

165 Lumber Street - Hopkinton, MA

GENERAL NOTES & SPECIFICATIONS



1.0 CONDITIONS OF CONTRACT

1.1 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUBCONTRACTORS WITH ALL INFORMATION REGARDS TO FULL SCOPE OF THE PROJECT AND THEIR RESPECTIVE TRADES BIDDING AND CONSTRUCTION.

2.0 GENERAL

2.1 SCOPE OF WORK INCLUDES ALL WORK REQUIRED TO PROVIDE THE OWNERS THE WORK DEFINED IN THE CONSTRUCTION DOCUMENTS AND ALL BASE BUILDING CONSTRUCTION WITHIN THE IDENTIFIED SCOPE IN FULL INTENDED OPERATION.

2.2 GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INJURY AND DAMAGE OF ANY KIND RESULTING FROM THIS WORK, TO PERSONS OR PROPERTY.

2.3 RENTAL CHARGES, SAFETY, PROTECTION AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE CONTRACTOR'S RESPONSIBILITY.

2.4 PROJECT SHALL NOT BE COMPLETED UNTIL ALL NECESSARY AFFIDAVITS, CERTIFICATION AGENCY APPROVALS AND INSURANCE CONDITIONS OF THIS CONTRACT HAVE BEEN FULFILLED TO THE SATISFACTION OF THE OWNER. APPLICABLE REQUIREMENTS OF THE GENERAL CONDITIONS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO THE FOLLOWING:

- A. FINAL CLEANUP
- B. COMPLETION OF ALL PUNCH LIST ITEMS.
- C. SUBMISSION OF WAIVERS OF LIEN COVERING THIS CONTRACTOR AND HIS SUBCONTRACTORS AND SUPPLIERS.
- D. COMPLETE SET OF TAGS, CHARTS, DIAGRAMS, INSTRUCTION BOOKLETS, ETC. AS REQUIRED FOR MECHANICAL AND ELECTRICAL INSTALLATIONS.
- E. SUBMISSION OF ALL BUILDING DEPARTMENT APPROVALS AND CERTIFICATIONS.
- F. WARRANTIES IN THE NAME OF THE OWNER, PRODUCT INFORMATION AND COPIES OF SUBMITTALS.

2.5 THIS JOB IS DESIGN/BUILD FOR THE FOLLOWING SYSTEMS: ELECTRICAL, MECHANICAL, PLUMBING. CONTRACTORS ARE REQUIRED TO FINALIZE THE DESIGN OF THEIR RESPECTIVE SYSTEMS FOR FULL AND PROPER OPERATIONS ACCORDING TO THE APPLICABLE LAWS AND SPECIFICATIONS IN THE PROJECT MANUAL, IN ORDER TO SATISFY INTENDED FUNCTION AND DESIGN OF MECHANICAL AND ELECTRICAL DRAWINGS PROVIDED HERE.

2.6 CONTRACTOR TO PROVIDE EMERGENCY ACCESS TO THE BUILDING TWO MEANS OF EGRESS AT ALL TIMES, AREA TO BE CLEARED OF DEBRIS, PARTITIONED OFF AND LIT FOR CONTINUAL ACCESSIBILITY OF TOW EXITS. TWO EXISTS NEED TO BE PROVIDED DURING THE CONSTRUCTION AND DEMOLITION.

2.7 WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWINGS.

3.0 DOCUMENTS

3.1 THESE DOCUMENTS HAVE BEEN COMPILED WITH THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR COVERED CONDITIONS, NOT INDICATED IN THE DOCUMENTS, REQUIRING ADDITIONAL WORK FOR THE COMPLETION OF THIS CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING AND VERIFIED ALL CONDITIONS, DIMENSIONS, AND OTHER INFORMATION HERE IN SUPPLIED.

3.2 ALL DIMENSIONS AND LAYOUTS SHALL BE FIELD VERIFIED BY THE CONTRACTOR/OWNER TO COORDINATED THE ARCHITECTURAL DRAWINGS WITH APPROVED SITE PLAN. ANY INCONSISTENCIES DISCREPANCIES OR AMBIGUITIES SHALL BE REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

3.3 ALL WORKING STANDARDS SHALL REFLECT IRC 2009 & 780 CRM 8TH EDITION AMENDMENTS OF BUILDING CODE FOR ONE/TWO FAMILY DWELLING.

3.4 CONTRACTOR SHALL BE REVIEW AND REPORT ANY INCONSISTENCIES.

3.5 CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, AND SHALL PAY AND OBTAIN BUILDING PERMITS AND ALL NECESSARY APPROVALS. CONTRACTOR SHALL OBTAIN ALL APPROVALS AND PERMITS FOR CONSTRUCTION FROM THE MUNICIPAL AGENCIES HAVING JURISDICTION, PRIOR TO COMMENCEMENT OF WORK, AT HIS OWN EXPENSE.

3.6 CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST DEFECTS FOR ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.

4.0 TRADES

4.1 THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SAMPLES OF ALL FINISH MATERIAL SHALL BE SUBMITTED TO OWNER AND/ OR DESIGNER FOR APPROVAL, INCLUDING PAINT SAMPLE. ANY FINISHES THAT ARE PURCHASED BEFORE APPROVAL AND ARE SUBSEQUENTLY REJECTED ARE THE RESPONSIBILITY OF THE CONTRACTOR, NO SUBSTITUTIONS WILL BE CONSIDERED FOR PRODUCTS OR METHODS THAT CANNOT BE PROVIDED AS A RESULT OF CONTRACTOR'S FAILURE TO ORDER PRODUCTS IN A TIMELY MANNER, PURSUE THE WORK PROMPTLY, OR TO COORDINATE THE VARIOUS ACTIVITIES PROPERLY.

4.2 THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR DEVIATIONS FROM REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE OWNER'S AND/OR DESIGNER FOR APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, SAMPLES, OR SIMILAR SUBMITTALS UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE OWNER AND/OR DESIGNER IN WRITING OF SUCH DEVIATION AT THE TIMES OF SUBMITTAL AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS, PRODUCT DATA, SAMPLE, OR SIMILAR SUBMITTALS BY THE OWNER'S AND/OR DESIGNER APPROVAL THEREOF.

4.3 ELECTRICAL CONTRACTOR TO PROVIDE DESIGN & BUILD SERVICES, ALL WORK TO BE IN COMPLIANCE W/527 CMR & NFPA 90 REQUIREMENTS, COORDINATE UTILITY COMPANY REQUIREMENTS WITH ARCHITECT AND SITE CONTRACTOR. COORDINATE ALL TRENCHING WITH GENERAL CONTRACTOR, SERVICE TO BE DESIGNED FOR 200 AMP WITH CIRCUIT BREAKER PANEL BOARD SIZED ADEQUATELY. COORDINATE WITH HVAC FOR CONTRACTOR FOR A/C LOAD. REVIEW LAYOUT IN FIELD WITH ARCHITECT AND GENERAL CONTRACTOR TO VERIFY LOCATIONS OF ALL SWITCHING AND LIGHTING. CONTRACTOR MUST GIVE ALLOWANCES FOR LIGHTING IN CONTRACT; OWNER TO SELECT ALL LIGHTING FIXTURES AND APPLIANCES FOR CONTRACTOR TO INSTALL. PROVIDE PERMIT AND SCHEDULE ALL INSPECTIONS IN A TIMELY FASHION. PROVIDE CARBON MONOXIDE, SMOKE AND HEAT DETECTORS PER CODE REQUIREMENTS.

4.4 IF CONFLICTS OCCUR BETWEEN DWGS AND SPECS OR PRODUCTS, PROCEDURES, ETC. THE MORE STRINGENT DETAIL AND HIGHER QUALITY SHALL BE CONSIDERED THE INTENT OF THE CONTRACT DOCUMENTS. OWNER'S AND/OR DESIGNER'S CONFIRMATION IS REQUIRED.

4.5 THE INTENT OF CONTRACT DOCS & RESPECTIVE DESIGN BUILD DISCIPLINES REPRESENT A COMPLETE INSTALLATION PER INDUSTRY AND TRADE STANDARDS FOR SIMILAR TYPES OF CONSTRUCTION IN GEOGRAPHIC REGION.

Sheet List	
Sheet Number	Sheet Name

G-001	General Pages
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AE-101	Existing Basement & 1st Level Floor Plans
AE-102	Existing 2nd Level Floor Plan & Roof Plan
AE-201	Existing Right Side & Left Side Elevations
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AD-101	Demolition & Construction - Basement
AD-102	Demolition - 1st Level
AD-103	Construction - 1st Level
AD-104	Demolition - 2nd Level
AD-105	Construction - 2nd Level
AD-106	Demolition & Construction - Roof
AD-201	Demolition & Constr - Front & Rear Elevations
AD-202	Demolition & Constr - Left Side Elevation
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A-102	Proposed - Basement 1st Level Floor Plan
A-103	Proposed - 2nd Level Floor Plan & Roof Plan
A-201	Elevations
A-202	Elevations & Schedules
A-301	3D View

S-101	Structural Detailing
S-102	Structural Detailing
S-103	Structural Detailing

Room Schedule 1	
Name	Area

Basement	
Existing Garage	434 SF
Hall	131 SF
Mech	137 SF
Play Room	531 SF
Room	313 SF

1st Level	
2 Car Garage	573 SF
Bath	37 SF
Closet	7 SF
Closet	7 SF
Deck	38 SF
Deck	181 SF
Dining	128 SF
Family Room	314 SF
Hall	78 SF
Hall	75 SF
Kitchen	197 SF
Living	300 SF
Office	455 SF
Pantry	45 SF
Porch	243 SF

Room Schedule 2	
Name	Area

2nd Level	
Baby Room	147 SF
Bath	61 SF
Bedroom	166 SF
Bedroom	148 SF
Closet	18 SF
Closet	18 SF
Closet	18 SF
Hall	190 SF
Laundry	97 SF
Master Bath	103 SF
Master Bedroom	332 SF
W.I.C.	71 SF

Proposed Area Schedule	
Level	Area

Basement	1707 SF
1st Level	2509 SF
2nd Level	1810 SF
Grand total	6026 SF

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General Pages

G-001

- 6.1 ALL WORKING STANDARDS SHALL REFLECT IRC 2015 & 780 CRM 9TH EDITION AMENDMENTS OF BUILDINGS CODE FOR ONE/TWO FAMILY DWELLING.
- 7.0 GENERAL CONSTRUCTION NOTES
- 7.1 ALL DIMENSIONS ARE CLEAR DIMENSIONS.
- 7.2 ALL FINISH MATERIAL IS TO BE INSTALLED PER MANUFACTURER RECOMMENDATIONS.
- 7.3 THE OWNER IS RESPONSIBLE FOR SELECTION OF FINISH MATERIAL.
- 8.0 GENERAL FLOOR PLAN NOTES
- 8.1 DO NOT SCALE DRAWINGS DIMENSIONS ONLY IF DIMENSION IS NOT CALLED OUT. VERIFY DIMENSION WITH ARCHITECT.
- 8.2 ALL DIMENSIONS ARE CALCULATED TO THE FACE OF WALL.
- 8.3 ALL INTERIOR WALLS TO BE COVERED WITH 5/8" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE, FLOAT AND SAND (3 COATS).
- 8.4 ALL INTERIOR WALLS TO BE FINISHED TO THE CEILING ABOVE.
- 8.5 ALL SHOWER AREA WALLS AND CEILINGS ADJACENT TO WET AREAS TO HAVE WATER RESISTANT GYPSUM BOARD.
- 8.6 SHOWER ROOMS TO BE VENTED TO THE OUTSIDE WITH A MINIMUM OF Ø5 CFM FAN.
- 9.0 GENERAL ELECTRICAL NOTES
- 9.1 ELECTRICAL CONTRACTOR TO BE RESPONSIBLE FOR ADHERING TO ALL CODES AND SAFETY REQUIREMENTS.
- 9.2 GENERAL AND ELECTRICAL CONTRACTOR TO REVIEW PLANS AND WALK THROUGH THE JOB TO VERIFY THAT THE DESIGN INTENT IS MAINTAINED.
- 9.3 ALL OUTLETS PLACED NEAR ANY WATER CONDITION TO BE G.F.I. TYPE.
- 10.0 GENERAL PLUMBING NOTES
- 10.1 PLUMBING SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
- 10.2 INSULATE ALL HOT WATER AND COLD WATER PIPES IN UNHEATED AREAS.
- 11.0 GENERAL HVAC NOTES
- 11.1 HVAC SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
- 11.2 HVAC SUBCONTRACTOR TO FULLY COORDINATE ALL SYSTEM DATA AND REQUIREMENTS WITH THE EQUIPMENT SUPPLIER, SYSTEM LAYOUT TO BE DISCUSSED WITH GENERAL CONTRACTOR, AND OWNER FOR APPROVAL.
- 11.3 ALL HVAC DUCTWORK SHALL BE INSULATED W/A MIN. OF 2" BATT INSULATION.
- 11.4 ALL METAL DUCTWORK SHALL BE SEALED W/ RED DUCT CAULKING, SCREWED (MIN. FOUR (4) SCREWS AT THE FOUR (4) MAJOR COMPASS POINTS).
- 12.0 GENERAL FIRE PROTECTION NOTES
- 12.1 FIRE PROTECTION SUBCONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL APPLICABLE CODES AND SAFETY REQUIREMENTS.
- 13.0 FINISH NOTES
- 13.1 ALL FINISH MATERIAL SELECTION BY OWNER.
- 13.2 ALL FINISH MATERIAL TO BE INSTALLED PER MANUFACTURER REQUIREMENTS.
- 13.3. DOOR AND HARDWARE SELECTION BY OWNER.
- 14.0 CEILING NOTES
- 14.1 ALL CEILINGS IN SHOWER ROOMS TO BE 1/2" GWB. WITH TAPE. FLOAT AND SAND (3 COATS) @ 9'-0" A.F.F.
- 14.2 ALL SHOWER AND STORAGE AREAS WITH WET CONDITIONS TO HAVE WATER RESISTANT GYPSUM BOARD
- 14.3 ALL LIGHTING SELECTION AND LOCATION PER OWNER REQUEST.
- 15.0 DRAWING NOTE
- 15.1 ELECTRICAL, PLUMBING AND MECHANICAL ARE DESIGN/BUILD UNDER SEPARATE PERMITS.

TAGS & SYMBOLS

SHEET NUMBER

A-00

Sheet number
Discipline Letter

DISCIPLINE

G GENERAL
C CIVIL
S STRUCTURAL
LS LIFE SAFETY
A ARCHITECTURAL
P PLUMBING
M MECHANICAL
E ELECTRICAL

SYMBOLS

PROPERTY LINE

1
A101

Ref

DETAIL REFERENCE

Name
Elevation

FLOOR LEVELS

Ref
1
A101

EXTERIOR ELEVATIONS

Ref
1
A101

SECTION MARKER

Room name
150 SF
101

ROOM / AREA NAME

1t

DOOR TAG

1t

WINDOW TAG

1t

WALL / PARTITION TYPE

BREAK LINE

CL

CENTERLINE

4' - 6"

DIMENSION LINE

A

BREAK LINE

1

REVISION NUMBER

INDICATION OF MATERIALS

CONCRETE

CMU

STEEL

WOOD

LAP SIDING

GYPSUM / PLASTER

EARTH

WOOD STUD

BATT INSULATION

RIGID INSULATION

GRASS

SAND MORTAR

BRICK

RUBBLE

MARBLE

ALUMINIUM

PLYWOOD

GLASS

GLASS BLOCK

ACOUSTIC CEILING TILE

POROUS FILL / GRAVEL

CODE CALCULATIONS

--

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SCALE
1/4" = 1'-0"

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General Pages

G-002

16. SEPARATE CONTRACTS : THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS.

17. GUARANTEE : ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR A LONGER PERIOD OF TIME ON CERTAIN ITEMS.

18. THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.

19. ALL WORK IS NEW UNLESS OTHERWISE NOTED

20. ALL WALLS AND CEILINGS TO BE 5/8IN FIRE CODE OR 1/2IN GYPSUM BOARD, 5/8IN MOISTURE RESISTANT TYPE X OR 5/8IN CEMENT BOARD. FINISH AND TEXTURE TO BE SELECTED BY OWNER. MATERIAL AS MANUFACTURED BY U.S. GYPSUM OR EQUAL FINISH (CEMENT ACCESSORIES AND TAPE OR SKIM COAT). ALL JOINTS AND NAIL HEADS READY FOR PAINT, TILE, WOOD TRIM, VVC, OR PANELING.

21. STORAGE : THE CONTRACTOR SHALL PROVIDE ON SITE WEATHER PROTECTED STORAGE SPACE, I.E.: TRAILER. STORAGE OF CONSTRUCTION MATERIALS IN THE EXISTING BUILDING WILL NOT BE PERMITTED.

22. PROTECTION : THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.

23. TEMPORARY SERVICES : THE CONTRACTOR WILL PAY FOR EXISTING SERVICES (WATER, TELEPHONE AND ELECTRICITY) AND WILL TURN OVER THESE SERVICES TO THE OWNER UPON FINAL ACCEPTANCE OF THIS PROJECT

24. THE CONTRACTOR SHALL VERIFY LOCATION AND ACTUAL DEPTH OF ALL EXISTING SANITARY PIPING, STORM DRAINS, GAS AND WATER MAINS, ELECTRIC LINES AND PIPES. HE IS ALSO ADVISED TO VERIFY ACTUAL INVERTS OF SANITARY AND STORM LINES BY HAND DUG TEST PITS WELL IN ADVANCE OF TRENCHING AND CONSTRUCTION. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. ALL NECESSARY PERMITS AND APPROVALS MUST BE OBTAINED FROM PROPER AUTHORITIES.

25. ARCHITECTURAL, MECHANICAL, ELECTRICAL, ELEVATOR, & SPRINKLER : EACH CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION

26. ALL WORK IS NEW UNLESS OTHERWISE NOTED.

27. DAMAGE : THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING BUILDING, WALLS, CEILINGS FLOORS, FURNITURE AND FURNISHINGS. DAMAGED SURFACES DUE TO CONSTRUCTION TO BE PATCHED, REPAIRED AND/OR REPLACED AS REQUIRED AND BLEND TO MATCH EXISTING ADJACENT SURFACES AT NO ADDITIONAL COST TO OWNER.

28. THE GENERAL CONTRACTOR SHALL PREPARE A BOOKLET CONTAINING : LIST OF SUBCONTRACTORS USED ON THIS JOB WITH NAMES, ADDRESSES AND TELEPHONE NUMBERS. ALL WARRANTIES AND INSTRUCTION MANUALS FOR EQUIPMENT AND MATERIALS INSTALLED WILL BE ISSUED TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF BUILDING, AND PRESENT BOOKLET TO OWNER PRIOR TO FINAL ACCEPTANCE OF OWNER

29. HANDICAPPED REQUIREMENTS : THE GENERAL CONTRACTOR WILL ACQUAINT HIMSELF WITH THE ARCHITECTURAL ACCESS BOARD (AAB) CODE FOR THE STATE OF MASSACHUSETTS AND THE ADA (AMERICANS WITH DISABILITIES ACT) TO ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE.

