



GOLD SHIELD INSPECTIONS

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## INSPECTION REPORT

490 Alpine St  
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Amy & Scott McClure

05/28/2026



Inspector

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**Brent & Sara Thumma (319)481-9272**

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# 1: INSPECTION DETAILS

## Information

### Occupancy

Occupied

### Home Faces

West

### Temperature during inspection

Over 65(F)=18(C)

**Significant precipitation in last 3 days**  
Yes

**Type of building**  
Single Family (2 story)

### Gold Shield Inspections



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### Inspection Report Definitions

#### 1. Apparent Condition: Systems and components are rated as follows:

- INSPECTED (IN)** Indicates that the component is functionally consistent with its original purpose but may show signs of normal wear and tear, and deterioration.
- Limited Inspection (LI)** Indicates that the component or system was not fully available to be inspected. Only a partial inspection could be completed.
- MARGINAL (MA)** These items will fall under normal lower cost home maintenance items. Indicates the component could require maintenance or replacement within 5 years.
- MATERIAL DEFECT (MD)** is a specific issue with a system or component of a residential property that may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people. The fact that a system or component is near, at, or beyond the end of its normal, useful life is not, in itself, a material defect.
- SAFETY HAZARD (SH)** Denotes a condition that is unsafe and in need of prompt attention.

**2. Installed systems and components:** structural components, exterior, interior, roofing, plumbing, electrical, heating, central air-conditioning (weather permitting); insulation and ventilation.

**3. Readily accessible systems and components:** Only those systems and components where the inspector is not required to remove personal items, furniture, equipment, soil, snow, or other items which obstruct access or visibility.

**4. Any component not listed as being deficient in some manner is assumed to be satisfactory**

## Important Information / Limitations: Inspection Overview

Gold Shield Inspections strives to perform all inspections in substantial compliance with the Standards of Practice as set forth by InterNACHI. As such, we inspect the readily accessible, visually observable, installed systems and components of the home as designated in these Standards of Practice. When systems or components designated in the Standards of Practice were present but were not inspected, the reason(s) the item was not inspected will be stated. This inspection is neither technically exhaustive or quantitative.

There may be comments made in this report that exceed the required reporting of the InterNACHI Standards of Practice, these comments (if present) were made as a courtesy to give you as much information as possible about the home. Exceeding the Standards of Practice will only happen when I feel I have the experience, knowledge, or evidence to do so. There should be no expectation that the Standards of Practice will be exceeded throughout the inspection, and any comments made that do exceed the standards will be followed by a recommendation for further evaluation and repairs by applicable tradespeople.

This report contains observations of those systems and components that, in my professional judgement, were not functioning properly, significantly deficient, or unsafe. **All items in this report that were designated for repair, replacement, maintenance, or further evaluation should be investigated by qualified tradespeople within the clients contingency period**, to determine a total cost of said repairs and to learn of any additional problems that may be present during these evaluations that were not visible during a "visual only" Home Inspection.

This inspection is not equal to extended day-to-day exposure and will not reveal every concern or issue that may be present, but only those significant defects that were accessible and visible at the time of inspection. This inspection can not predict future conditions, or determine if latent or concealed defects are present. The statements made in this report reflect the conditions as **existing at the time of inspection only**, and expire at the completion of the inspection. The limit of liability of Gold Shield Inspections and its employees, officers, etc. does not extend beyond the day the inspection was performed. As time and differing weather conditions may reveal deficiencies that were not present at the time of inspection, including but not limited to: roof leaks, water infiltration into crawl spaces or basements, leaks beneath sinks, tubs, and toilets, water running at toilets, the walls, doors, and flooring, may be damaged during moving, etc. Refer to the Inspection agreement regarding the scope and limitations of this inspection.

