATION
 Required unless design is exempt under Div. C 3.2.5.1 of the O.B.C.
 Jim Lucas 23337
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Div. C 3.2.4.1 of the O.B.C.
 Lucas Drafting 29419
 FIRM BCIN

Date	2021-05-30	Sheet No.	A1
Scale	3/16" = 1'-0"	Project No.	21-001
Drawn By	J. LUCAS	Ftn. Floor Area	2585 SQ. FT.
		Lot Cover	3133 SQ. FT.

Sheet Name	BASEMENT PLAN
Project	NEW RAISED BUNGALOW FOR RUC

LUCAS DRAFTING
 81 Monique Cres.
 Barrie, ON, L4M 0Y5
 Tel/Fax: 705-726-0409



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Date	2021-05-30	Sheet No	A2
Scale	3/16" = 1'-0"	Project No	21-001
Drawn By	J. LUCAS	Fn. Floor Area	2585 SQ. FT.
		Lot Cover	3133 SQ. FT.

Sheet Name	FLOOR PLAN
Project	NEW RAISED BUNGALOW FOR RUE

LUCAS DRAFTING
 31 Monique Cres.
 Barrie, ON, L4M 3Y5
 Tel/Fax: 705-726-0409

GENERAL NOTES

- Contractor to comply with ALL provisions of the Ontario Building Code, latest edition, in ALL areas of construction. Comply also with ALL local municipal authority and any other authority having jurisdiction. LUCAS DRAFTING will not be responsible for failure to comply.
- Dimensions indicated are for pricing and purchasing purposes. The contractor shall be responsible for all site measurements, verification and careful examination of the drawings before commencing the work. All discrepancies, errors and omissions must be reported to the designer to obtain clarification, additional instructions and revisions to the drawings before proceeding.
- All work to be performed in a workmanlike manner, according to accepted building practices. It shall be the contractor's responsibility to ascertain all existing conditions affecting his/her work. These drawings have been prepared for project design and as a guide for construction only and do not represent every aspect of the work involved.
- No modifications to the design are to be made without the owner's consent. All changes to plans shall be submitted to the respective Building Department prior to construction of said change. Drawing revisions required for permits, inspections and construction are to be reported to and made by the designer.
- All dimensions shown in brackets are in millimeters.
- Preliminary drawings are not to be used for permits.
- Do not scale drawings.
- All finish materials, type and colour shall be to owner's selection.
- Exact window type and size to owner's/contractor's choice and agreement.
- Kitchen cabinet and vanity layout & type to owner's/contractor's agreement.
- Shelving in closets to owner's/contractor's agreement.
- Fireplace & Hearth Materials to owner's choice.
- All grading to be positive and away from building.
- All exterior and interior finishes as chosen by owner.

ELECTRICAL NOTES

- Co-operate and co-ordinate with all trades regarding provisions for all built-ins.
- Conduits to be concealed in walls, floor or ceiling wherever possible. Any surface installation to be verified with owner.
- Make and type of all electrical fixtures to owner's choice.
- An exterior lighting outlet with fixture controlled by a wall switch located within the building shall be provided at every entrance to the residence.
- Every stairway of 4 or more risers shall be lighted. Lighting fixtures and accompanying control switches including three-way wall switches to be located at the head and foot of every stairway of 4 or more risers.
- Smoke/CO alarms to be interconnected on all levels and located as per 9.10.19 and 9.33.4 of the OBC.
- Smoke alarms within sleeping rooms to be interconnected with all smoke alarms and to comply with 9.10.19 of the OBC.