30. ALL WOODS BLOCKING TO BE PRESSURE TREATED, FIRE RETARDANT

31. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, INSERTS, BOXES, HANGERS, ETC

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SCALE

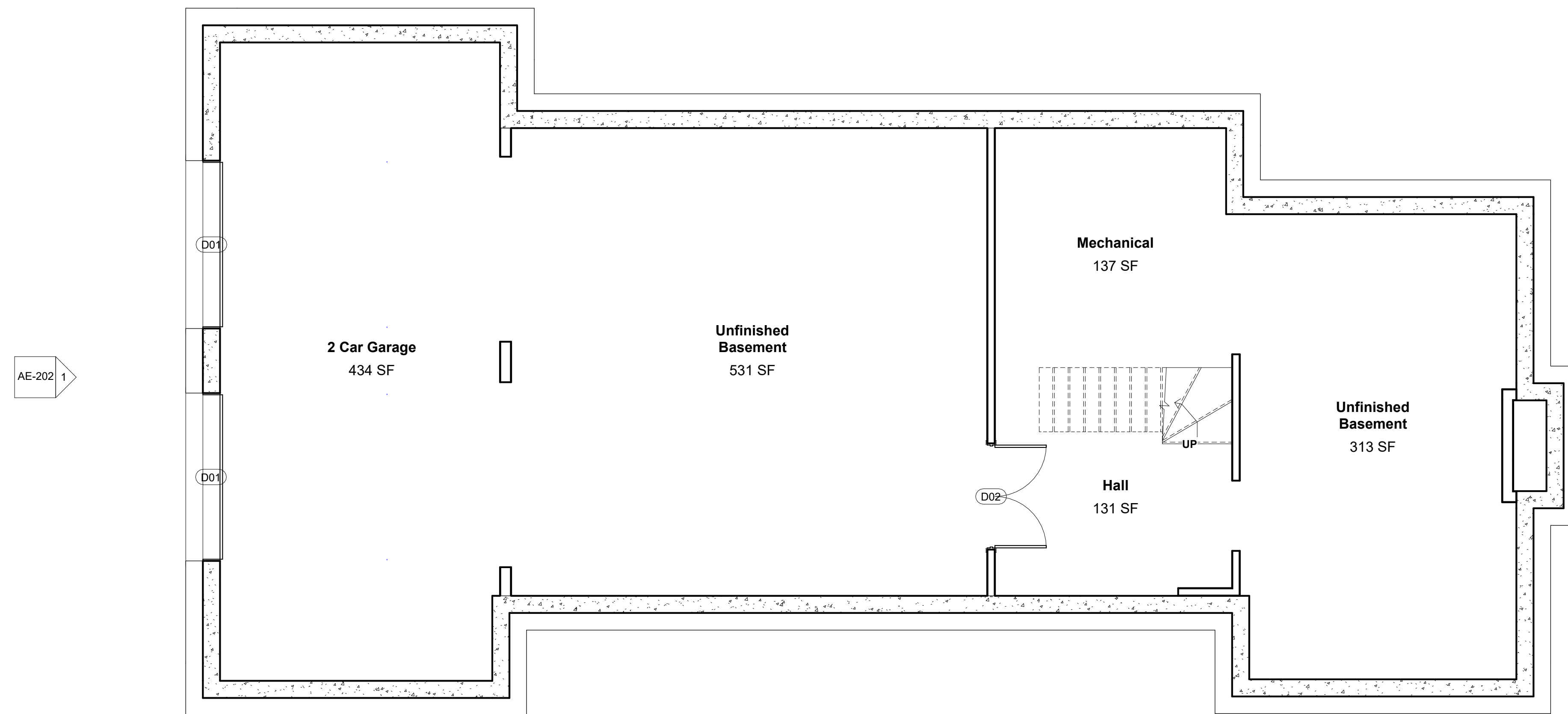
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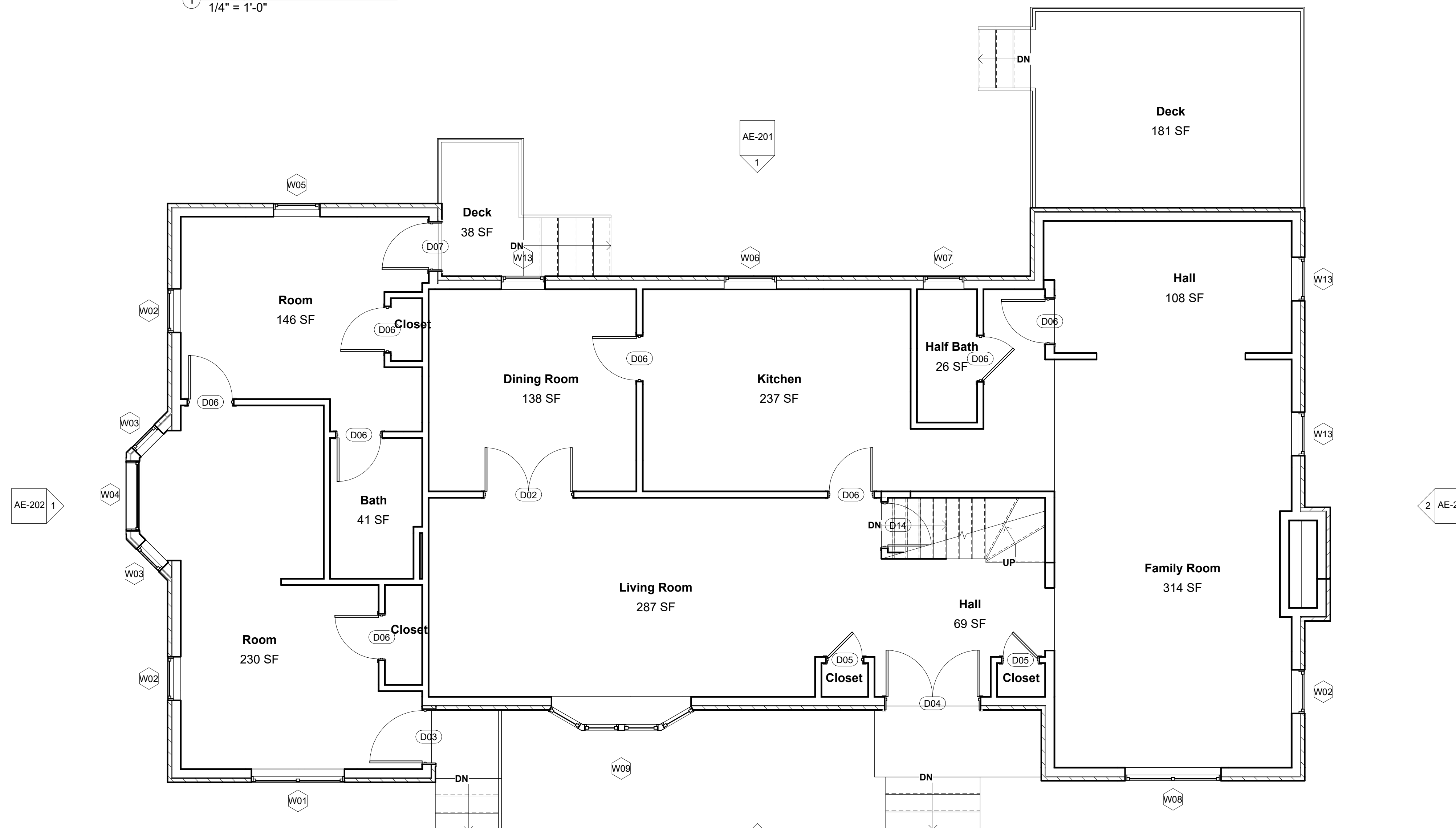
No.	Description	Date

General Pages

G-003



1 Existing - Foundation Plan
1/4" = 1'-0"



2 Existing - 1st Level Floor Plan
1/4" = 1'-0"

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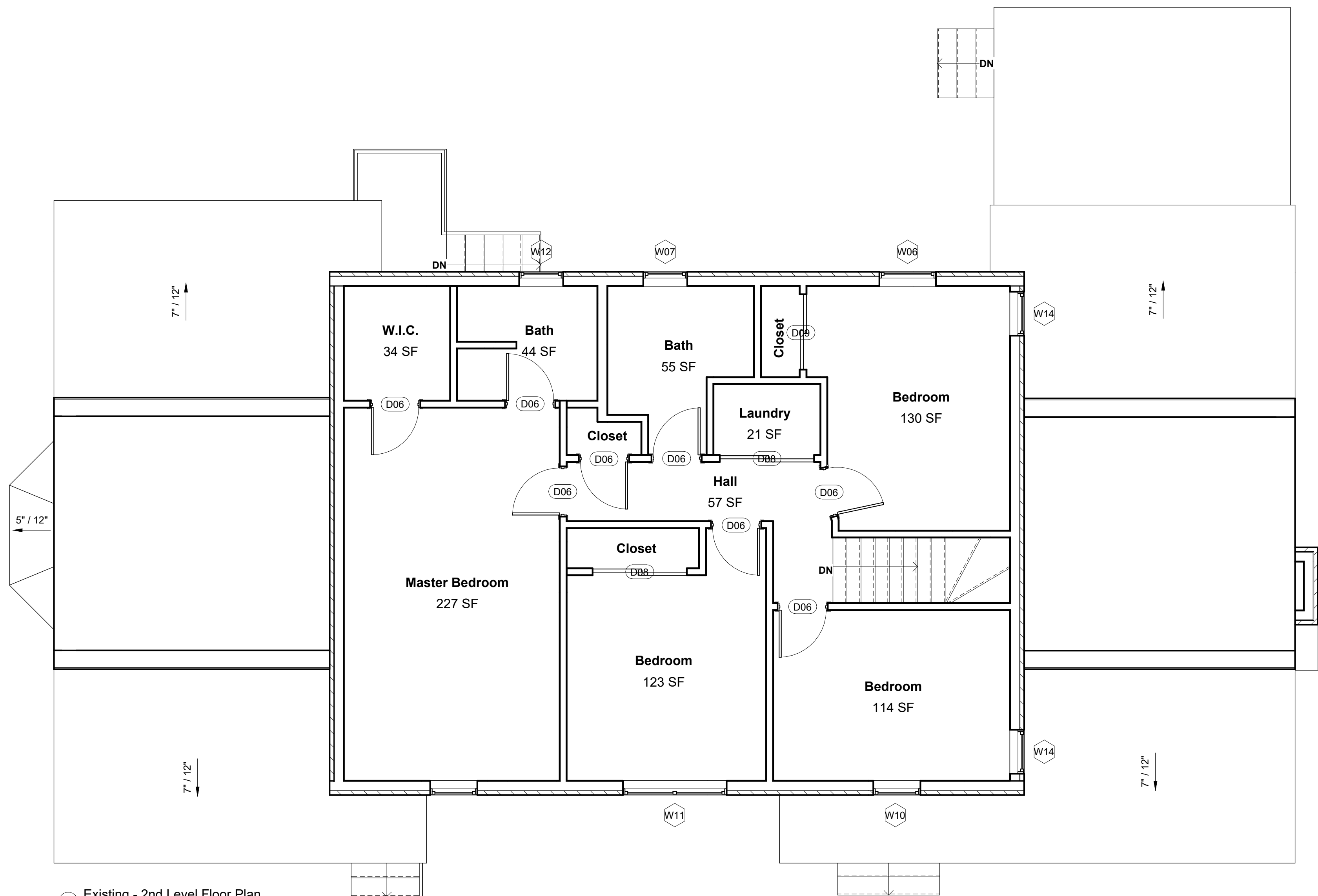
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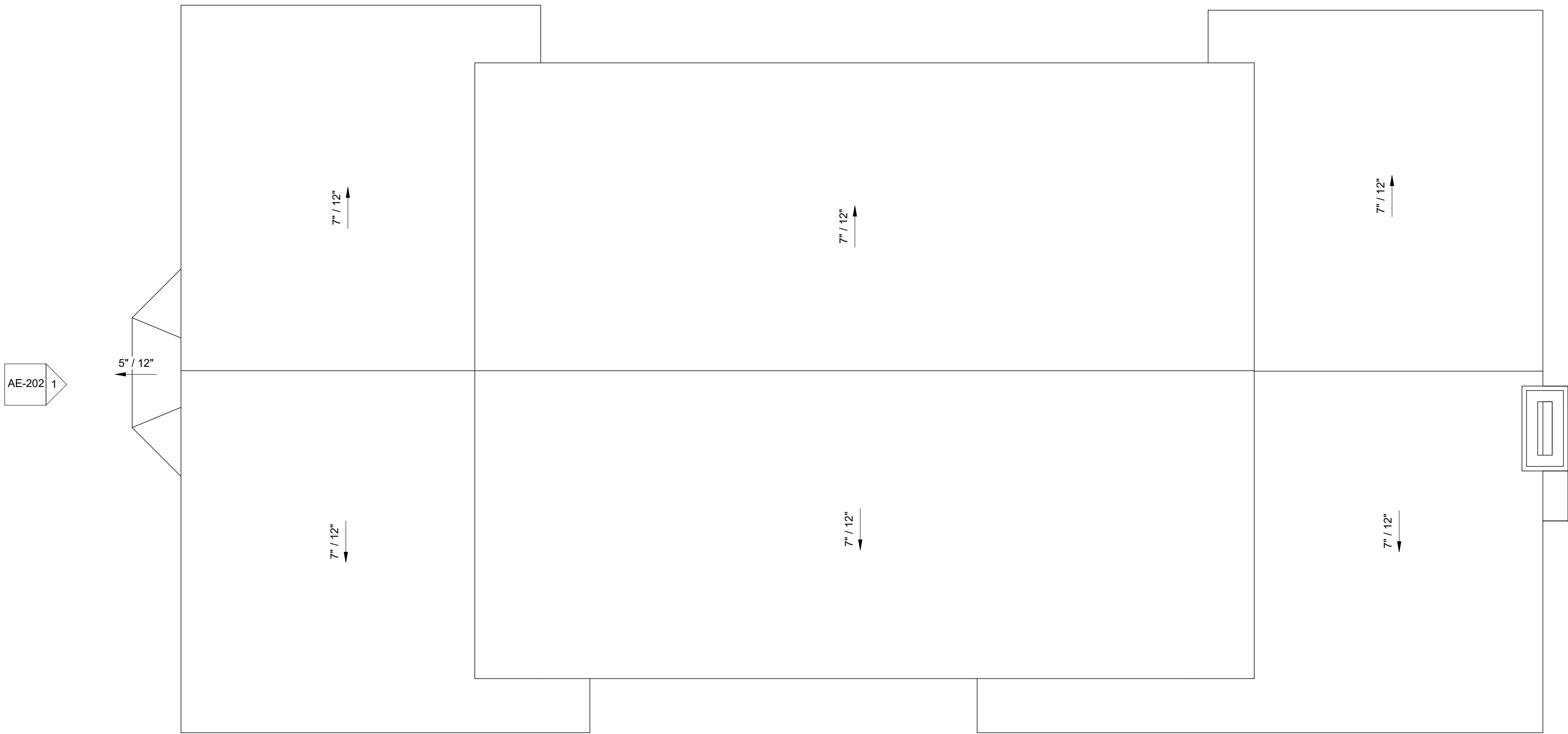
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Existing Basement
& 1st Level Floor
Plans

AE-101



1 Existing - 2nd Level Floor Plan
1/4" = 1'-0"



2 Existing - Roof Plan
1/4" = 1'-0"

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Existing 2nd Level
Floor Plan & Roof
Plan

AE-102



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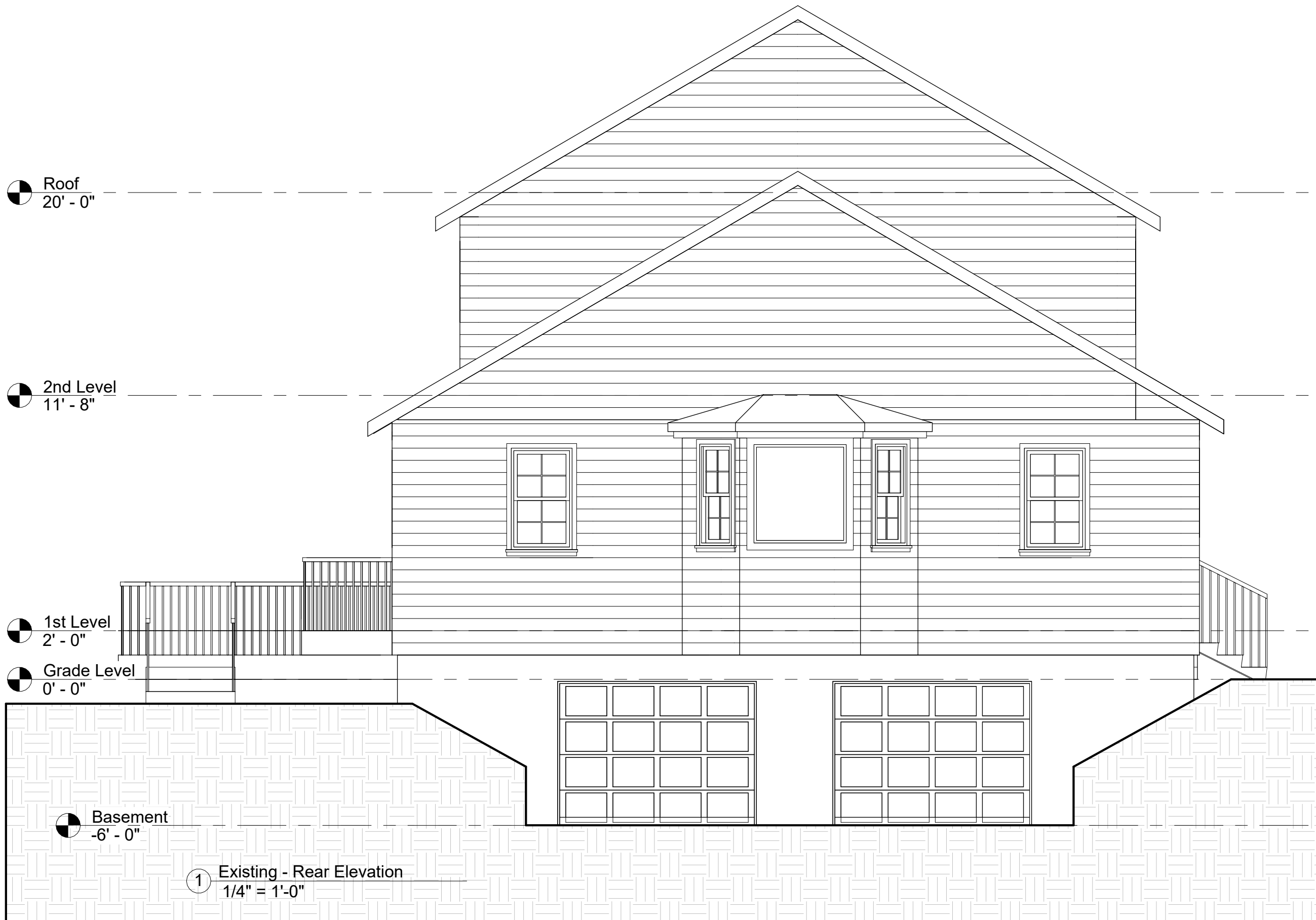
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1/4" = 1'-0"

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Existing Right Side
& Left Side
Elevations

AE-201



Exist Room Schedule 1	
Name	Area

Basement	
2 Car Garage	434 SF
Hall	131 SF
Mechanical	137 SF
Unfinished Basement	313 SF
Unfinished Basement	531 SF
1st Level	
Bath	41 SF
Closet	5 SF
Closet	5 SF
Closet	12 SF
Closet	6 SF
Deck	181 SF
Deck	38 SF
Dining Room	138 SF
Family Room	314 SF
Half Bath	26 SF
Hall	108 SF
Kitchen	69 SF
Kitchen	237 SF
Living Room	287 SF
Room	230 SF
Room	146 SF

Exist Room Schedule 2	
Name	Area

2nd Level	
Bath	55 SF
Bath	44 SF
Bedroom	114 SF
Bedroom	130 SF
Bedroom	123 SF
Closet	15 SF
Closet	8 SF
Closet	10 SF
Hall	57 SF
Laundry	21 SF
Master Bedroom	227 SF
W.I.C.	34 SF

Existing Area Schedule	
Level	Area

Basement	1707 SF
1st Level	1890 SF
2nd Level	1023 SF
Grand total	4621 SF

WINDOW SCHEDULE - EXISTING						
Type Mark	Width	Height	Sill Height	Phase Demolished	Count	Family

1st Level						
W01	5' - 4"	3' - 8"	3' - 10"	New Construction	1	Window-Double-Hung-Double
W02	2' - 6"	4' - 2"	3' - 4"	New Construction	3	Window-Double-Hung
W03	1' - 10"	4' - 2"	3' - 6"	None	2	Window-Double-Hung
W04	4' - 0"	4' - 3"	3' - 6"	None	1	Fixed with Trim
W05	2' - 8"	4' - 0"	3' - 5"	New Construction	1	Window-Double-Hung
W06	3' - 0"	3' - 4"	4' - 4"	New Construction	1	Window-Double-Hung
W07	2' - 4"	3' - 0"	4' - 8"	New Construction	1	Window-Double-Hung
W08	5' - 6"	4' - 2"	3' - 0"	New Construction	1	Window-Double-Hung-Double
W09	8' - 0"	4' - 2"	3' - 1"	New Construction	1	Window-Bay-Casement-30_Degree_Angle
W13	2' - 6"	4' - 2"	3' - 4"	New Construction	3	Window-Double-Hung
2nd Level						
W06	3' - 0"	3' - 4"	3' - 0"	New Construction	1	Window-Double-Hung
W07	2' - 4"	3' - 0"	3' - 0"	New Construction	1	Window-Double-Hung
W10	2' - 6"	3' - 10"	2' - 6"	New Construction	2	Window-Double-Hung
W11	5' - 6"	3' - 10"	3' - 0"	New Construction	1	Window-Double-Hung-Double
W12	2' - 4"	3' - 0"	3' - 4"	New Construction	1	Window-Double-Hung
W14	2' - 4"	3' - 0"	3' - 4"	New Construction	2	Window-Double-Hung

DOOR SCHEDULE - EXISTING						
Type Mark	Width	Height	Phase Demolished	Count	Family	Type

Basement						
D01	8' - 0"	5' - 10"	None	2	Door-Garage-Embossed_Panel	EXISTING 102" x 84"
D02	5' - 0"	6' - 8"	None	1	Door-Interior-Double-Flush-Wood	EXISTING 60" x 80"

1st Level						
D02	5' - 0"	6' - 8"	New Construction	1	Door-Interior-Double-Flush-Wood	EXISTING 60" x 80"
D03	3' - 0"	7' - 0"	None	1	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad	36" x 84"
D04	5' - 4"	6' - 8"	None	1	Door-Exterior-Double-Full Glass-Wood_Clad	EXISTING 64" x 80" 2
D05	2' - 0"	6' - 8"	New Construction	2	Door-Interior-Single-1_Panel-Wood	EXISTING 24" x 80"
D06	2' - 6"	6' - 8"	New Construction	8	Door-Interior-Single-1_Panel-Wood	EXISTING 30" x 80"
D07	2' - 8"	6' - 8"	None	1	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad	EXISTING 32" x 80"
D14	2' - 6"	6' - 8"	None	1	Door-Interior-Single-1_Panel-Wood	EXISTING ND 30" x 80" 2

2nd Level						
D06	2' - 6"	6' - 8"	New Construction	8	Door-Interior-Single-1_Panel-Wood	EXISTING 30" x 80"
D08	5' - 0"	6' - 8"	New Construction	2	Sliding-Closet	EXISTING 60" x 80"
D09	4' - 0"	6' - 8"	New Construction	1	Sliding-Closet	EXISTING 48" x 80"