This inspection is **NOT** intended to be considered as a **GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, regarding the operation, function, or future reliability of the home and its components. AND IT SHOULD NOT BE RELIED ON AS SUCH.** This report is only supplemental to the Sellers Disclosure and Pest (WDI) Inspection Report and should be used alongside these documents, along with quotes and advice from the tradespeople recommended in this report to gain a better understanding of the condition of the home and expected repair costs. Some risk is always involved when purchasing a property and unexpected repairs should be anticipated, as this is unfortunately, a part of home ownership. One Year Home Warranties are sometimes provided by the sellers, and are **highly recommended** as they may cover future repairs on major items and components of the home. If a warranty is not being provided by the seller(s), your Realtor can advise you of companies who offer them.

## Important Information / Limitations: Notice to Third Parties

**Notice to Third Parties:** This report is the property of Gold Shield Inspections and is Copyrighted as of 2018. The Client(s) and their Direct Real Estate Representative named herein have been named as licensee(s) of this document. This document is non-transferrable, in whole or in part, to any and all third-parties, including; subsequent buyers, sellers, and listing agents. Copying and pasting deficiencies to prepare the repair request is permitted. **THE INFORMATION IN THIS REPORT SHALL NOT BE RELIED UPON BY ANY ONE OTHER THAN THE CLIENT NAMED HEREIN.** This report is governed by an Inspection agreement that contained the scope of the inspection, including limitations, exclusions, and conditions of the copyright. Unauthorized recipients are advised to contact a qualified Home Inspector of their choosing to provide them with their own Inspection and Report.

## Important Information / Limitations: Items Not Inspected and Other Limitations

**ITEMS NOT INSPECTED** - There are items that are not inspected in a home inspection such as, but not limited to; fences and gates, pools and spas, outbuildings or any other detached structure, refrigerators, washers / dryers, storm doors and storm windows, screens, window AC units, gas furnace heat exchangers, central vacuum systems, water softeners, alarm and intercom systems, and any item that is not a permanent attached component of the home. Also drop ceiling tiles are not removed, as they are easily damaged, and this is a non-invasive inspection. Subterranean systems are also excluded, such as but not limited to: sewer lines, septic tanks, water delivery systems, and underground fuel storage tanks.

Water and gas shut off valves are not operated under any circumstances. As well, any component or appliance that is unplugged or "shut off" is not turned on or connected for the sake of evaluation. I don't have knowledge of why a component may be shut down, and can't be liable for damages that may result from activating said components/appliances.

Also not reported on are the causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; The insurability of the structure or any of its items or components, Any component or system that was not observed; Calculate the strength, adequacy, design, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility.

## Important Information / Limitations: Thermal Imaging Information

**THERMAL IMAGING:** An infrared camera may be used for specific areas or visual problems, and should not be viewed as a full thermal scan of the entire home. Additional services are available at additional costs and would be supplemented by an additional agreement/addendum. Temperature readings displayed on thermal images in this report are included as a courtesy and should not be wholly relied upon as a home inspection is qualitative, not quantitative. These values can vary +/- 4% or more of displayed readings, and these values will display surface temperatures when air temperature readings would actually need to be conducted on some items which is beyond the scope of a home inspection. If a full thermal scan of the home is desired, please reach out to me schedule this service.

## Important Information / Limitations: Other Notes - Important Info

**INACCESSIBLE AREAS:** In the report, there may be specific references to areas and items that were inaccessible or only partly accessible. I can make no representations regarding conditions that may be present in these areas that were concealed or inaccessible for review. With access and an opportunity for inspection, reportable conditions or hidden damage may be found in these areas.

**QUALITATIVE vs QUANTITATIVE:** A home inspection is not quantitative, when multiple or similar parts of a system, item, or component are found to have a deficiency, the deficiency will be noted in a qualitative manner such as "multiple present" etc. A quantitative number of deficient parts, pieces, or items will not be given as the repairing contractor will need to evaluate and ascertain the full amount or extent of the deficiency or damage. This is not a technically exhaustive inspection.

**REPAIRS VERSUS UPGRADES:** I inspect homes to today's safety and building standards. Therefore some recommendations made in this report may have not been required when the home was constructed. Building standards change and are improved for the safety and benefit of the occupants of the home and any repairs and/or upgrades mentioned should be considered for safety, performance, and the longevity of the homes items and components. Although, I will address some recommended upgrades in the report, this should not be construed as a full listing of items that could potentially be upgraded. To learn of ALL the ways the home could be brought up to today's building and safety standards, full and exhaustive evaluations should be conducted by qualified tradespeople.