MASONRY NOTES

- All footings shall rest on solid undisturbed soil, min. 4'-0" below fin. grade unless shown otherwise on sections. Soil bearing min. 75 kPa.
- Basement and other concrete floors to be machine trowel finished.
- Masonry veneer 2 3/4" or more in thickness and resting on a bearing support shall be tied to masonry back-up or to wood framing members with straps that are corrosion-resistant, not less than 76 mm thick, not less than 22 mm wide, shaped to provide a key with the mortar and spaced 15 3/4" Vert. 31 1/2" Hor. or 19 3/4" Vert. 23 5/8" Hor. or 23 5/8" Vert. 15 3/4" Hor. The straps that are fastened to the wood framing members shall be bent at right angles within 1/4" from the fastener and fastened with corrosion resistant 3.18mm diam screws or spiral nails having a wood penetration of not less than 1 1/4". Weep holes spaced not more than 2'-7" apart shall be provided at the bottom of cavities or air spaces in masonry veneer walls.
- Where cold cellar is present, provide 4" vent to outside with bug screen.
- Where foundation wall thickness is reduced to allow for brick ledge, reduced section shall be not less than 3 1/2" thick tied to facing material with metal ties spaced not more than 7 7/8" o.c. vertically and 2'-11" o.c. horizontally. The space between wall and facing shall be filled with mortar.

MECHANICAL NOTES

- Co-operate and co-ordinate with all trades regarding provisions for all built-ins.
- Ductwork to be concealed in walls, floor or ceiling wherever possible. Any surface installation to be verified with owner.
- Maintain 18" (457) clearance between top of smoke pipe and u/s of joists.
- Maintain 2" (50) clearance between gas vent or chimney and adjacent combustible materials.
- Maintain min. 6" (152) clearance between top of air plenum and u/s of joists.
- All mechanical ventilation to be designed to provide air exchange ratings to conform to Building Code requirements. Exhaust ducts shall discharge directly to outdoors.
- Provide outside air intake for all fireplaces.

FRAMING NOTES (to comply with 9.23 of OBC)