PROJECT NAME
165 Lumber St

ADDRESS
165 Lumber St -
Hopkinton, MA

CLIENT
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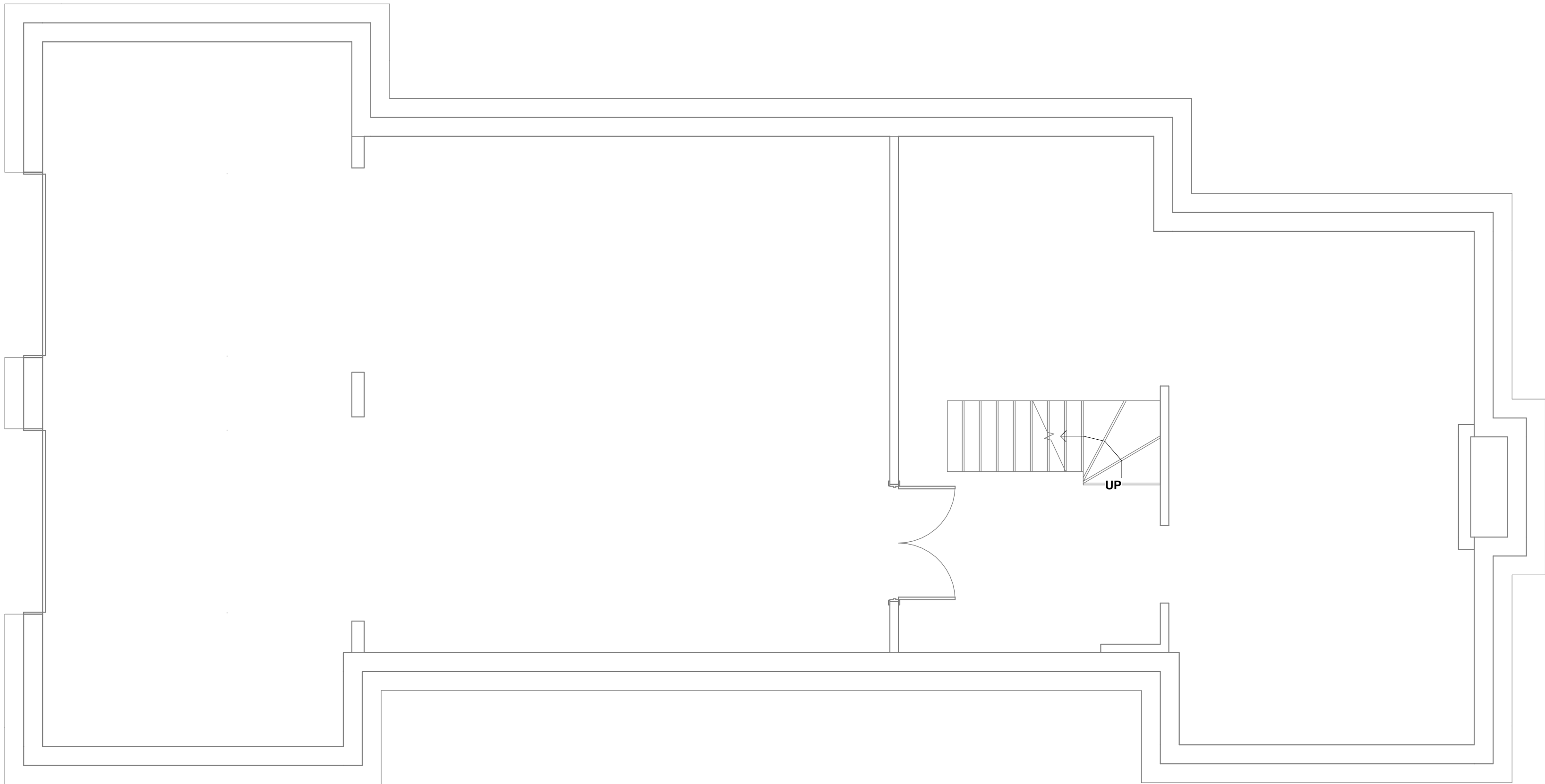
NOTES

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PROJECT INDEX		-
DATE	02/17/2023	
DRAWN BY	Natalia B	
SCALE	1/4" = 1'-0"	
REVISIONS		
No.	Description	Date

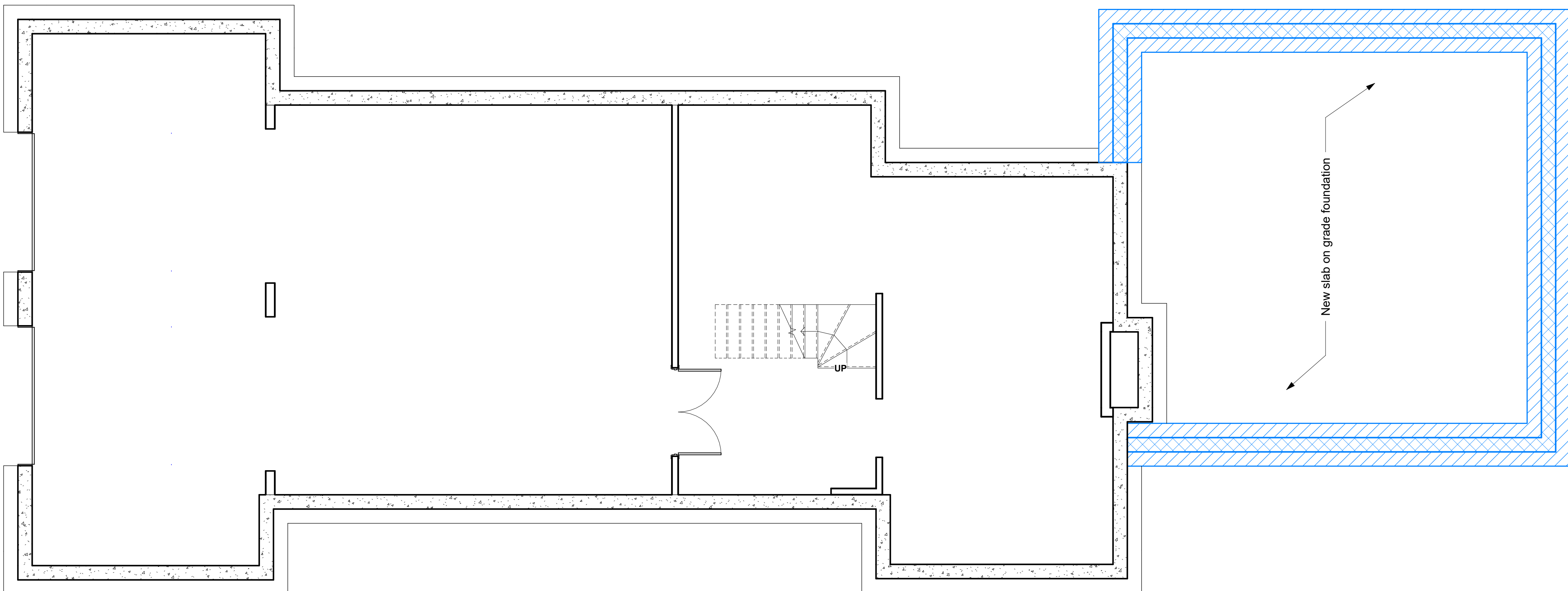
Front & Rear
Elevations -
Schedules

AE-202



1 Demolition - Basement Floor Plan
1/4" = 1'-0"

AD-203
2



2 Construction - Basement Floor Plan
1/4" = 1'-0"

2
AD-202

- DEMOLITION NOTES**
1. Extent of selective demolition is indicated on drawings.
 2. Remove electrical and lighting devices in partitions and rooms to be removed, or as directed by owner.
 3. Provide protection as required to prevent injury due to demolition work.
 4. At excavations on new foundation areas, take care to provide protection and not cut existing water, waste, or gas lines. Uncover existing lines and inspect to determine if any lines are damaged, deteriorated, or otherwise require replacement.
 5. Provide temporary weather protection during and subsequent to demolition work to ensure that no water leakage or damage occurs to structure of existing building.
 6. Provide interior and exterior shoring, bracing, or support to prevent movement, settlement, or collapse of structures to be demolished and adjacent construction to remain.
 7. When removing outlet boxes from walls being demolished, remove all wiring to next outlet(s). Cut conduit back to allow for patching.
 8. Remove all unused, exposed, and accessible empty conduits and boxes.
 9. Repair adjacent construction or surfaces damaged by demolition work.
 10. Notify homeowner if during demolition uncovers conditions of deteriorating materials (I.E. rotting fascia, sills, etc).

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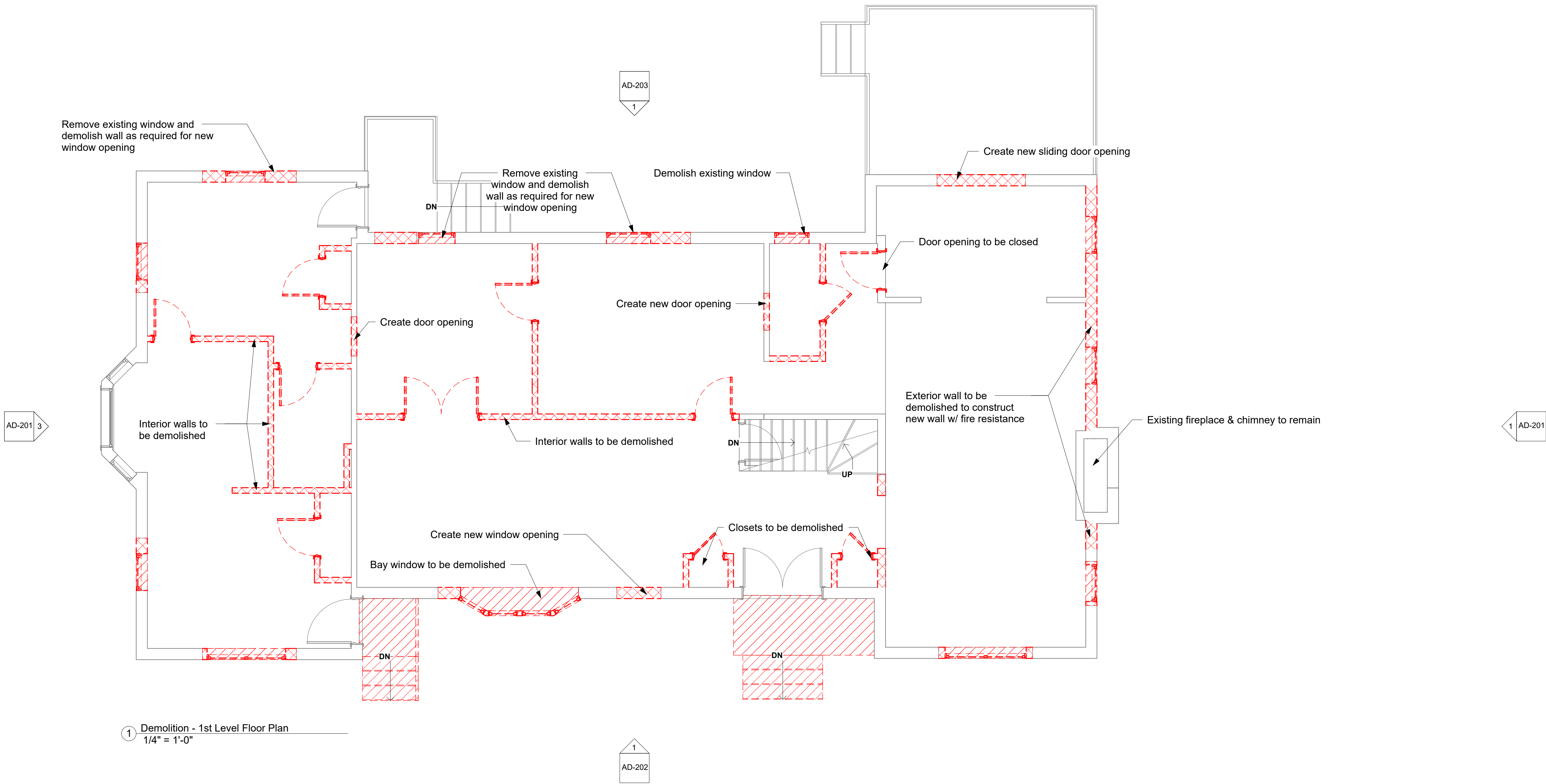
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PROJECT INDEX	-
DATE	02/17/2023
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SCALE	1/4" = 1'-0"

REVISIONS		
No.	Description	Date

Demolition &
Construction -
Basement

AD-101



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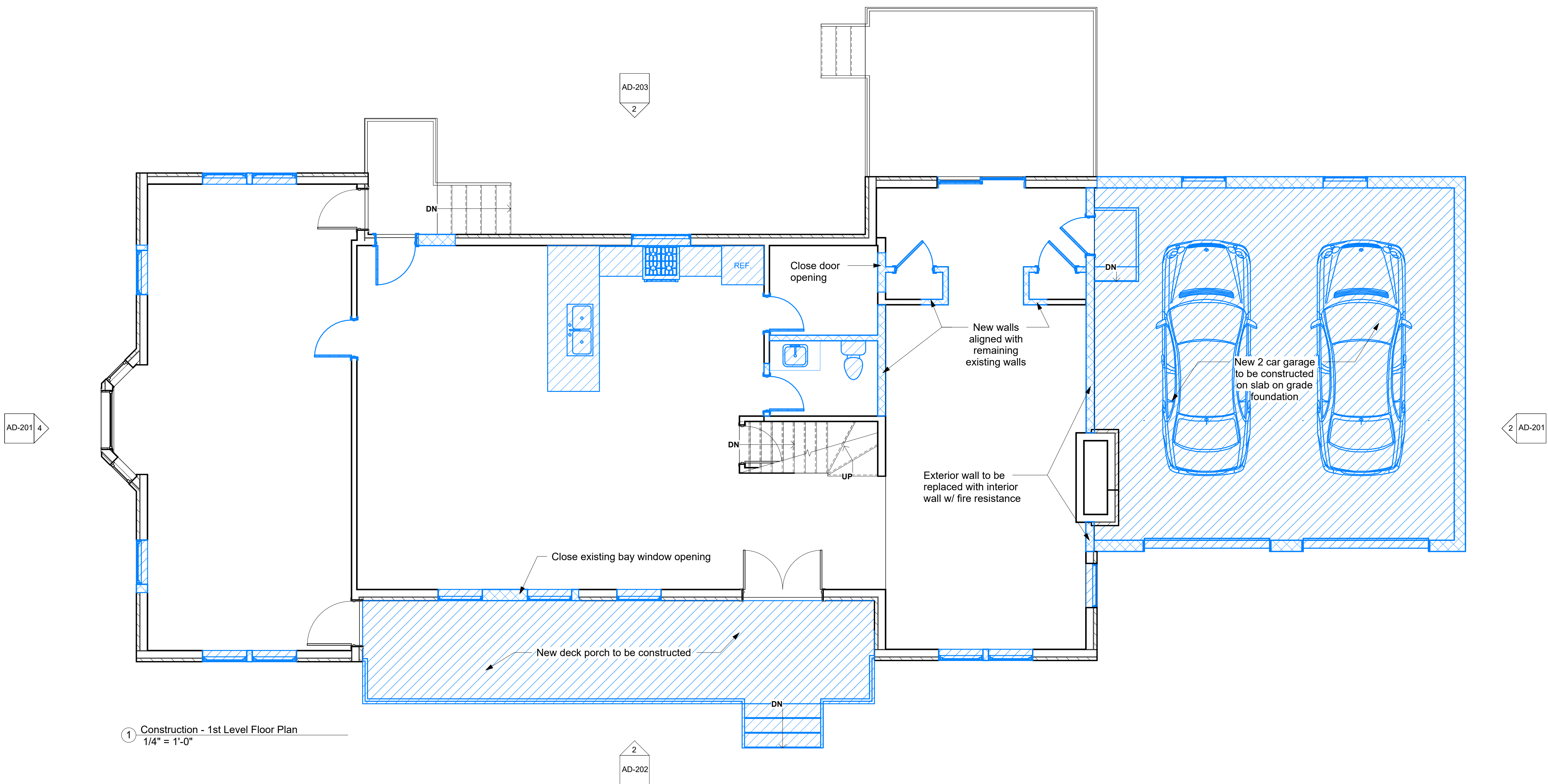
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DATE	02/17/2023
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SCALE	1/4" = 1'-0"

REVISIONS		
No.	Description	Date

Demolition - 1st
Level

AD-102



1 Construction - 1st Level Floor Plan
1/4" = 1'-0"

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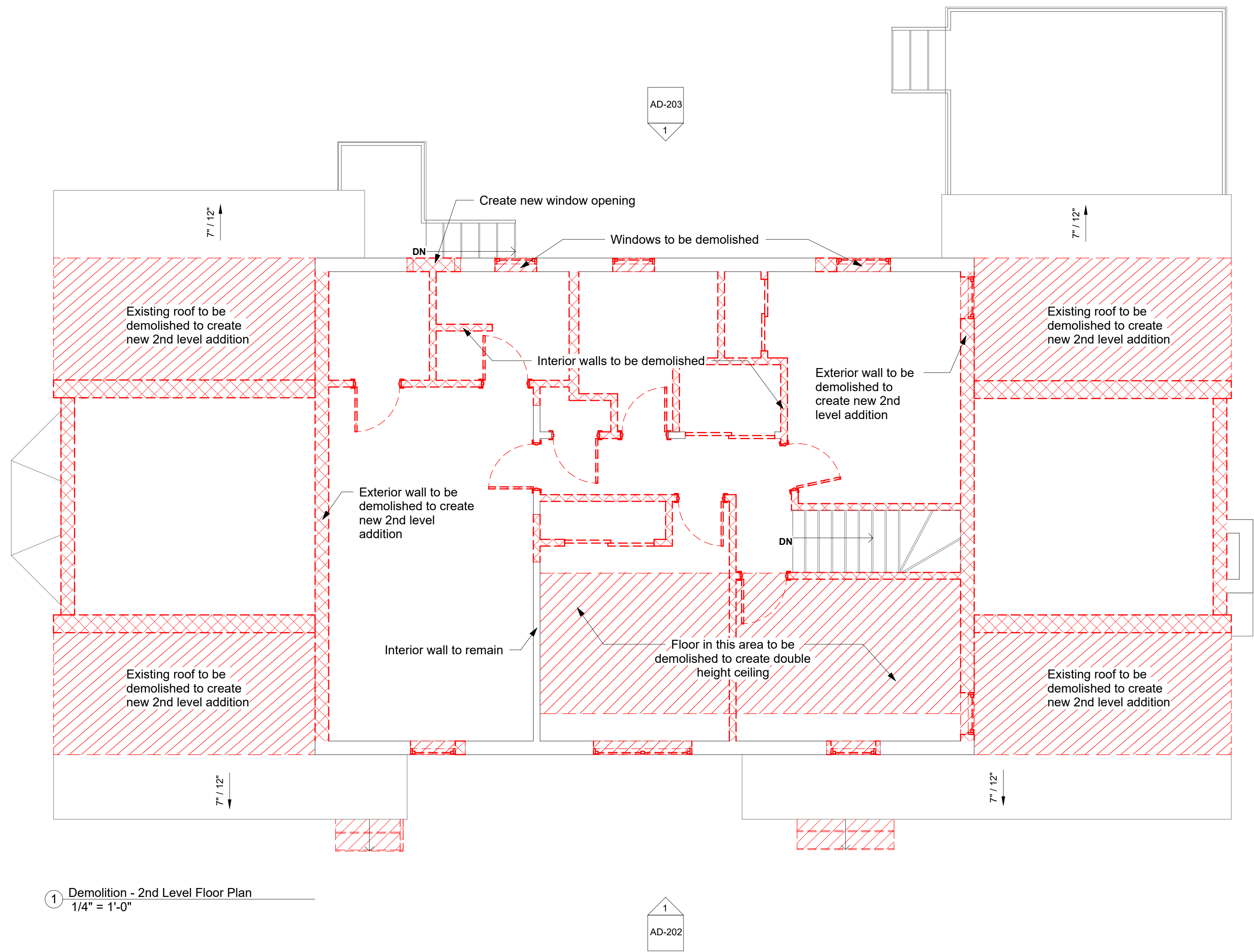
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DATE	02/17/2023	
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SCALE	1/4" = 1'-0"	