**COMPONENT LIFE EXPECTANCY:** Components may be listed as having no deficiencies at the time of inspection, but may fail at any time due to their age or lack of maintenance, that couldn't be determined by the inspector. A life expectancy chart is attached to your inspection page.

**PHOTOGRAPHS:** Several photos are included in your inspection report. These photos are for informational purposes only and do not attempt to show every instance or occurrence of a defect.

**TYPOGRAPHICAL ERRORS:** This report is proofread before sending it out, but typographical errors may be present. If any errors are noticed, please feel free to contact me for clarification.

**Please acknowledge to me once you have completed reading this report. At that time I will be happy to answer any questions you may have, or provide clarification. Non-acknowledgement implies that you understood all information contained in this report.**

## 2: ROOF SYSTEMS

		IN	LI	MA	MD	SC
2.1	General Overview and Limitations of Roof Inspection	X	X			
2.2	Roof Structure/Covering	X	X	X		
2.3	Roof penetration	X	X			
2.4	Roof Flashing	X	X			
2.5	Roof Drainage System	X		X		

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

### Information

#### General Overview and Limitations of Roof Inspection: Inspection Method

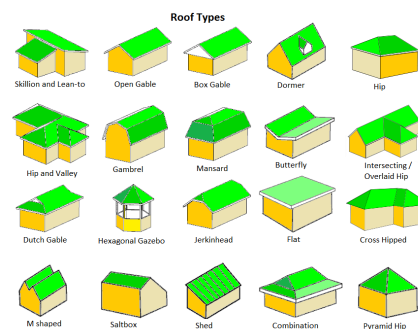
Ground, Ladder, Roof

#### General Overview and Limitations of Roof Inspection: Primary roof-covering

Architectural Fiberglass Asphalt Shingle, EPDM (rubber) Membrane, Older terne/tin-style metal roofing with applied asphalt coating

#### General Overview and Limitations of Roof Inspection: Roof Style

Combination



#### General Overview and Limitations of Roof Inspection: Homeowner's Responsibility

Your job as the homeowner is to monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

## General Overview and Limitations of Roof Inspection: Approximate Roof Covering Age

20-25

Your inspector will use a combination of experience, knowledge of roofing materials, and specific signs of wear and tear to approximate the age of an asphalt shingle roof. Here's how a professional would go about it:

1. **Type of Shingle**: Knowing the typical lifespan of various types of asphalt shingles can provide a starting point. For example:
  - **3-tab shingles**: Typically last 20-25 years.
  - **Architectural shingles**: Can last 30 years or more.
  - **Premium shingles**: Some can last up to 50 years.
2. **Shingle Condition**:
  - **Granule Loss**: A significant loss of the granular surface on the shingle can indicate age.
  - **Curling and Cupping**: The edges of older shingles often curl upwards or the middle may bubble up.
  - **Cracking**: As shingles age, they become more brittle and may develop cracks.
  - **Bald Spots**: Older shingles might have large areas where granules are missing.
  - **Edges**: Frayed or deteriorated edges can indicate significant wear and age.
3. **Pattern of Wear**: How the shingles are wearing can give clues. For instance, if only the shingles on one side of a roof or in one area are showing wear, it might be due to external factors like overhanging trees or poor ventilation, rather than age.
4. **Moss and Algae Growth**: While this can occur on newer roofs in damp climates or shaded areas, significant growth often indicates an older roof.
5. **Underlayment and Decking Condition**: If the professional has access to inspect the underlayment or decking, they can also get clues about the roof's age. Older roofs might have felt underlayment, while newer ones might use synthetic materials.
6. **Flashing and Sealants**: The condition of flashing around vents, chimneys, and other roof penetrations can give hints. Older, corroded, or damaged flashing may indicate an older roof. Sealants that are brittle, missing, or deteriorated can also be a sign of age.
7. **Past Repairs**: Multiple layers of shingles, mismatched shingles, or evidence of numerous patches can indicate an older roof or one that's had significant issues.