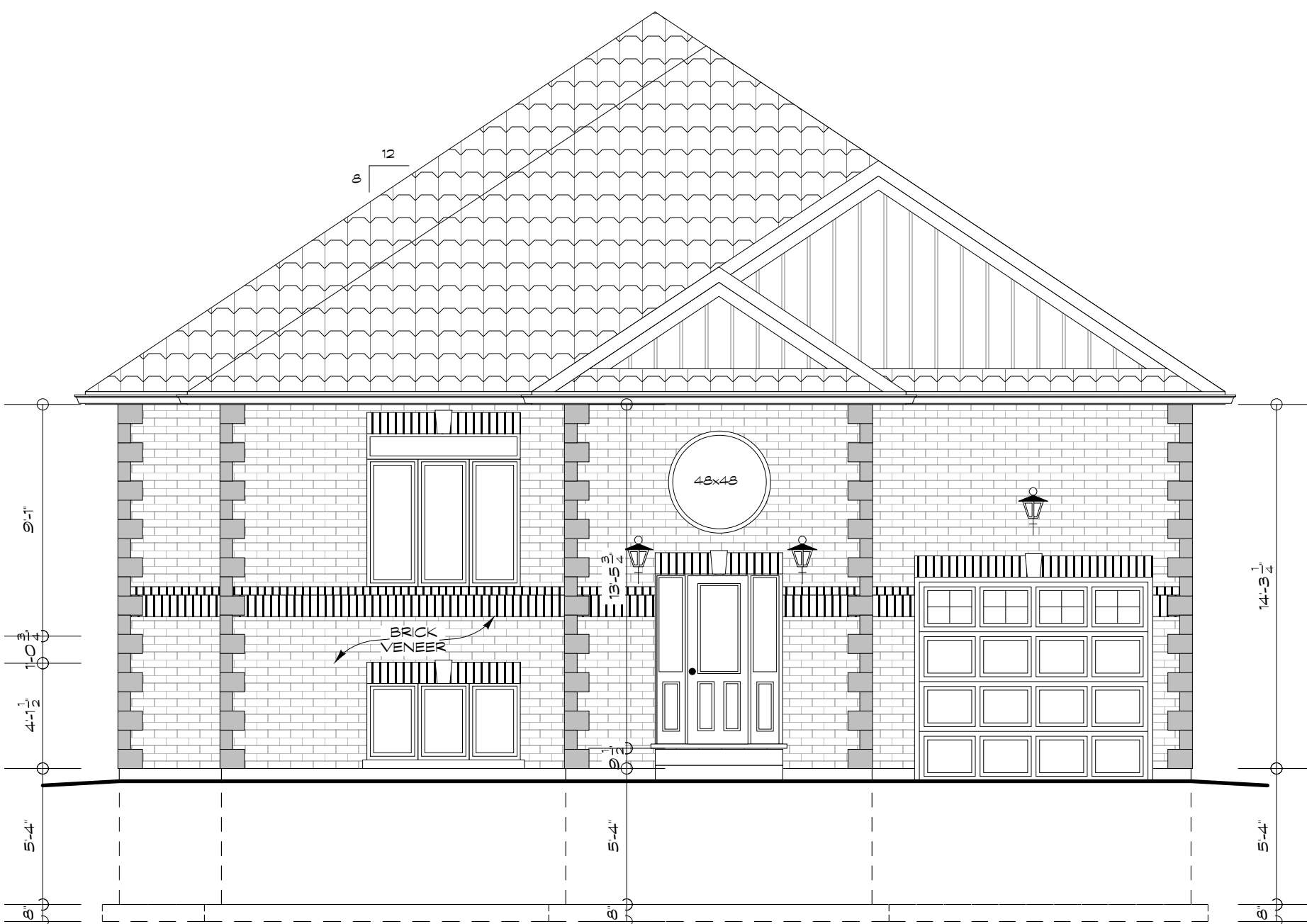
- All construction framing lumber to be #2 construction grade BPF to minimum sizes as governed by O.B.C.
- All 2x8, 10, 12 joists to have min. 1 1/2" (38 mm) bearing. All built up wood beams to have min. 3 1/2" (89mm) bearing. All pre-engineered floor joists to be installed as per manufacturer's specifications. All pre-engineered wood beams and supports to be installed as per manufacturer's specifications.
- Double joists under all parallel partitions. Double all headers over 4'-0" (1220) long. Double all trimmers over 2'-8" (813) long.
- Where tile flooring is used, either provide approved blocking or install floor joists at 12" o.c. under tiled areas.
- Provide blocking for grab bars at toilet and tub/shower of main bathroom as per 9.5.2.3 of O.B.C.
- All floor and roof joists over unfinished space to have bridging- Max. space 6'-11" (2100) o.c.
- Any roof trusses used to be designed by a Structural Engineer and bear his seal.
- All bracing and supports for pre-engineered wood roof trusses and pre-engineered wood beams as per truss/beam manufacturer's specifications.
- Where support for girder trusses bears over opening in wall, truss manufacturer to provide engineered wood beam and specify supports for said beam.
- Provide 1 sq. ft. of closable, unobstructed ventilating area per every 500 sq. ft. of unheated crawlspace area.
- Provide 1 sq. ft. of unobstructed ventilating area per every 300 sq. ft. of insulated attic area.
- Conduits, pipes and ductwork to be concealed in walls, floor or ceiling wherever possible. Any surface installation to be verified with owner.
- Install 6 mil Polyethylene vapour barrier between any wood and concrete surfaces and between 2 top wall plates.
- Caulk around all exterior doors and windows.
- Access to attic and crawlspace to be min. of 22x28" and to be insulated.
- Valleys and intersections of roofs, walls and chimneys to have metal flashing or approved equal.
- Openings in exterior wall to have flashing and drip deflector if more than 25% overhang distance below eaves.
- Guards at porches and balconies to have pickets subdivided into spaces not more than 3 7/8" (100), to be min. 3'-6" (1070) high, with no horizontal members between 3 7/8" (100) and 36" (914) above floor.
- Where exterior porch or deck floor is greater than 24" above finished grade, provide approved railing/guard.
- Interior stairs to be min. 3'-0" (914) wide with 7 7/8" (200) max rise, 8 1/4" (210) min. run, 9 1/4" (235) min. tread, 6'-5" headroom, 2'-0" (605) high handrails. All other guards to be 3'-0" (914).
- Exterior stairs to have a rise-run product of 70 - 75. Min. run 9 1/2" (241). Min. tread 10" (254). Min. headroom 6'-9" (2060).
- Wood columns to be min. 6"x6" (152x152), or 8" and not less than supporting member. Columns to be anchored to concrete slab or footings with steel anchor shoes, min. 6" above grade.
- Provide gas-proof walls between garage and adjacent habitable space. Any door between to have a self-closing device and weatherstripping.