REVISIONS		
No.	Description	Date

Construction - 1st
Level

AD-103



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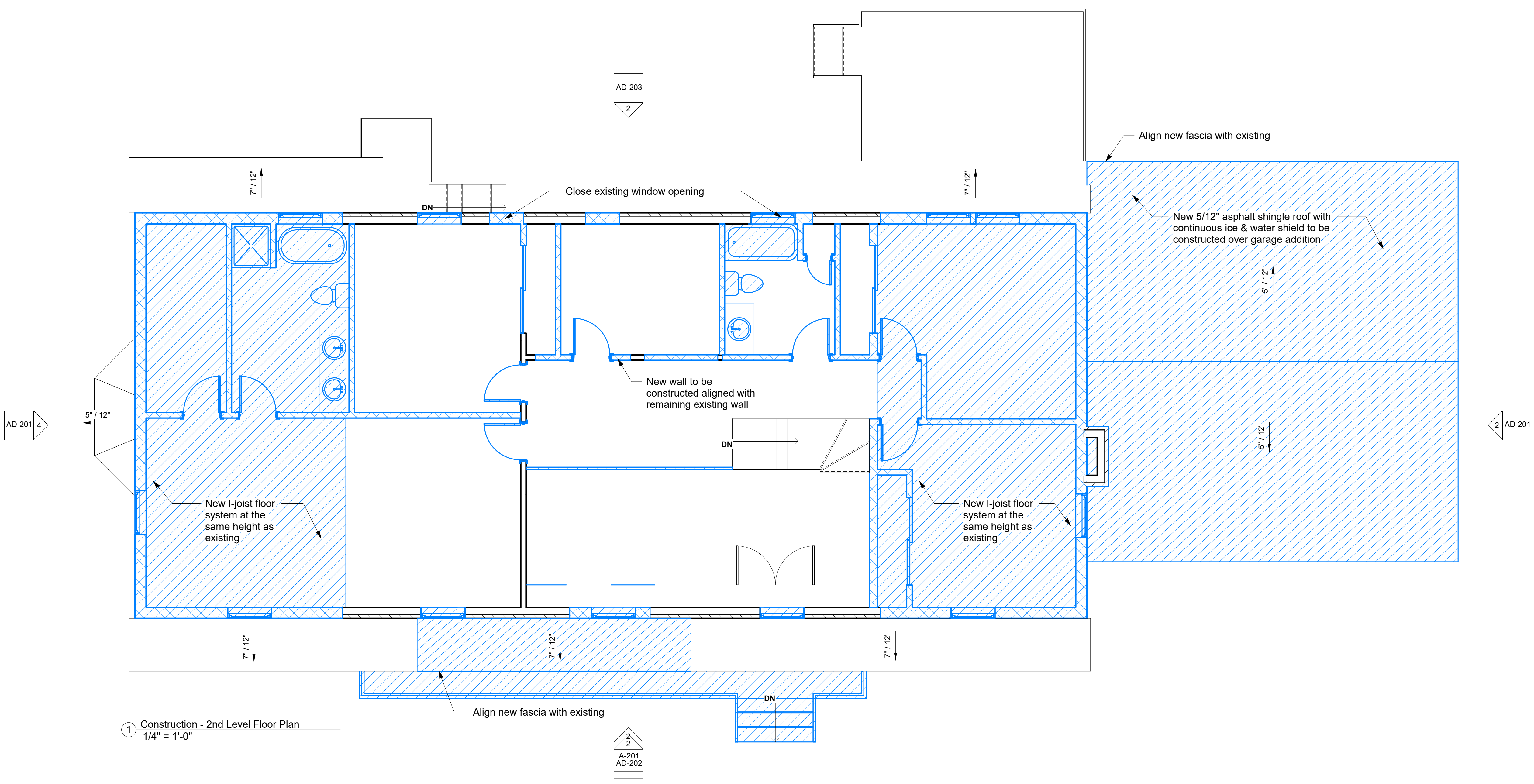
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PROJECT INDEX	-
DATE	02/17/2023
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SCALE	1/4" = 1'-0"

REVISIONS		
No.	Description	Date

Demolition - 2nd
Level

AD-104



① Construction - 2nd Level Floor Plan
1/4" = 1'-0"

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DATE

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Natalia B

SCALE

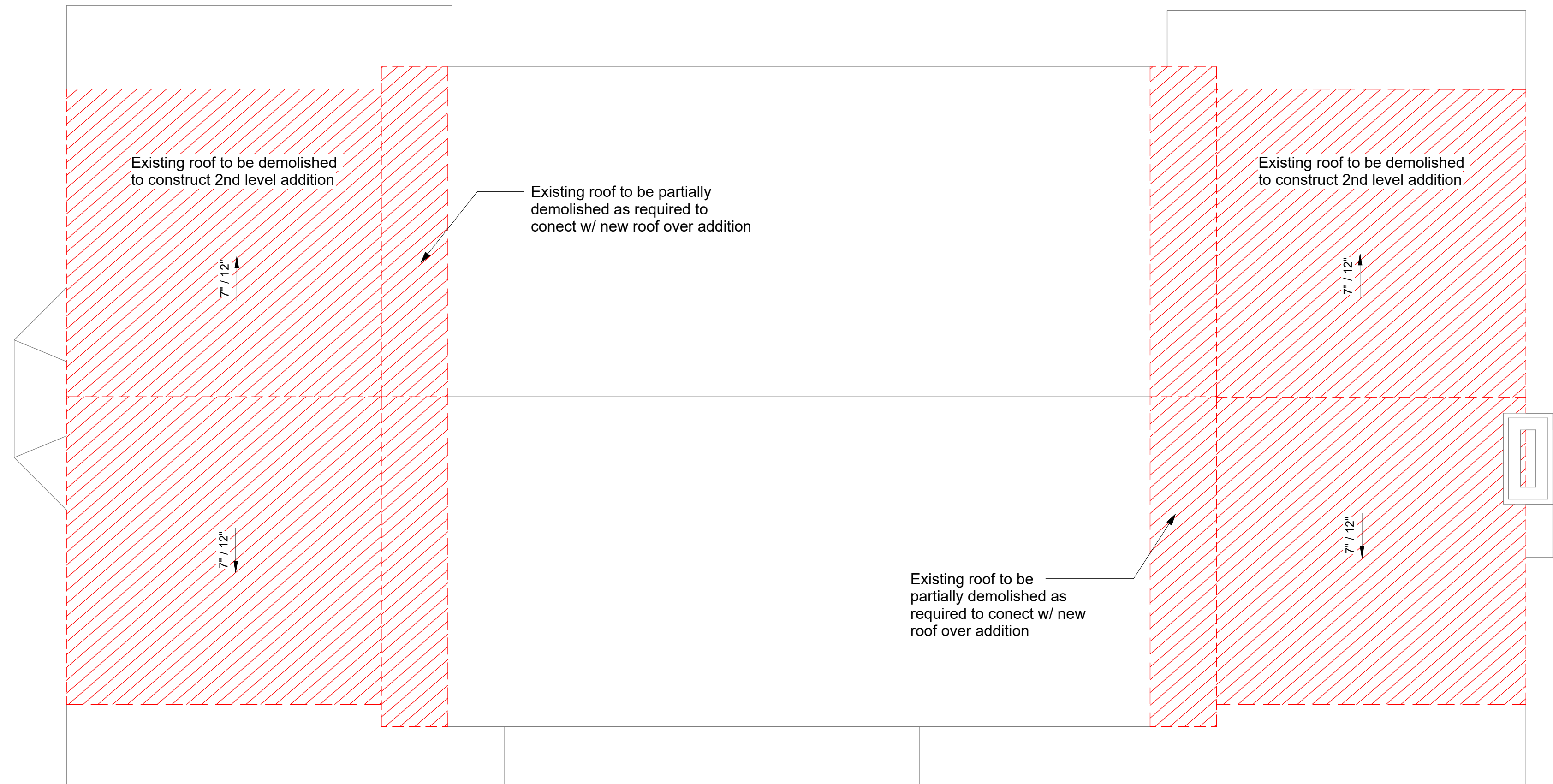
1/4" = 1'-0"

REVISIONS

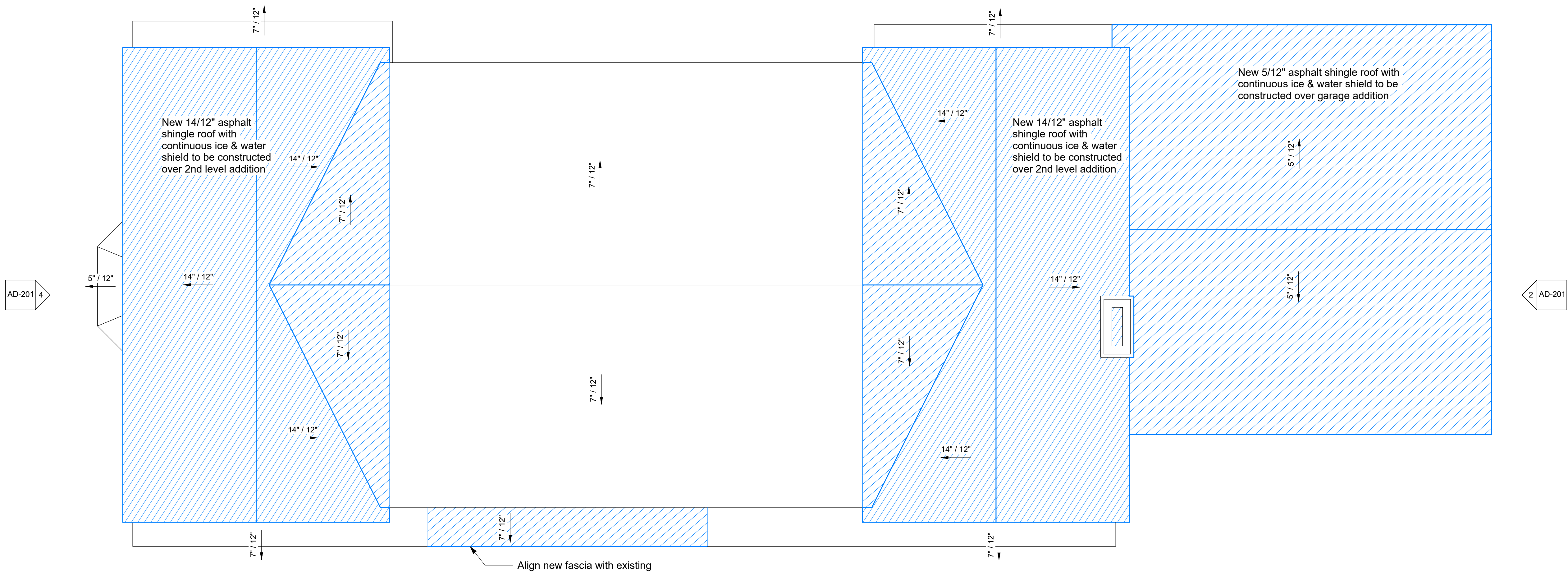
No.	Description	Date

Construction - 2nd
Level

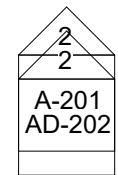
AD-105



1 Demolition - Roof Plan
1/4" = 1'-0"



2 Construction - Roof Plan
1/4" = 1'-0"



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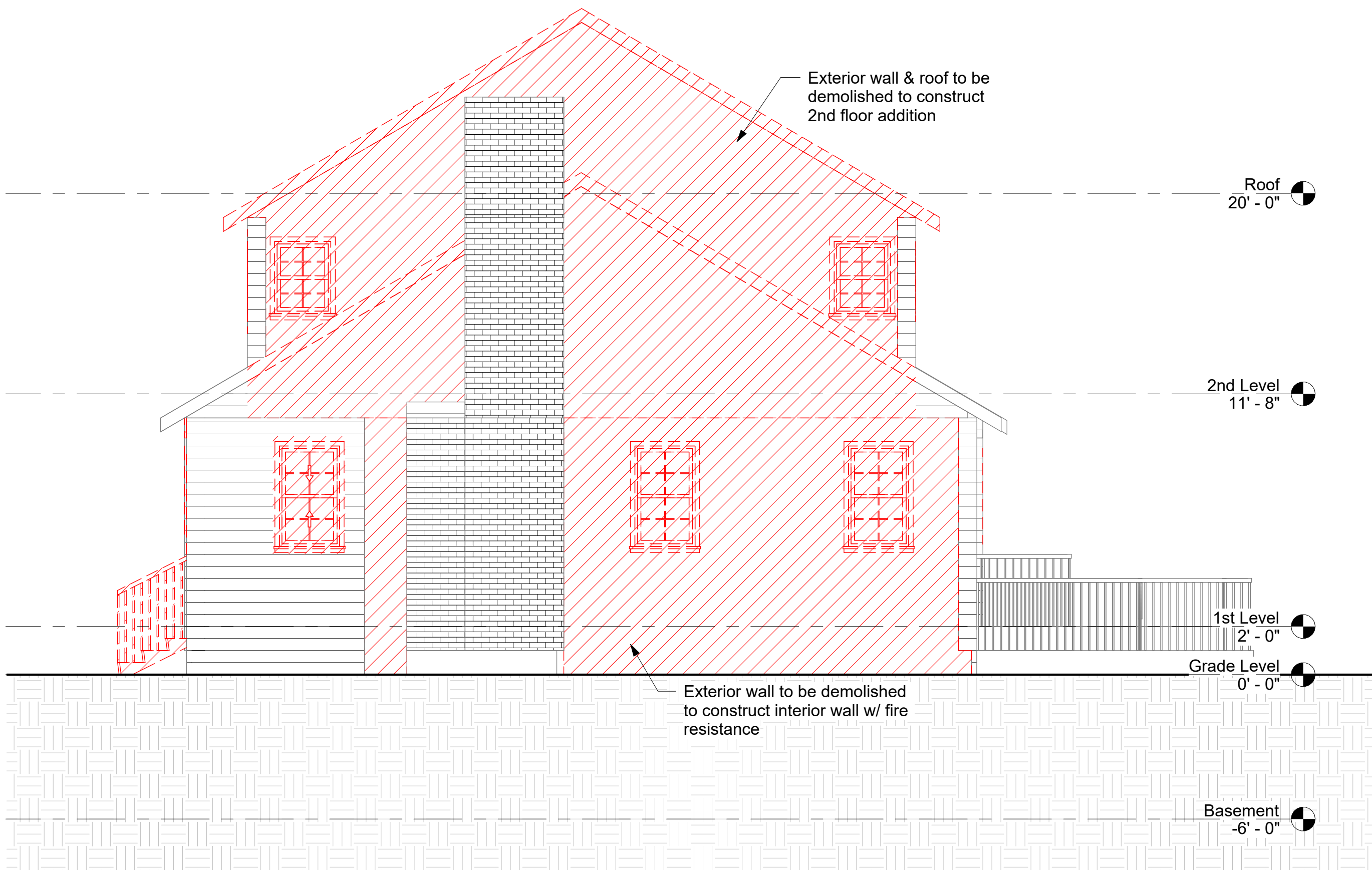
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PROJECT INDEX	-
DATE	02/17/2023
DRAWN BY	Natalia B
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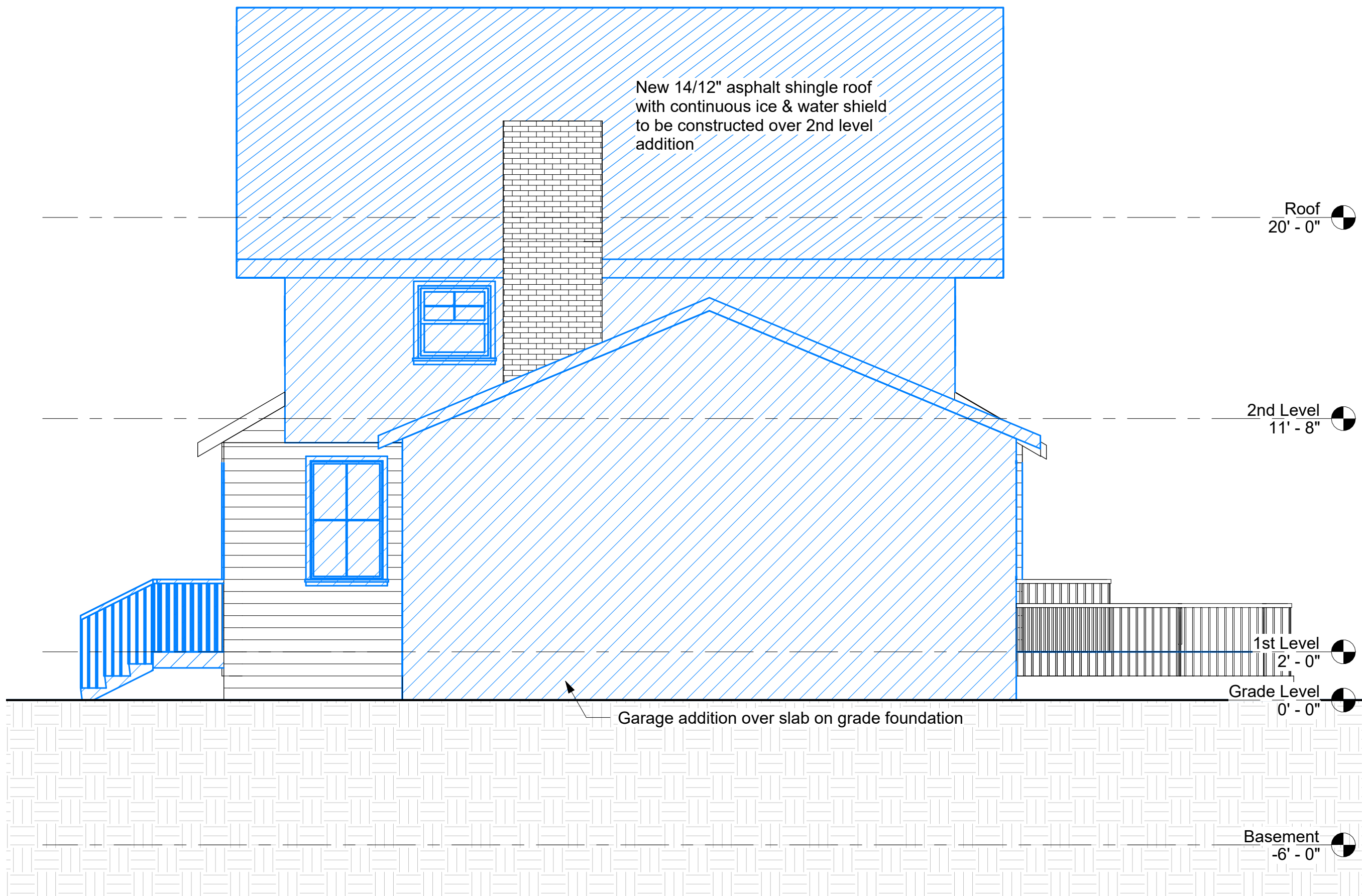
REVISIONS		
No.	Description	Date

Demolition &
Construction - Roof

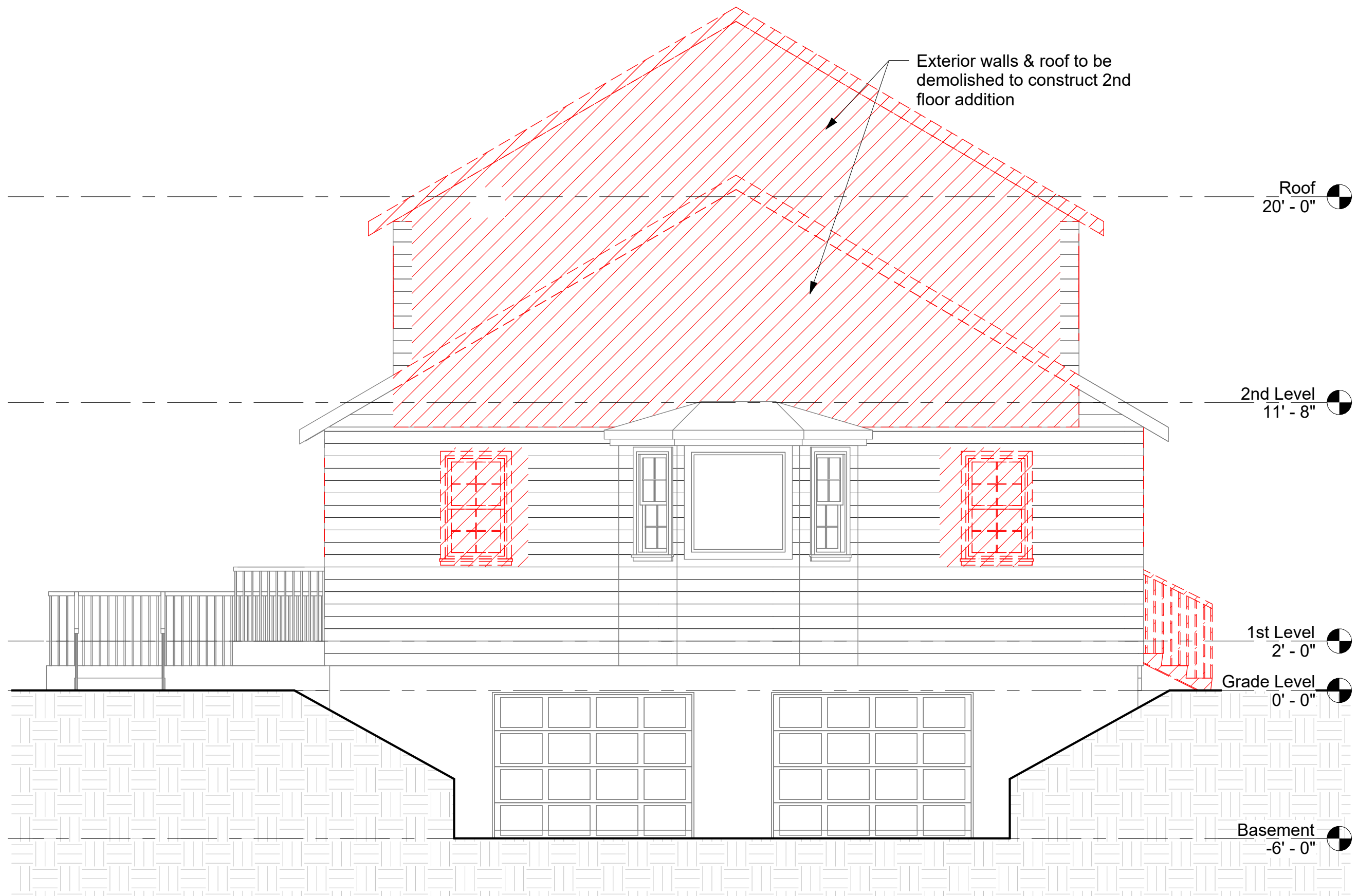
AD-106



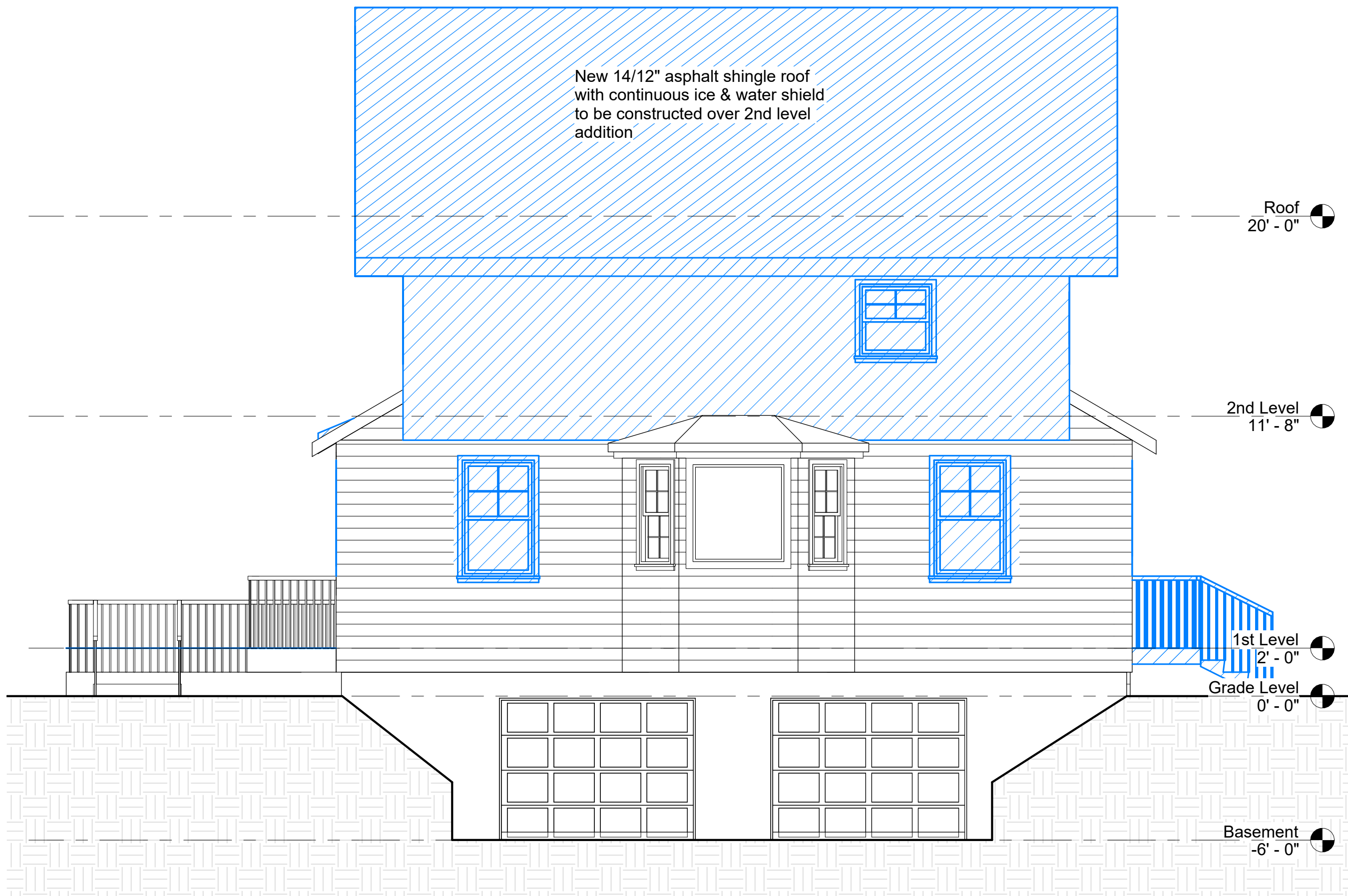
1 Demolition - Front Elevation
1/4" = 1'-0"