Given all the above factors, a seasoned professional can often give a reasonably accurate estimate of the age of an asphalt shingle roof through visual inspection. This is an estimate based off the inspectors experience.

## Roof Structure/Covering: Asphalt Shingle Disclaimer

Asphalt composition shingles come in a wide variety of types, brands, and models, each with manufacturer-specific installation requirements that may differ, even among shingles with a similar appearance. Additionally, critical components such as underlayment cannot be visually confirmed once the shingles are installed, and fasteners cannot be inspected without disturbing the adhesive strips that are essential for wind resistance. Due to these limitations, the Inspector disclaims responsibility for verifying proper installation of asphalt shingles.

## Roof Structure/Covering: Keep Tree Overhang Off Roofing Material

Tree branches overhanging the roof can drop limbs and other debris which can damage roof coverings, greatly reducing their durability and overall lifespan. Fallen leaves clog gutters and downspouts and trap moisture against the roof, which can lead to leaks, mold, and deterioration.

## Roof Structure/Covering: Sheathing, Moderate Weakness

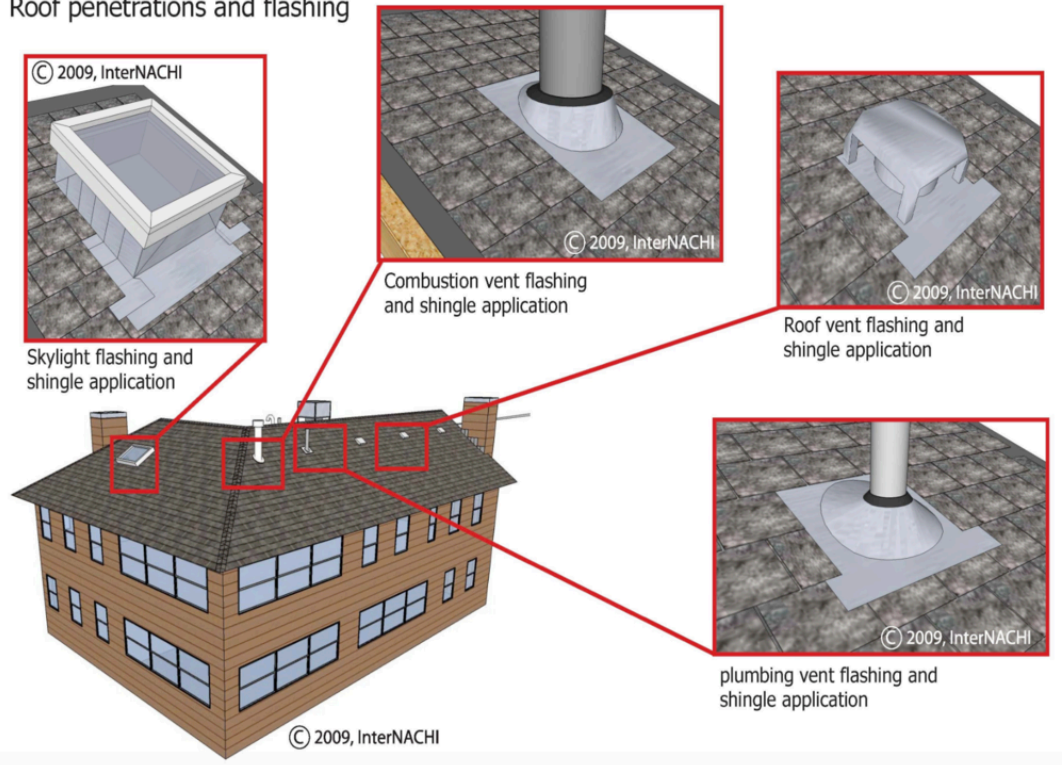
While walking the roof, areas of moderate weakness in the sheathing were observed, though no critical weakness was noted. Moderate sheathing deflection can be common due to factors such as age-related wood degradation, minor water intrusion, or the use of thinner or less rigid materials during original construction. While these areas did not indicate immediate structural concerns, recommend monitoring the roof for further signs of deterioration and consulting a roofing professional if additional concerns develop.