PLUMBING NOTES (to comply with Part 7 of OBC)

- Co-operate and co-ordinate with all trades regarding provisions for all built-ins.
- Pipes to be concealed in walls, floor or ceiling wherever possible. Any surface installation to be verified with owner.
- Make and type of all plumbing fixtures to owner's choice.
- Pressure balanced or thermostatically controlled mixing valves to be provided for all shower/bath units.
- All toilets to be water saving not exceeding 6 Litres/flush.
- Provide devise to insure hot water supplied to plumbing fixtures (save and except dishwashers and clothes washers) shall not exceed 49 degrees Celsius.



FRONT ELEVATION



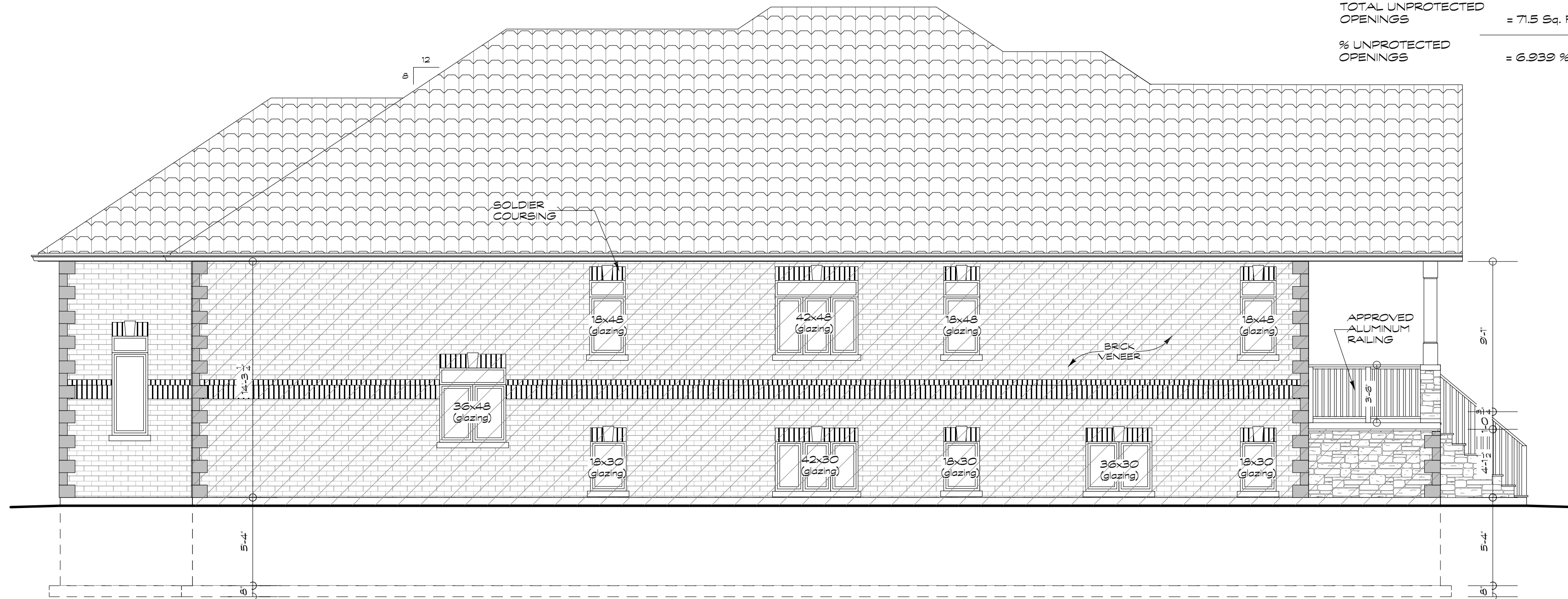
REAR ELEVATION

SPATIAL SEPARATION CALCULATIONS (diagonal hatched area)

TOTAL WALL AREA = 1030.395 Sq. Ft.

TOTAL UNPROTECTED OPENINGS = 71.5 Sq. Ft.