2 Construction - Front Elevation
1/4" = 1'-0"



3 Demolition - Rear Elevation
1/4" = 1'-0"



4 Construction - Rear Elevation
1/4" = 1'-0"

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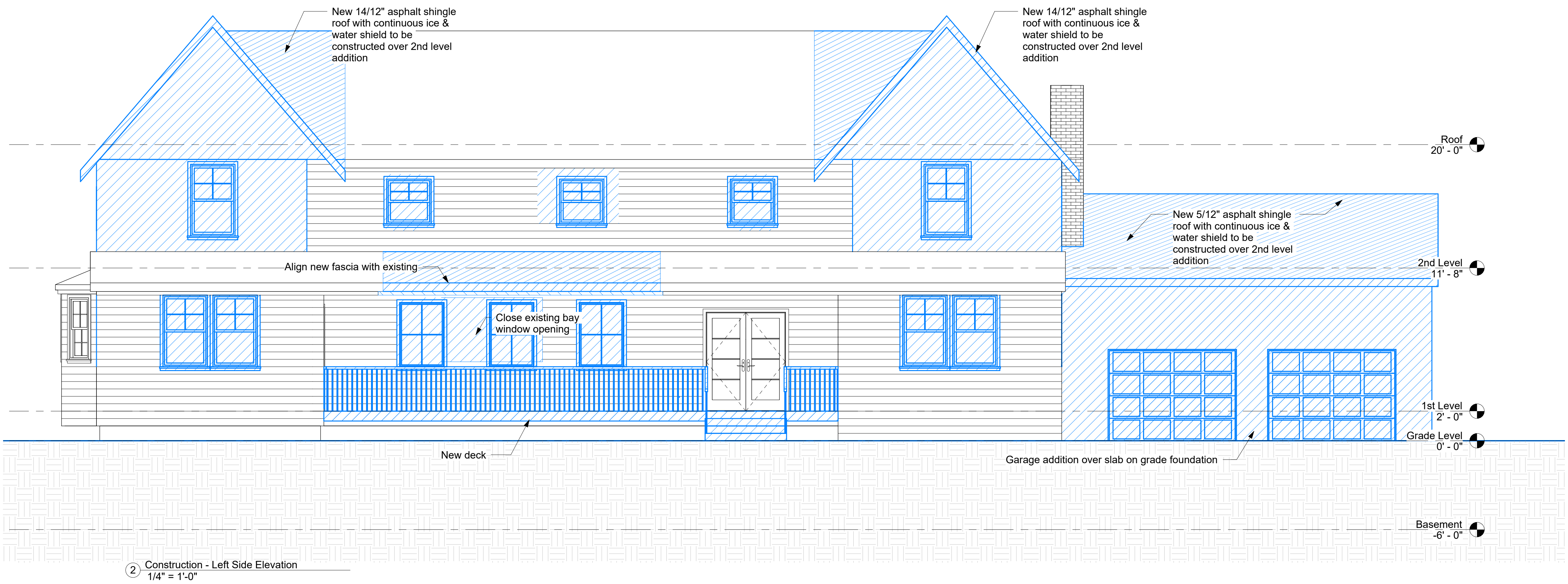
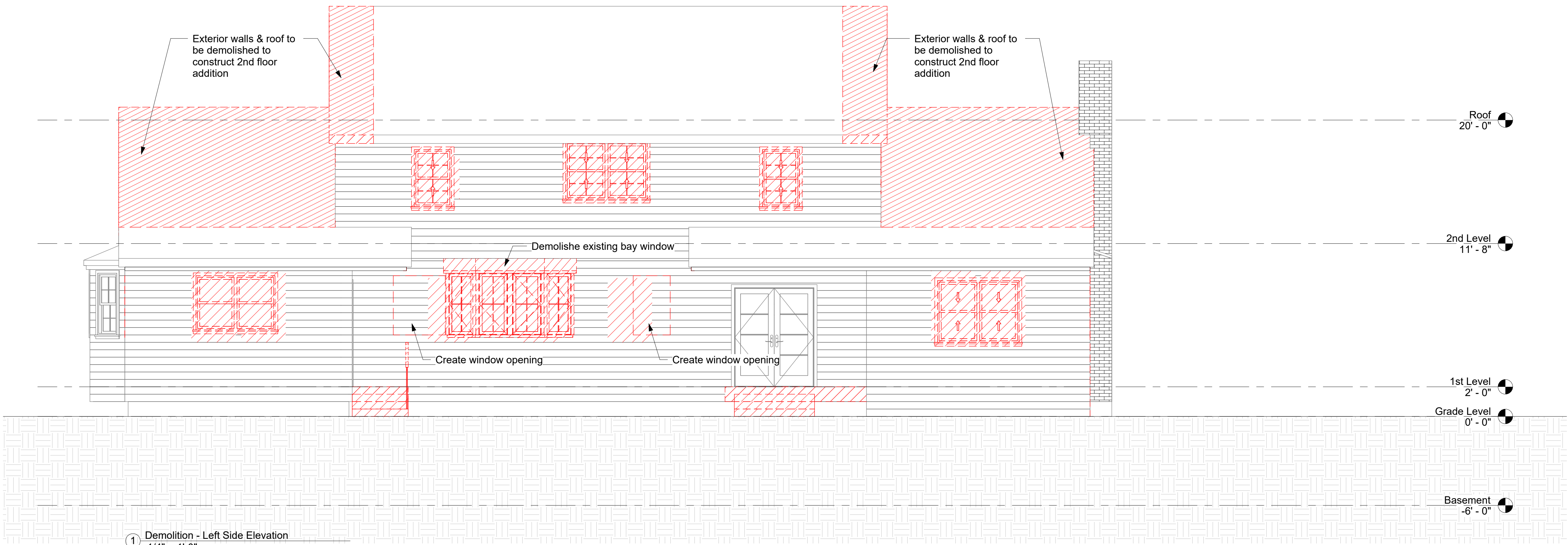
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SCALE 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

Demolition & Constr
- Front & Rear
Elevations

AD-201



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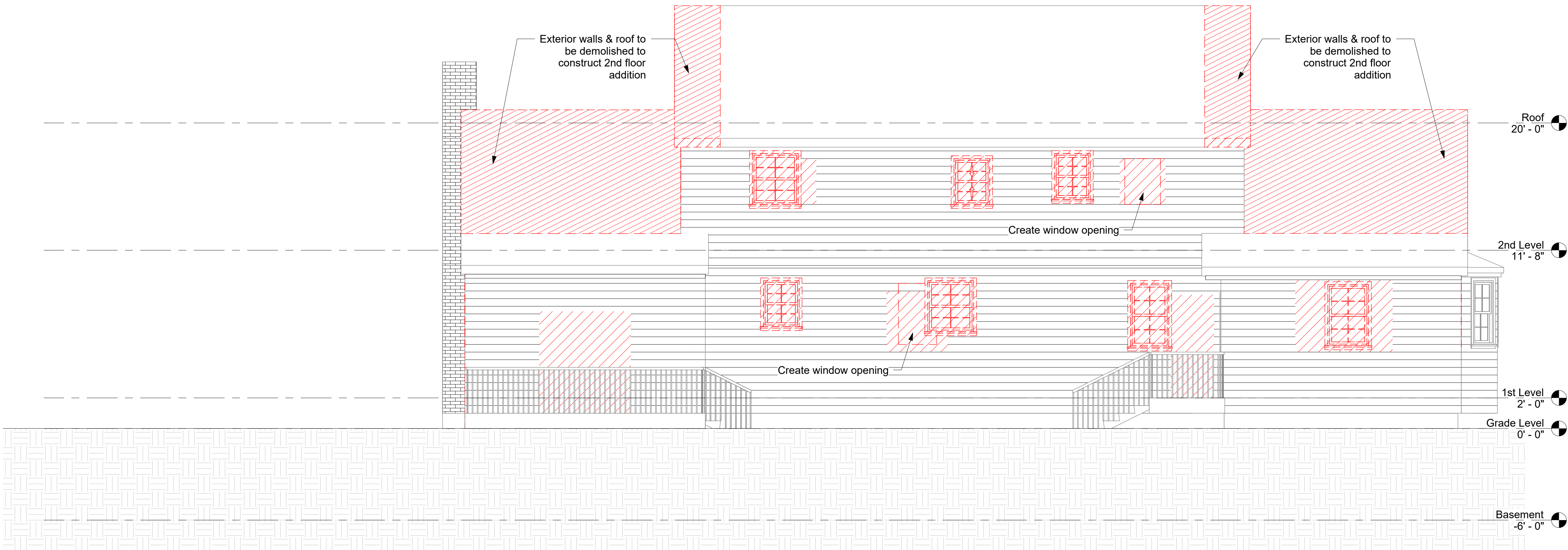
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SCALE 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

Demolition & Constr
- Left Side Elevation

AD-202



① Demolition - Right Side Elevation
1/4" = 1'-0"



② Demolition - Right Side Elevation
1/4" = 1'-0"

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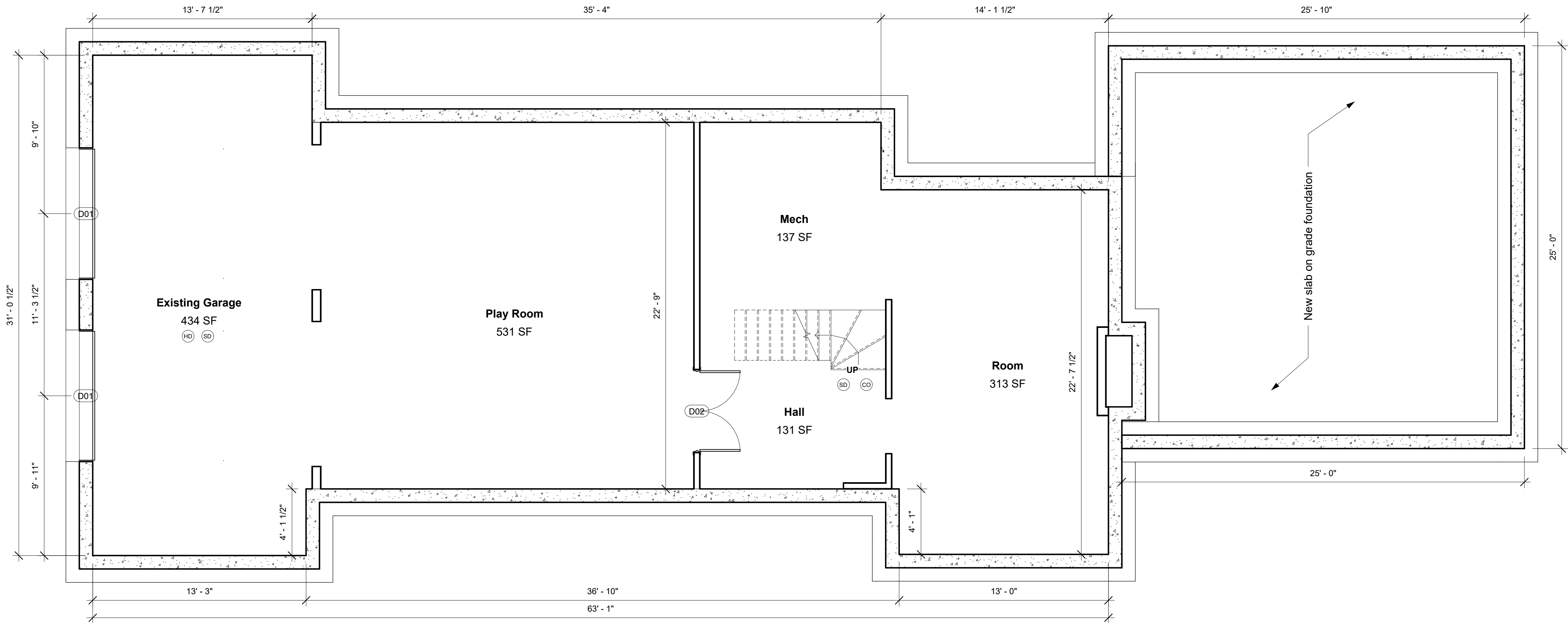
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PROJECT INDEX		-
DATE	02/17/2023	
DRAWN BY	Natalia B	
SCALE	1/4" = 1'-0"	

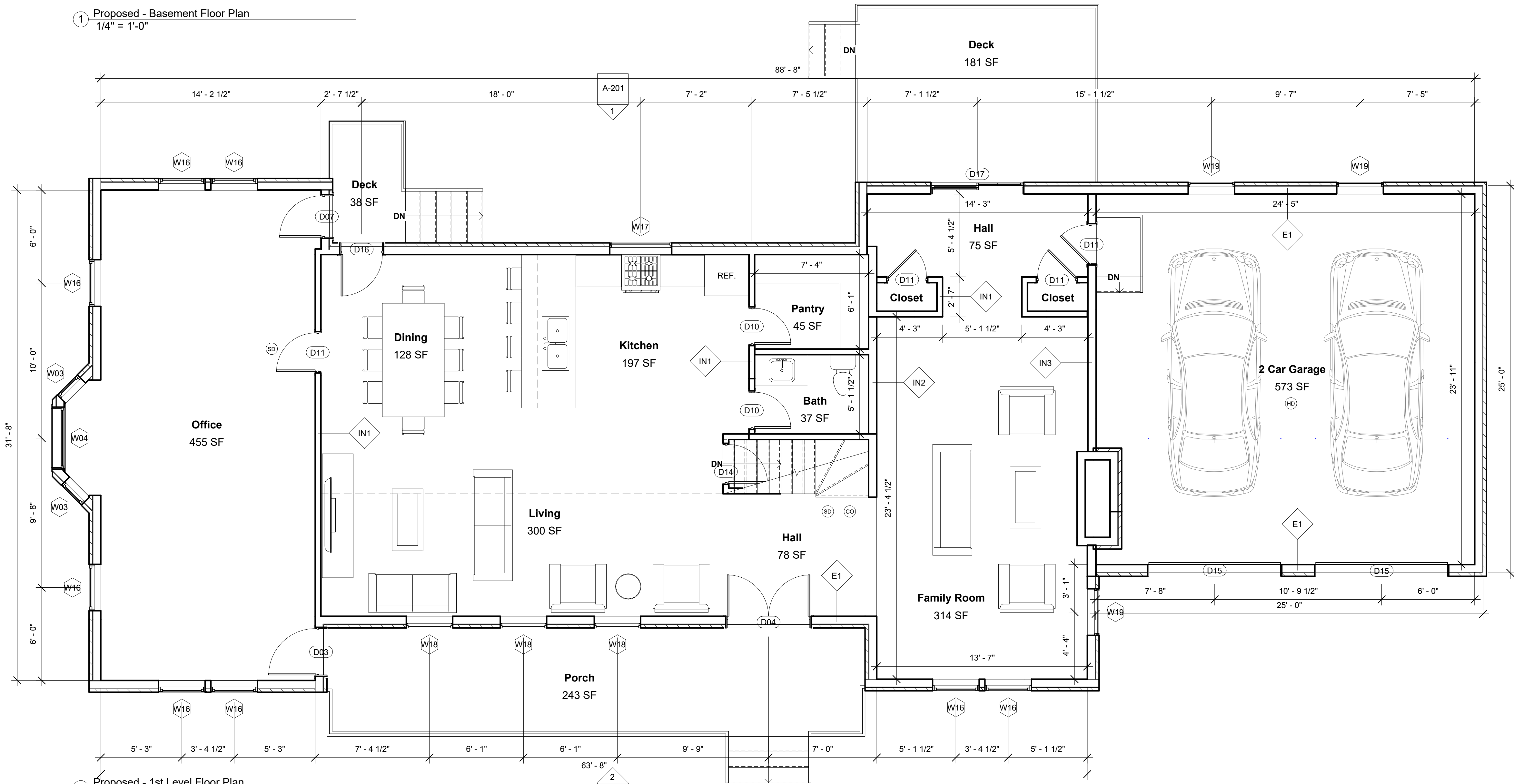
REVISIONS		
No.	Description	Date

Demolition & Constr
- Right Side
Elevation

AD-203



1 Proposed - Basement Floor Plan
1/4" = 1'-0"



2 Proposed - 1st Level Floor Plan
1/4" = 1'-0"

CONSTRUCTION NOTES

1. Interior areas of construction to be painted, walls eggshell, ceilings to be flat, doors and trim satin, colors to be selected by homeowner.

2. All closets to receive hanging rod and shelves. Center closet doors on closets unless otherwise noted.

3. All new doors to be solid core. Door hardware to match existing.

5. Existing HVAC system to be reviewed by HVAC subcontractor to determine if it can be added on to or and independent system to be provided for new addition.

6. All window & door sizes are nominal, contractor to coordinate all rough opening sizes with framing, flashing and manufacturer's printed recommended installation instructions.

7. General contractor to coordinate MA code required light and ventilation with final window selections.

LIFE SATETY LEGEND

- (SD) SMOKE DETECTOR
- (CO) CARBON MONOXIDE DETECTOR
- (HD) HEAT DETECTOR

PROJECT NAME
165 Lumber St

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165 Lumber St -
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DATE	02/17/2023	
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SCALE	1/4" = 1'-0"	

REVISIONS

No.	Description	Date

Proposed -
Basement 1st Level
Floor Plan

A-102

PROJECT NAME
165 Lumber St

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NOTES

- CONSTRUCTION NOTES**
- Interior areas of construction to be painted, walls eggshell, ceilings to be flat, doors and trim satin, colors to be selected by homeowner.
 - All closets to receive hanging rod and shelves. Center closet doors on closets unless otherwise noted.
 - All new doors to be solid core. Door hardware to match existing.
 - Existing HVAC system to be reviewed by HVAC subcontractor to determine if it can be added on to or and independent system to be provided for new addition.
 - All window & door sizes are nominal, contractor to coordinate all rough opening sizes with framing, flashing and manufacturer's printed recommended installation instructions.
 - General contractor to coordinate MA code required light and ventilation with final window selections.