### Roof penetration: Homeowner's Responsibility

Your job is to monitor the flashing around the plumbing vent pipes that pass through the roof surface. Sometimes they deteriorate and cause a roof leak.

Be sure that the plumbing vent pipes do not get covered, either by debris, a toy, or snow.

#### Roof penetrations and flashing

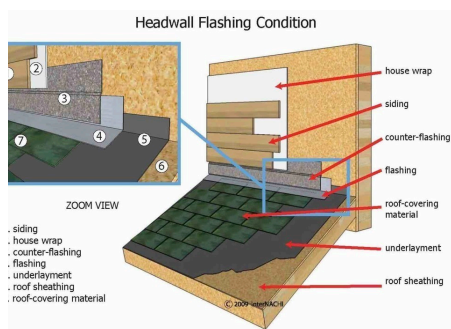


### Roof Flashing: Eaves and Gables

I looked for flashing installed at the eaves (near the gutter edge) and at the gables (the diagonal edge of the roof). There should be metal drip flashing material installed in these locations. The flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.

### Roof Flashing: Wall Intersections

I looked for flashing where the roof covering meets a wall or siding material. There should be step and counter flashing installed in these locations. This is not an exhaustive inspection of all flashing areas.



### Roof Drainage System: Homeowner's Responsibility

Your job is to monitor the gutters and be sure that they function during and after a rainstorm. Look for loose parts, sagging gutter ends, and water leaks. The rain water should be diverted at least 4'-6' away from the house foundation/slab.

## Limitations

## General Overview and Limitations of Roof Inspection

### LIMITED ROOF INSPECTION, STEEP SLOPE

The roof inspection was limited due to the steep slope, which restricted safe access to the surface. A visual inspection was conducted from the ground, accessible vantage points, or with the aid of binoculars. While efforts were made to assess visible areas, detailed evaluation of the roof's condition and components may require inspection by a qualified roofing professional equipped to safely access steep-sloped roofs.

## Roof Flashing

### DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

## Deficiency

### 2.2.1 Roof Structure/Covering



Maintenance or Low Priority

#### ASPHALT SHINGLES, SIGNIFICANT GRANULAR LOSS

During the inspection, significant granular loss was observed on the asphalt shingles. Granular loss typically results from prolonged exposure to the elements, such as UV radiation, wind, and rain. These granules are a critical component of the shingles, as they provide protection against UV degradation and enhance the roof's resistance to water infiltration.

The observed loss has left portions of the underlying asphalt exposed, which accelerates the deterioration of the shingles and compromises their ability to provide adequate weatherproofing. Over time, this condition can lead to water penetration, increased risk of leaks, and reduced lifespan of the roofing material.

It is recommended to consult a qualified roofing contractor to evaluate the extent of the granular loss. Based on the current condition, roof replacement should be anticipated within the next five years to maintain the integrity of the home and prevent potential water damage.

#### Recommendation

Contact a qualified roofing professional.

### 2.2.2 Roof Structure/Covering



Maintenance or Low Priority

#### ARCHITECTURAL ASPHALT SHINGLES, PAST MIDLIFE

Current installation appears to be between 15 to 20 years old. I would expect replacement in the next 5 to 10 years.

**"Mid-life"** on an architectural shingle roof refers to the period during which the roof has reached approximately half of its expected lifespan. Architectural shingles, also known as laminated or dimensional shingles, are a popular roofing material known for their durability, aesthetic appeal, and longer lifespan compared to traditional 3-tab shingles. Typically, architectural shingles have a lifespan of 25 to 35 years, depending on factors such as the quality of materials, installation, climate, and maintenance.

During the mid-life phase, which usually occurs around 12 to 18 years after installation, the shingles may still be in relatively good condition, but some signs of aging and wear may begin to appear. This is a crucial stage in the roof's lifecycle, as it presents an opportunity for homeowners to assess the roof's overall condition and address any issues before they lead to more significant damage.