% UNPROTECTED OPENINGS = 6.939 %



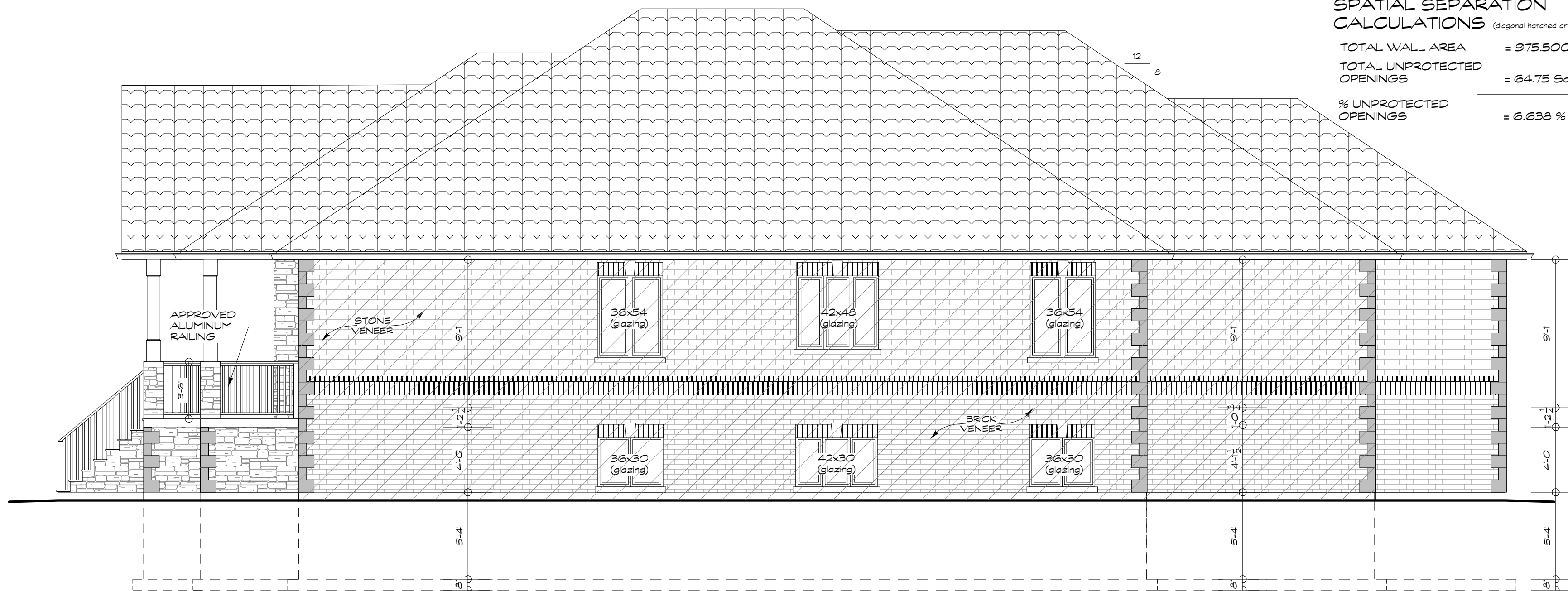
LEFT SIDE ELEVATION

SPATIAL SEPARATION CALCULATIONS (diagonal hatched area)

TOTAL WALL AREA = 975.5001 Sq. Ft.

TOTAL UNPROTECTED OPENINGS = 64.75 Sq. Ft.

% UNPROTECTED OPENINGS = 6.638 %



RIGHT SIDE ELEVATION

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ELEVATIONS
 NEW RAISED BUNGALOW FOR
RUS

Sheet No	A4
Project No	21-001
Fin. Floor Area	2585 SQ. FT.
Lot Cover	3133 SQ. FT.

The undersigned has reviewed and takes responsibility for the design shown on this drawing. I am a duly licensed professional engineer in the State of Vermont. I am not providing any design services on this drawing unless I am specifically identified as the designer on the drawing.

QUALIFICATION INFORMATION
 Required unless design is exempt under Div. C, 3.5.5.1 of the O.B.C.
 NAME: Jim Lucas BCIN: 23337
 SIGNATURE: [Signature] DATE: [Blank]
 Required unless design is exempt under Div. C, 3.5.4.1 of the O.B.C.
 NAME: Lucas Drafting BCIN: 24819
 SIGNATURE: [Signature] DATE: [Blank]