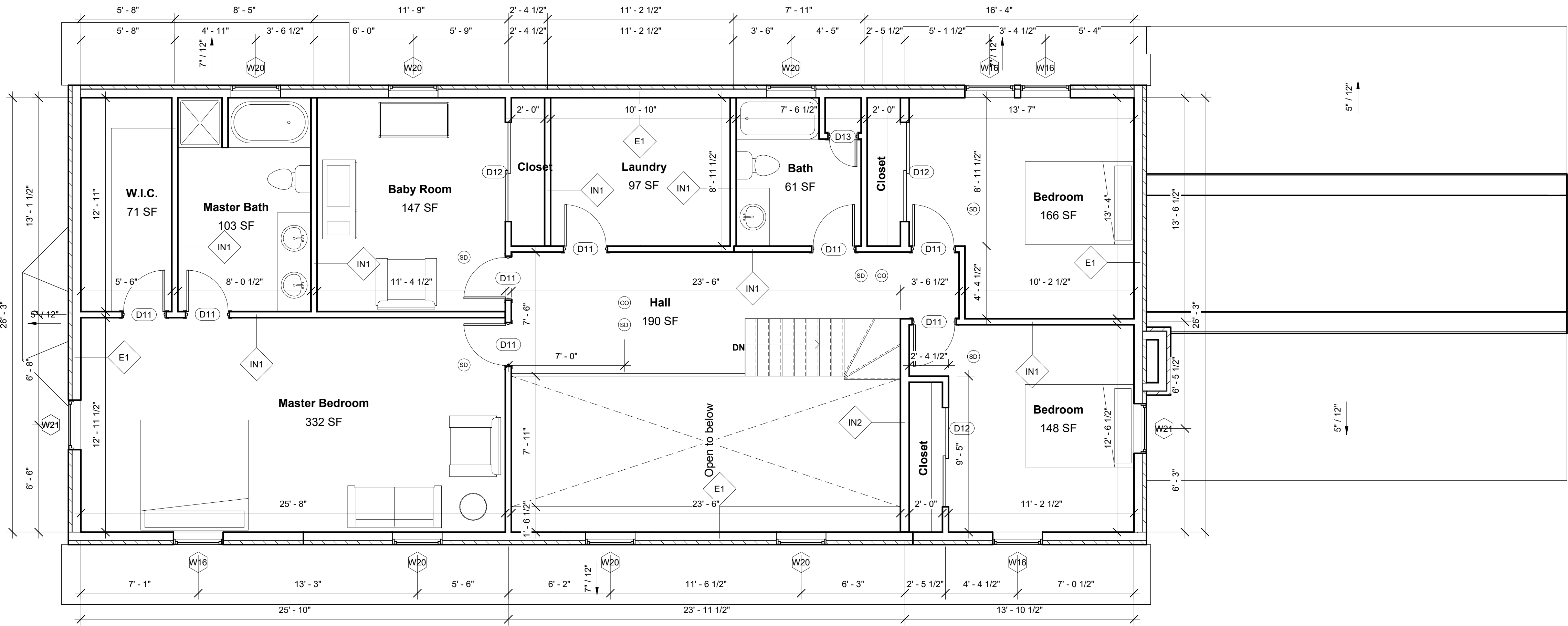
- LIFE SATETY LEGEND**
- SD SMOKE DETECTOR
 - CO CARBON MONOXIDE DETECTOR
 - HD HEAT DETECTOR

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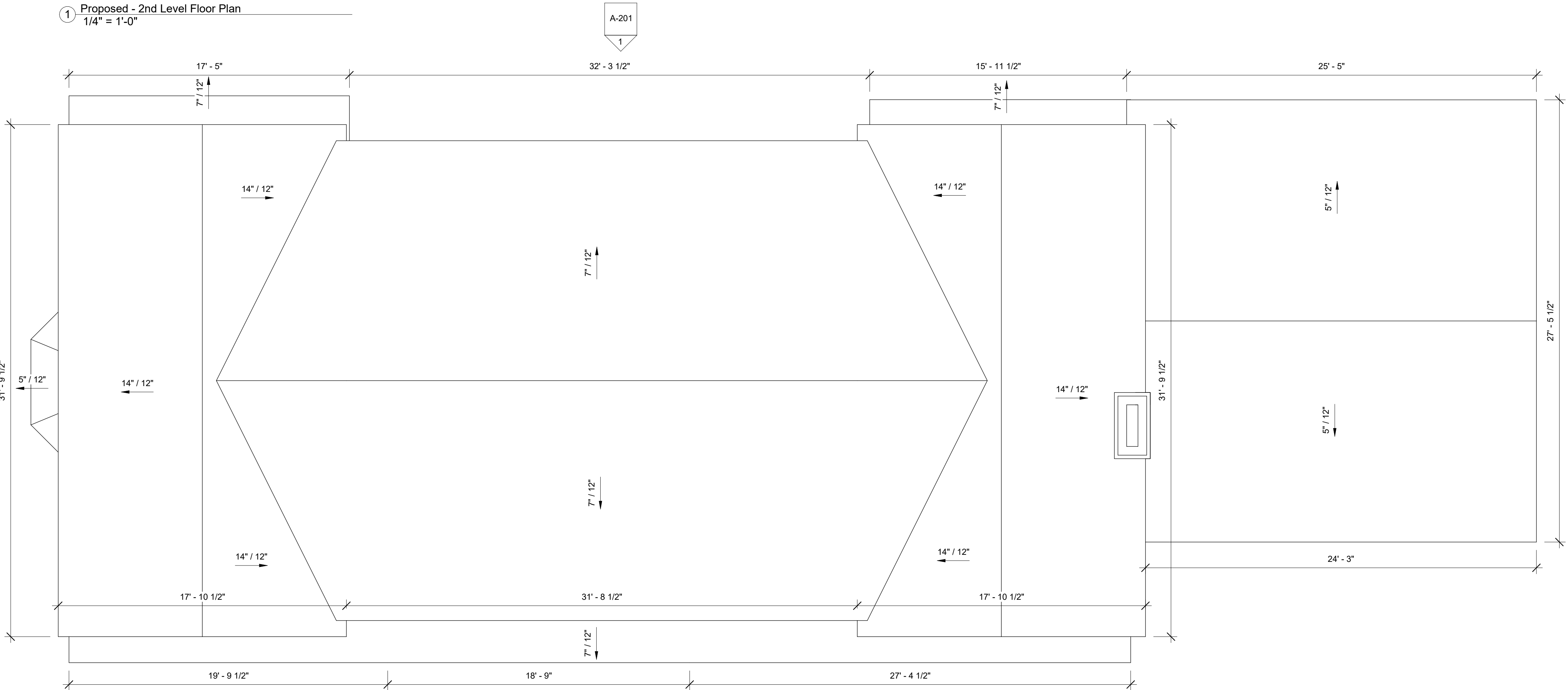
PROJECT INDEX			-
DATE			02/17/2023
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SCALE			1/4" = 1'-0"
REVISIONS			
No.	Description	Date	

Proposed - 2nd
Level Floor Plan &
Roof Plan

A-103



1 Proposed - 2nd Level Floor Plan
1/4" = 1'-0"



2 Proposed - Roof Plan
1/4" = 1'-0"



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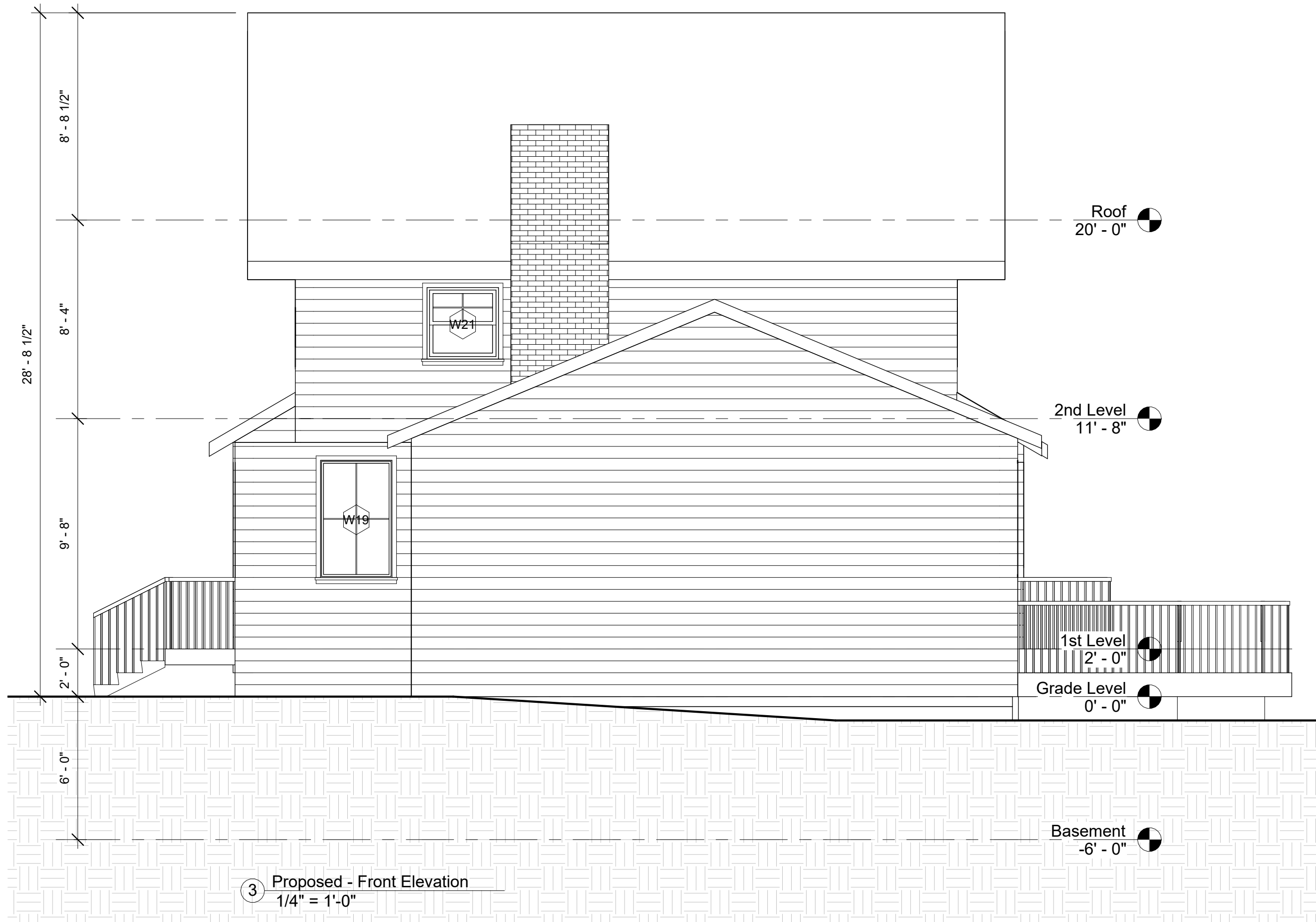
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PROJECT INDEX	-
DATE	02/17/2023
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SCALE	1/4" = 1'-0"

REVISIONS		
No.	Description	Date

Elevations

A-201



Room Schedule 1	
Name	Area

Basement	
Existing Garage	434 SF
Hall	131 SF
Mech	137 SF
Play Room	531 SF
Room	313 SF

1st Level	
2 Car Garage	573 SF
Bath	37 SF
Closet	7 SF
Closet	7 SF
Deck	38 SF
Deck	181 SF
Dining	128 SF
Family Room	314 SF
Hall	78 SF
Hall	75 SF
Kitchen	197 SF
Living	300 SF
Office	455 SF
Pantry	45 SF
Porch	243 SF

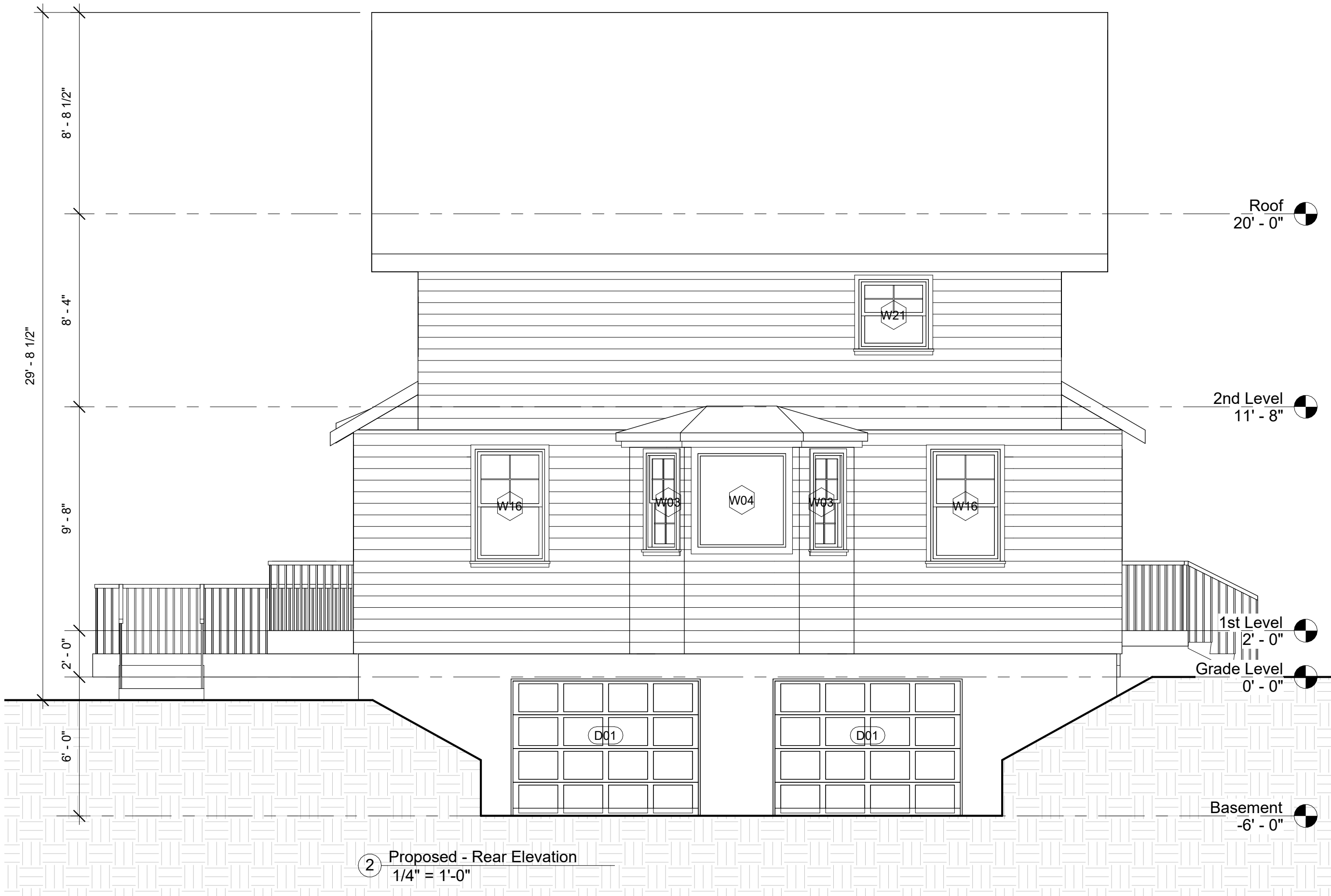
Room Schedule 2	
Name	Area

2nd Level	
Baby Room	147 SF
Bath	61 SF
Bedroom	166 SF
Bedroom	148 SF
Closet	18 SF
Closet	18 SF
Closet	18 SF
Hall	190 SF
Laundry	97 SF
Master Bath	103 SF
Master Bedroom	332 SF
W.I.C.	71 SF

Proposed Area Schedule	
Level	Area

Basement	1707 SF
1st Level	2509 SF
2nd Level	1810 SF
Grand total	6026 SF

WINDOW SCHEDULE - NEW CONSTRUCTION								
Type Mark	Width	Height	Sill Height	Phase Created	Count	Type	Type	
1st Level								
W03	1' - 10"	4' - 2"	3' - 6"	Existing	2	Window-Double-Hung	EXISTING 22" x 51"	
W04	4' - 0"	4' - 3"	3' - 6"	Existing	1	Fixed with Trim	EXISTING 48" x 51"	
W16	3' - 0"	4' - 10"	3' - 0"	New Construction	8	Window-Double-Hung	NEW 36"x52"	
W17	4' - 0"	4' - 0"	3' - 0"	New Construction	1	Window-Fixed	NEW 48" x 48"	
W18	3' - 0"	4' - 4"	3' - 0"	New Construction	3	Window-Fixed	NEW 36" x 52"	
W19	3' - 0"	4' - 11"	3' - 0"	New Construction	3	Window-Fixed	NEW 36" x 59"	
2nd Level								
W16	3' - 0"	4' - 10"	2' - 2"	New Construction	4	Window-Double-Hung	NEW 36"x52"	
W20	3' - 0"	3' - 0"	3' - 0"	New Construction	6	Window-Double-Hung	NEW 36"x36"	
W21	3' - 0"	3' - 0"	2' - 6"	New Construction	2	Window-Double-Hung	NEW 36"x36" 2	



2 Proposed - Rear Elevation
1/4" = 1'-0"

DOOR SCHEDULE - NEW CONSTRUCTION						
Type Mark	Width	Height	Phase Created	Phase Demolished	Cou nt	Family

Basement						
D01	8' - 0"	5' - 10"	Existing	None	2	Door-Garage-Embossed_Panel
D02	5' - 0"	6' - 8"	Existing	None	1	Door-Interior-Double-Flush-Wood

1st Level						
D02	5' - 0"	6' - 8"	Existing	New Construction	1	Door-Interior-Double-Flush-Wood
D03	3' - 0"	7' - 0"	Existing	None	1	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad
D04	5' - 4"	6' - 8"	Existing	None	1	Door-Exterior-Double-Full Glass-Wood_Clad
D05	2' - 0"	6' - 8"	Existing	New Construction	2	Door-Interior-Single-1_Panel-Wood
D06	2' - 6"	6' - 8"	Existing	New Construction	8	Door-Interior-Single-1_Panel-Wood
D07	2' - 8"	6' - 8"	Existing	None	1	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad
D10	2' - 4"	6' - 8"	New Construction	None	2	Door-Interior-Single-1_Panel-Wood
D11	2' - 6"	6' - 8"	New Construction	None	4	Door-Interior-Single-1_Panel-Wood
D14	2' - 6"	6' - 8"	Existing	None	1	Door-Interior-Single-1_Panel-Wood
D15	8' - 6"	6' - 1"	New Construction	None	2	Door-Garage-Embossed_Panel
D16	2' - 8"	6' - 8"	New Construction	None	1	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad
D17	6' - 0"	6' - 8"	New Construction	None	1	DR_EXTERNAL_SLIDING_2lf

2nd Level						
D06	2' - 6"	6' - 8"	Existing	New Construction	8	Door-Interior-Single-1_Panel-Wood
D08	5' - 0"	6' - 8"	Existing	New Construction	2	Sliding-Closet
D09	4' - 0"	6' - 8"	Existing	New Construction	1	Sliding-Closet
D11	2' - 6"	6' - 8"	New Construction	None	8	Door-Interior-Single-1_Panel-Wood
D12	6' - 0"	6' - 8"	New Construction	None	3	Sliding-Closet
D13	1' - 8"	6' - 8"	New Construction	None	1	Door-Interior-Single-1_Panel-Wood

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STAMP

PROJECT INDEX		-
DATE	02/17/2023	
DRAWN BY	Natalia B	
SCALE	1/4" = 1'-0"	

REVISIONS		
No.	Description	Date

Elevations &
Schedules

A-202



PROJECT NAME
165 Lumber St

ADDRESS
165 Lumber St -
Hopkinton, MA

CLIENT
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NOTES

STAMP

PROJECT INDEX
-

DATE
02/17/2023

DRAWN BY
Natalia B

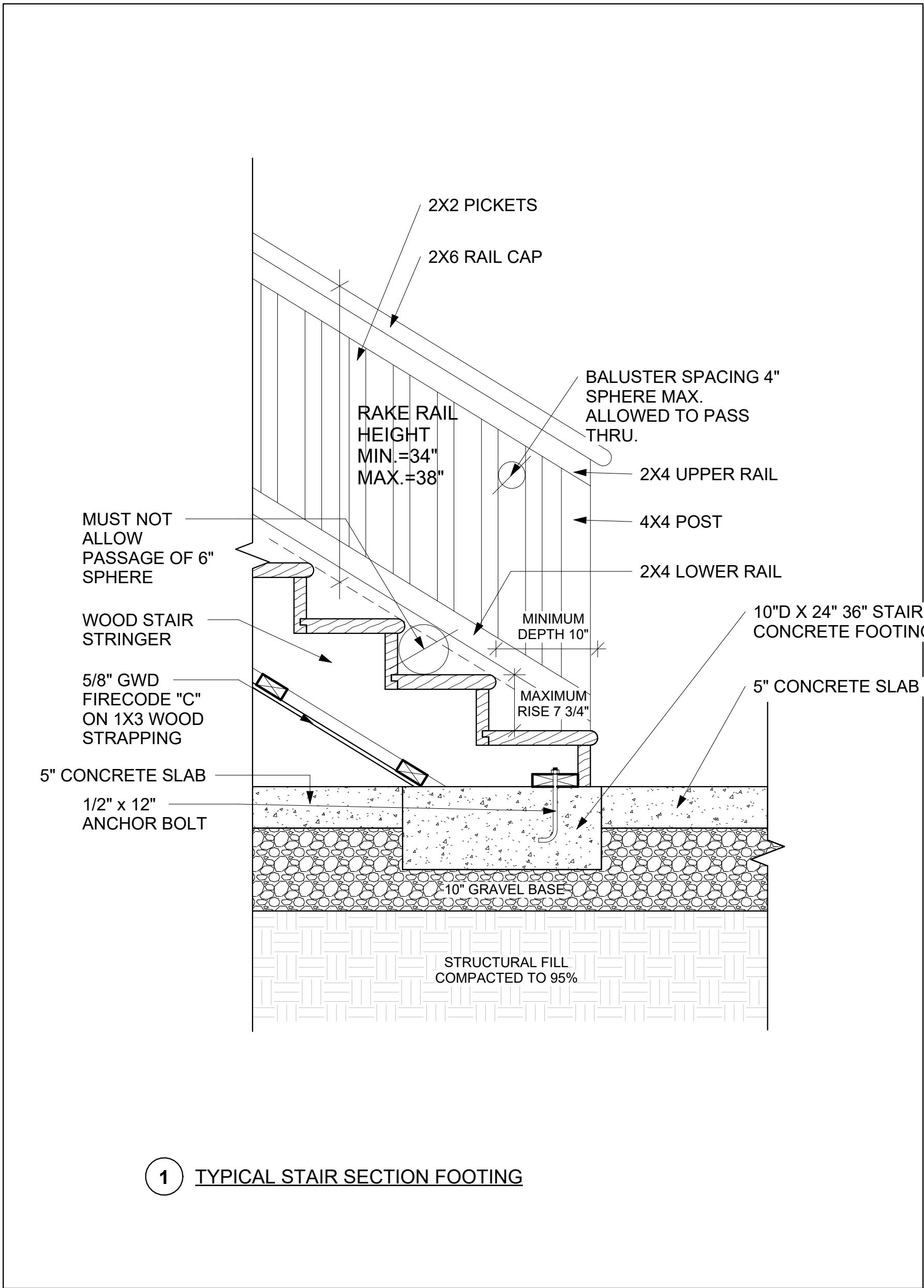
SCALE

REVISIONS

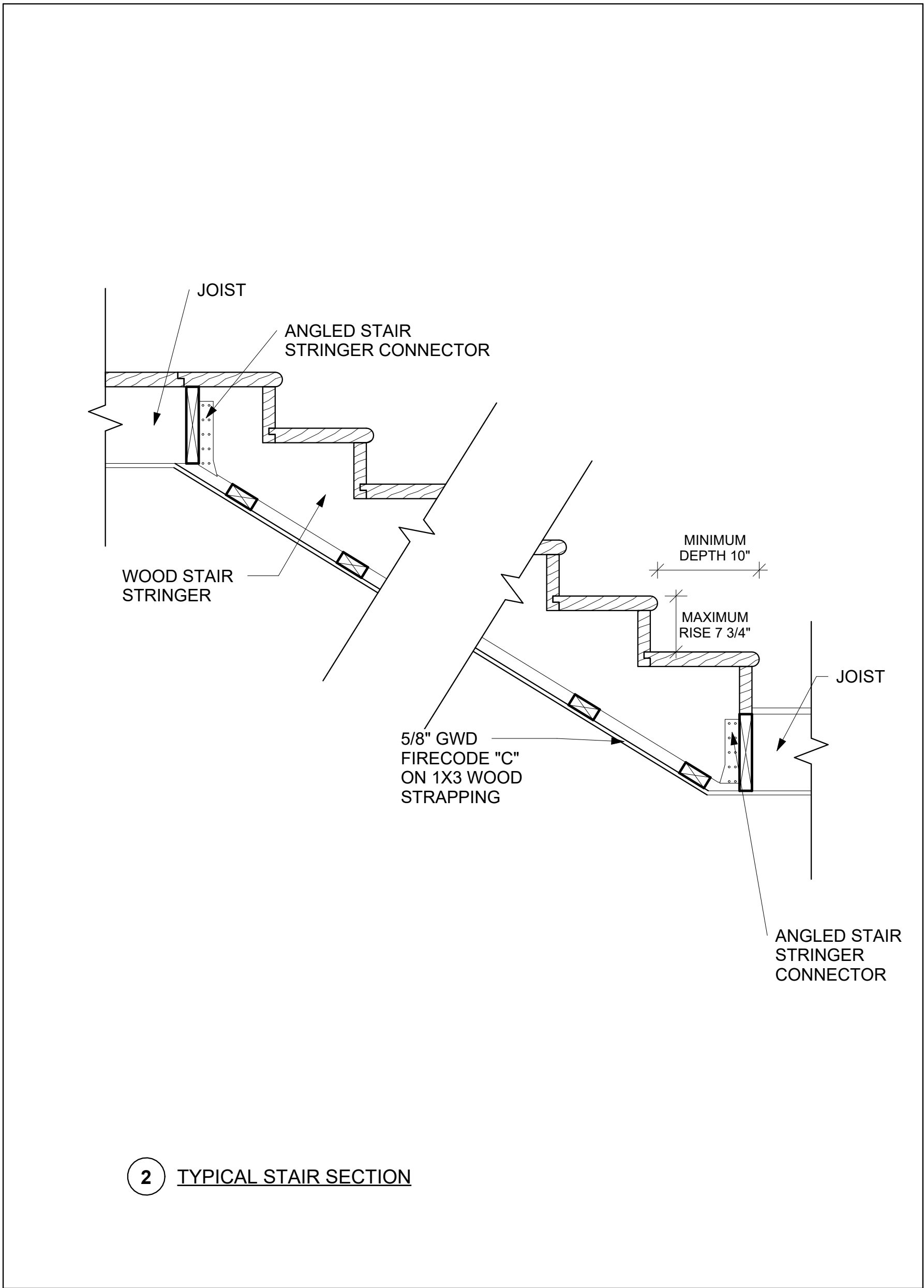
No.	Description	Date

3D View

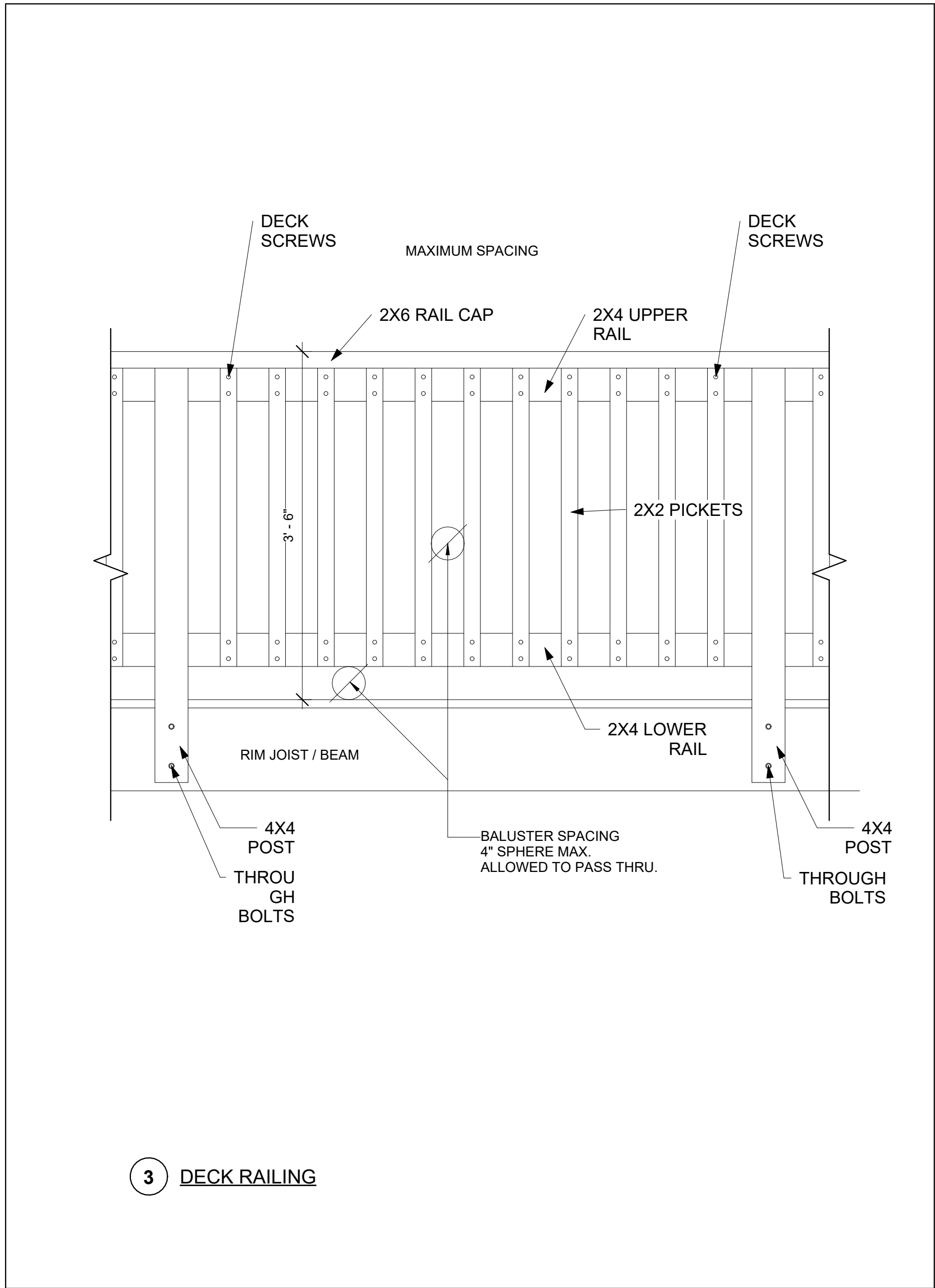
A-301



1 TYPICAL STAIR SECTION FOOTING



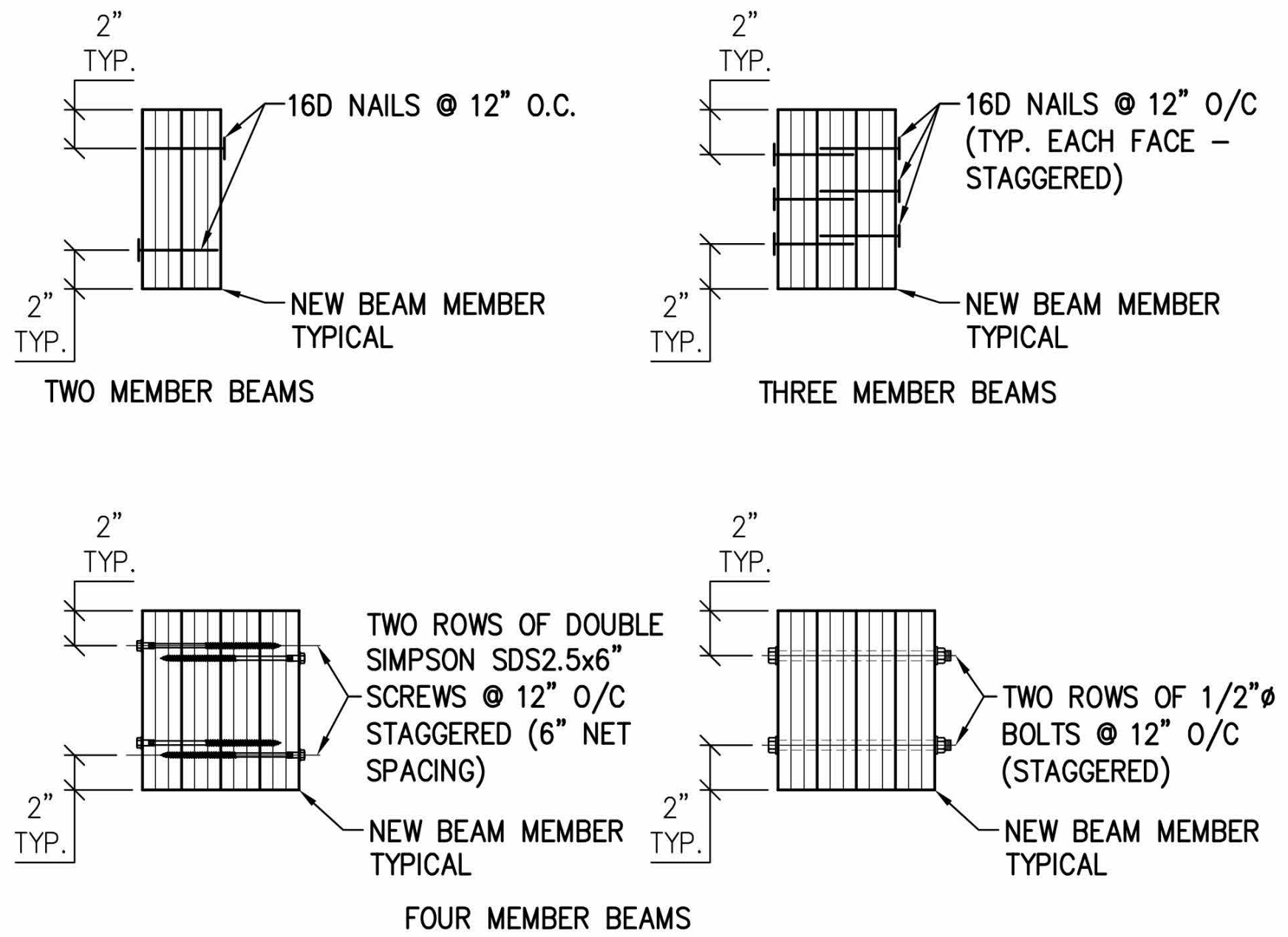
2 TYPICAL STAIR SECTION



3 DECK RAILING

FLOOR FRAMING NOTES:

1. REFER TO ARCHITECTURAL DRAWINGS FOR WALL LOCATIONS, OPENING LOCATIONS, AND DIMENSIONS.
2. BRIDGING: PROVIDE 1X3 SPF LUMBER X-BRIDGING OR SOLID FULL-DEPTH 2X BRIDGING, ONE AT MID-SPAN FOR SPANS UP TO 16 FEET AND TWO EQUALLY SPACED ROWS FOR SPANS OVER 16 FEET.
3. PROVIDE SOLID FULL-DEPTH BLOCKING BETWEEN FLOOR JOISTS UNDER ALL POINT LOADS AND AT BEARING WALLS. PROVIDE SQUASH BLOCKING BETWEEN OR NEXT TO FLOOR JOISTS UNDER ANY DOUBLE JACK (1 KING STUD & 2 JACKS) OR GREATER POINT LOAD CONDITION AT EXTERIOR WALLS.
4. FLOOR SHEATHING (SUBFLOOR) SHALL BE APA RATED PLYWOOD SHEATHING, EXPOSURE 1 GRADE, SPAN RATING NOT LESS THAN 48/24, THICKNESS NOT LESS THAN 3/4". ORIENT FACE GRAIN PERPENDICULAR TO FLOOR FRAMING. FASTEN SHEATHING TO EACH FRAMING MEMBER USING STRUCTURAL ADHESIVE GLUE AND NAILS AT A MAXIMUM SPACING OF 6 INCHES ALONG THE EDGES OF THE SHEATHING AND A MAXIMUM OF 6 INCHES ALONG INTERMEDIATE SUPPORTS.
5. ALL EXTERIOR WALL AND SHEAR WALL SHEATHING SHALL BE APARATED PLYWOOD SHEATHING ON ONE SIDE OF WALL, EXPOSURE 1 GRADE, SPAN RATING NOT LESS THAN 32/16, THICKNESS NOT LESS THAN 1/2". NAIL 4 INCHES ON-CENTER ALONG PANEL EDGES AND 12 INCHES ON-CENTER AT INTERMEDIATE SUPPORTS WITH 8d COMMON NAILS.
6. PROVIDE LUMBER BLOCKING AT ALL UNSUPPORTED PLYWOOD WALL PANEL EDGES.



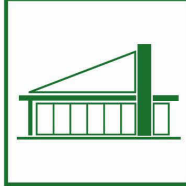
TYPICAL NAILING DETAILS FOR BUILT UP BEAMS
SCALE: NOT TO SCALE

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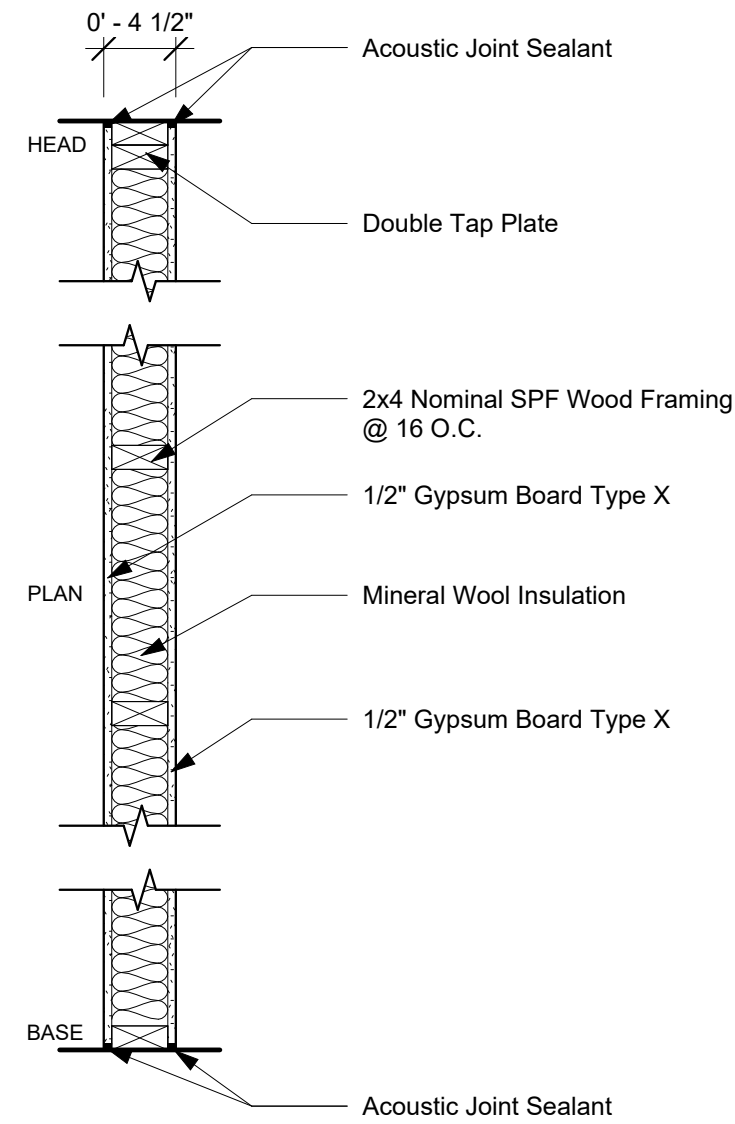
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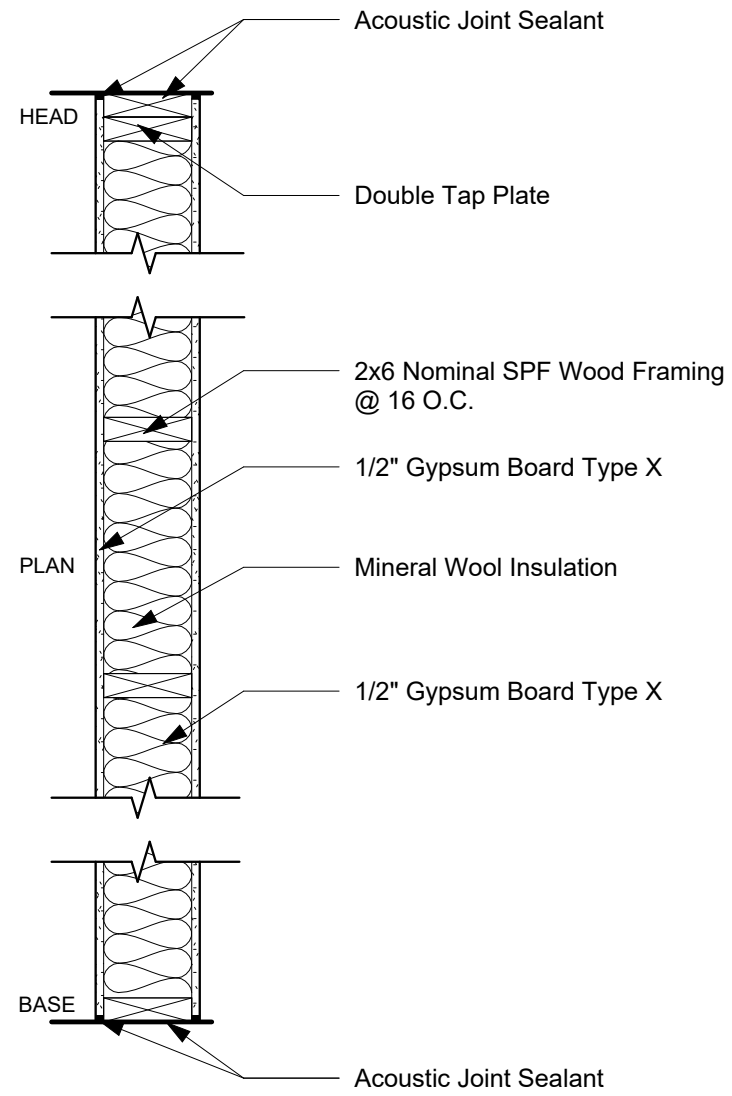
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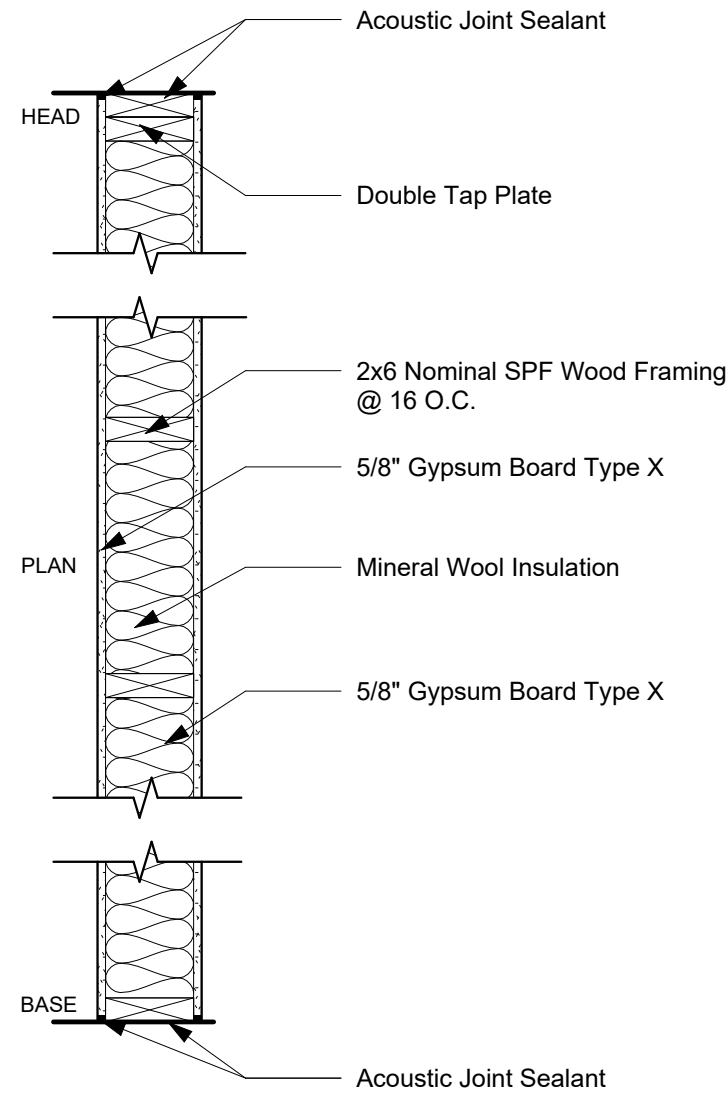
Structural Detailing



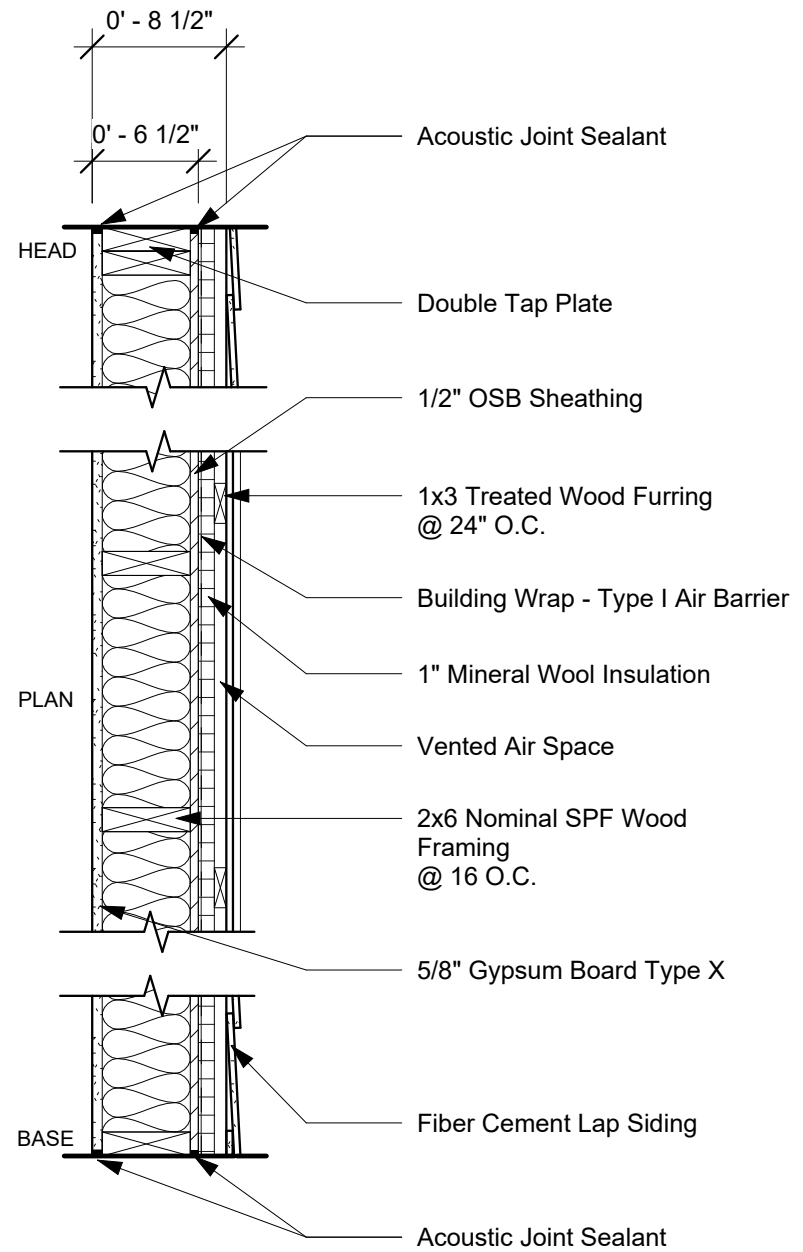
IN1 TYPICAL INTERIOR WALL 2x4



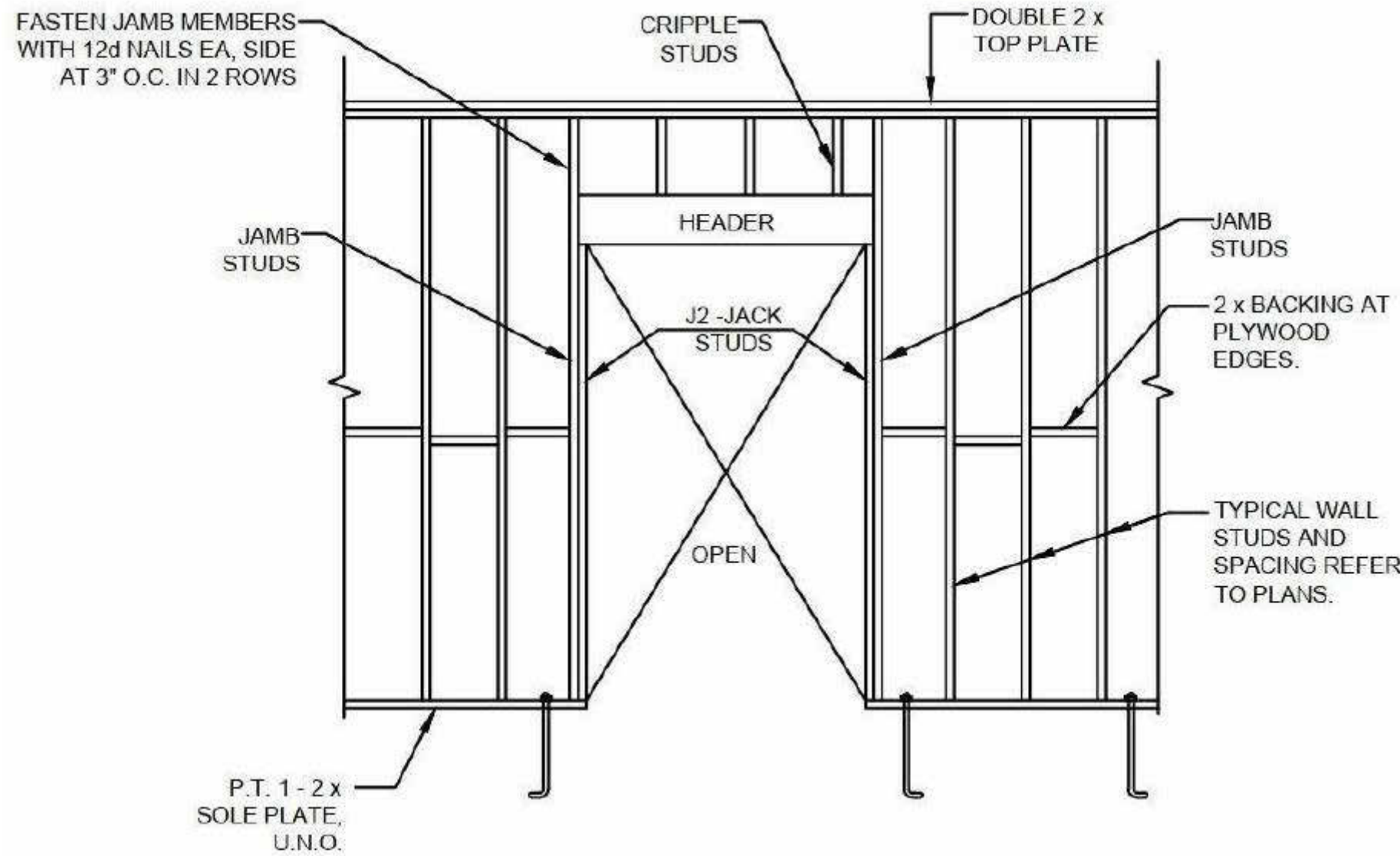
IN2 TYPICAL INTERIOR WALL 2x6



IN3 TYPICAL INTERIOR FIRE RATED WALL 2x6

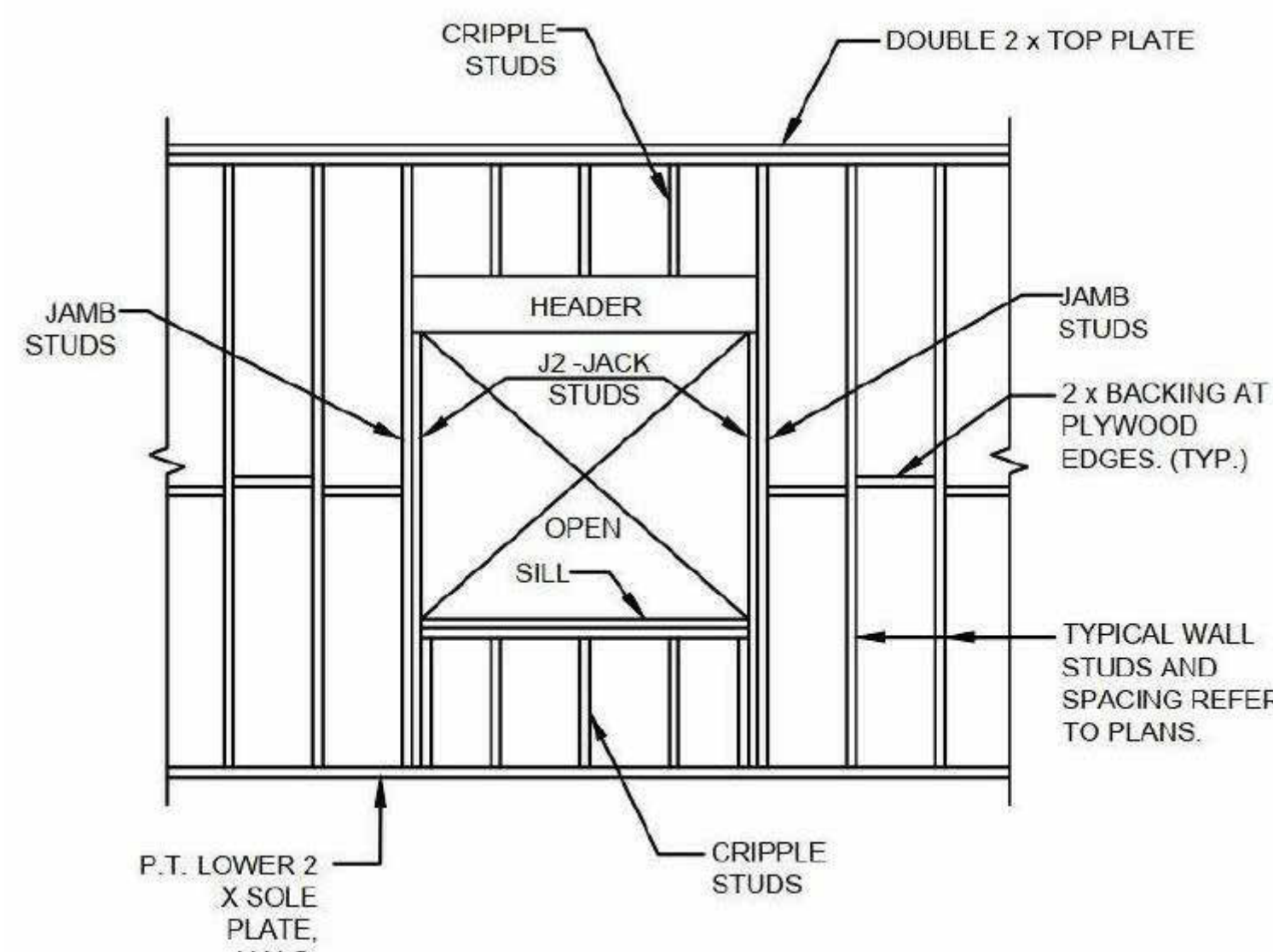


E1 TYPICAL EXTERIOR WALL - LAP SIDING



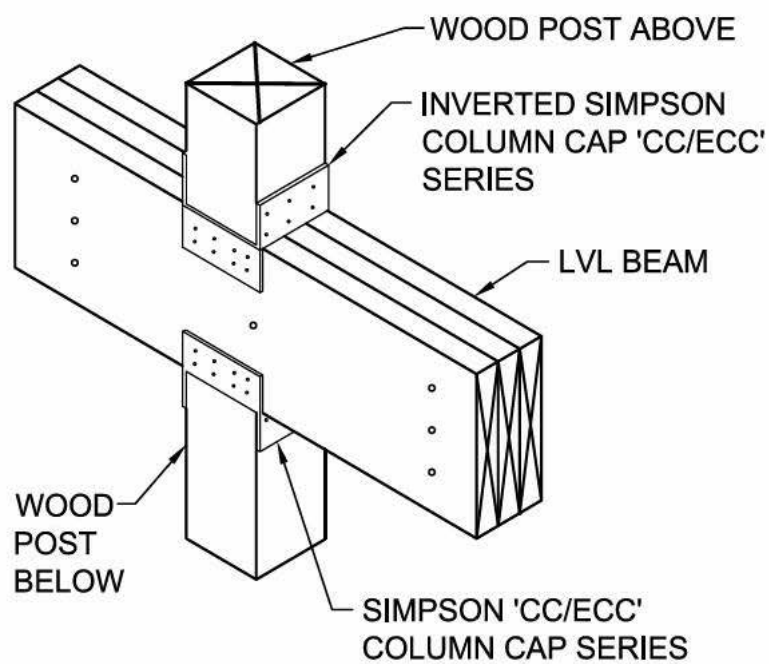
NOTES:

1. REFER TO HEADER SCHEDULE FOR HEADER, JACK, AND JAMB SIZES.
2. REFER TO ARCHITECTURAL DRAWINGS FOR SIZE AND LOCATION OPENINGS.
3. FOR ANCHOR BOLT SIZE AND SPACING REFER TO NOTES AND SECTIONS.

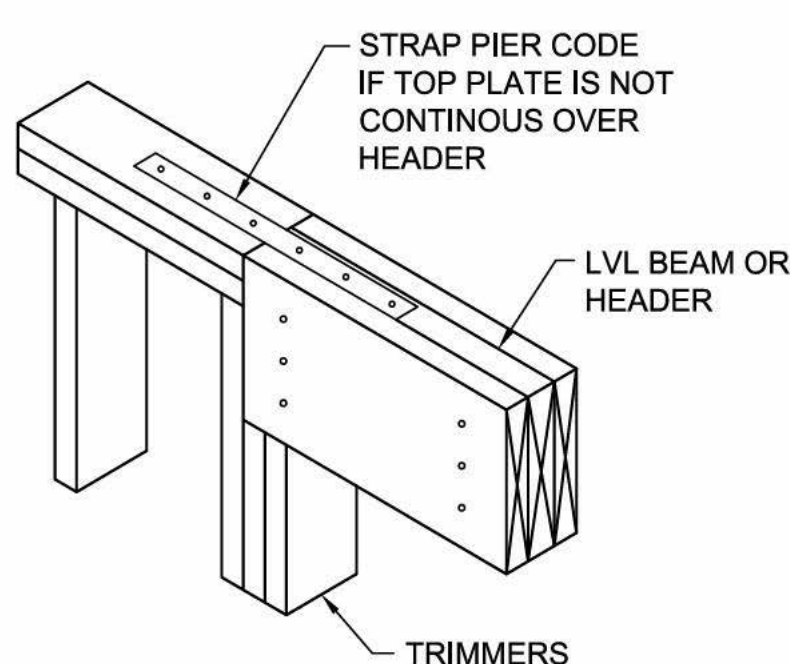


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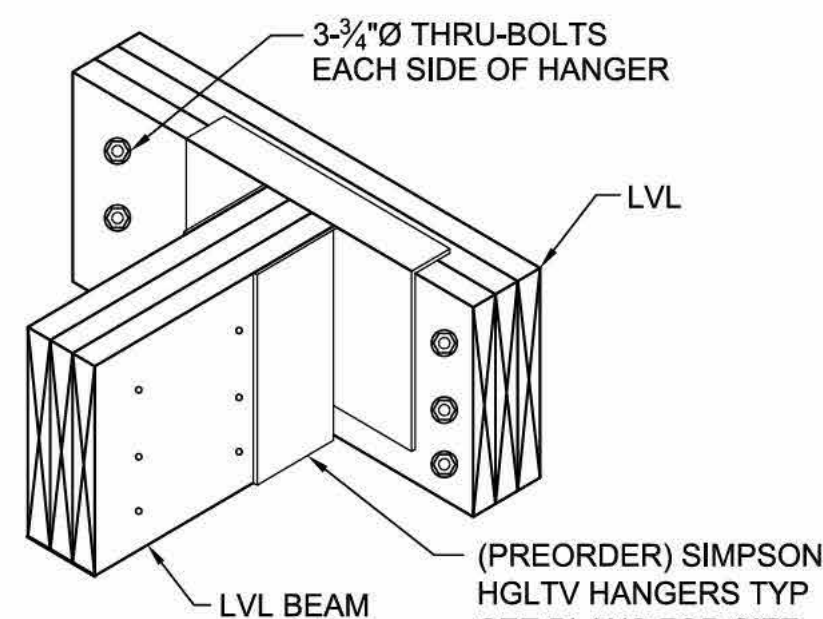
1. HEADER, JACK AND JAMB SIZE AND NUMBER REFER TO HEADER SCHEDULE.



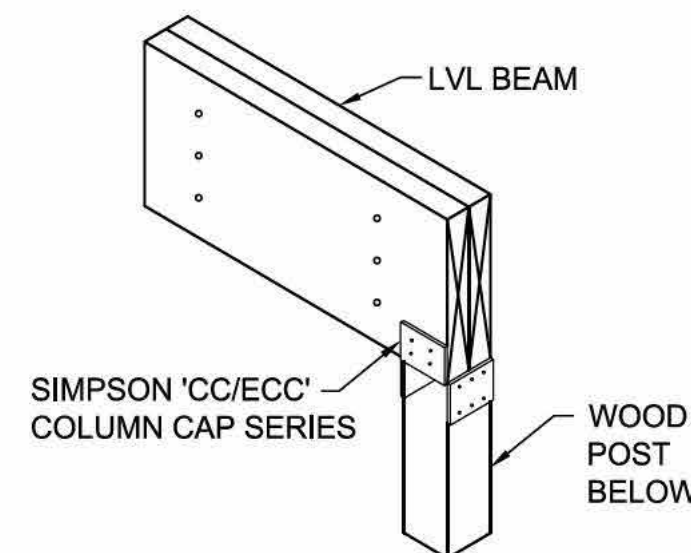
END BEARING DETAIL @LVL (REQUIRED)



END BEARING DETAIL @LVL



LVL INTERSECTION



END POST DETAIL @LVL BEAM (REQUIRED)

FIRE PARTITIONS BY TYPE, LOCATION AND RATINGS FOR THIS PROJECT:

BEARING EXTERIOR WALLS: COMBUSTIBLE CONSTRUCTION WITH ONE HOUR FIRE RATINGS AS REQUIRED FOR TYPE VA CONSTRUCTION. ALL EXTERIOR WALLS ARE BEARING.

INTERIOR BEARING WALLS, COLUMNS AND BEAMS: COMBUSTIBLE MATERIALS WITH ONE-HOUR FIRE RATINGS AS REQUIRED FOR TYPE VA CONSTRUCTION EXCEPT WHEN SUPPORTING HIGHER RATED COMPONENTS SUCH AS TWO HOUR RATED STAIR ENCLOSURES.

INTERIOR FLOOR ASSEMBLIES: COMBUSTIBLE WITH ONE-HOUR FIRE RATINGS AS REQUIRED FOR TYPE VA CONSTRUCTION EXCEPT WHEN SUPPORTING HIGHER RATED COMPONENTS SUCH AS TWO HOUR RATED STAIR ENCLOSURES.

ROOF ASSEMBLY: COMBUSTIBLE MATERIALS WITH ONE-HOUR FIRE RATING AS REQUIRED FOR TYPE VA CONSTRUCTION.

SHAFT AND STAIRS ENCLOSURES: CONNECTING FOUR OR MORE FLOORS. THIS APPLIES TO THE TRASH CHUTE, ALL STAIRS AND THE ELEVATORS. THE SUPPORTING CONSTRUCTION FOR TWO-HOUR FIRE BARRIERS WOULD ALSO BE REQUIRED TO HAVE A TWO-HOUR RATING.

WHEN FLOOR ASSEMBLY PENETRATIONS ARE REQUIRED FOR DUCTS: IN ADDITION TO OTHER REQUIREMENT CALLING FOR CERTIFIED AND LISTED RADIANCE DAMPERS IN CEILINGS, PROVIDE ANNULAR SPACE PROTECTION AROUND DUCTS THAT PENETRATE NOT MORE THAN ONE RATED FLOOR ASSEMBLY WITH AN APPROVED NONCOMBUSTIBLE MATERIAL THAT RESISTS THE FREE PASSAGE OF LAME AND PRODUCTS OF COMBUSTION AND PROVIDE A FIRE DAMPER AT THE PLANE OF THE FLOOR ASSEMBLY PENETRATED.

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