**Key indicators that a roof is reaching its mid-life stage include:**

1. **Granule loss:** Granules on the shingle surface protect the asphalt layer from UV radiation and help maintain the roof's aesthetic appeal. Over time, granules may begin to wear away, exposing the underlying asphalt to the elements.
2. **Curling or cupping shingles:** As shingles age, they may start to curl or cup at the edges, which can lead to potential water intrusion and damage.
3. **Minor cracking:** Small cracks may begin to form on the shingle surface as a result of temperature fluctuations and weathering. While not a significant concern in the mid-life stage, these cracks may worsen over time, potentially leading to leaks or other issues.
4. **Fading or discoloration:** Exposure to sunlight, weather, and other environmental factors can cause the color of shingles to fade or become discolored over time.

During the mid-life phase, homeowners should consider scheduling regular roof inspections and maintenance to ensure the longevity of their architectural shingle roof. Addressing any issues promptly can help prevent more extensive damage and prolong the roof's overall lifespan.

Recommendation

Contact a qualified roofing professional.

### 2.5.1 Roof Drainage System



Maintenance or Low Priority

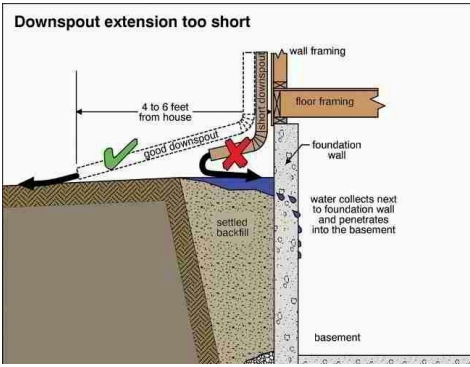
## **DRAINAGE SYSTEM HEALTH**

All downspouts should extend a minimum of 4-6' from the foundation or slab. Discharging near the foundation can affect the ability of the soil to support the weight of the structure above and can cause damage related to soil/foundation movement. Adding extensions can be a cheap way to avoid moisture issues in the future.

Also watch for downspouts that discharge along walkways or driveways. These areas can cause extra moisture to be pushed below the surface which can cause cracking and displacement. In Iowa our winters can also cause these discharge locations to freeze over and be a fall hazard.

Recommendation

Recommended DIY Project



# 3: EXTERIOR

		IN	LI	MA	MD	SC
3.1	General Overview and Limitations of Exterior Inspection	X				
3.2	Driveway	X				
3.3	Walkways	X				X
3.4	Exterior Doors	X		X		X
3.5	Exterior of Windows	X		X	X	X
3.6	Exterior Stairs	X				X
3.7	Exterior Electrical	X				
3.8	Exterior Plumbing	X				
3.9	Deck, Balcony, Bridge and Porch	X	X			
3.10	Dryer vent	X				
3.11	General Grounds	X		X	X	
3.12	Soffits Facia and Trim	X		X		
3.13	Patio	X				X
3.14	Wood Siding	X		X	X	
3.15	Retaining walls	X			X	
3.16	Brick exterior	X		X		

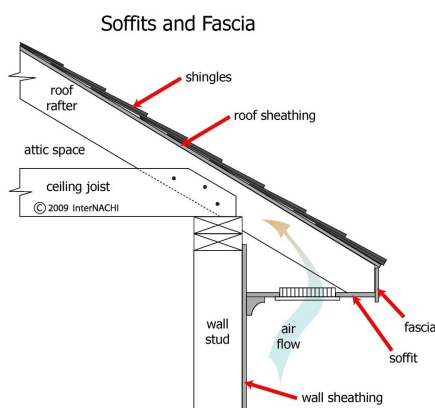
IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

**General Overview and Limitations of Exterior Inspection: Exterior Doors:**  
Metal, Wood

**General Overview and Limitations of Exterior Inspection: Exterior wall-covering Material**  
Brick, Horizontal Lapped Wood Siding

**Soffits Facia and Trim: Soffits and Fascia**



**Retaining walls: Photo documentation**



## General Overview and Limitations of Exterior Inspection: Homeowner's Responsibility

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

### Driveway: Driveway Sealant

Maintenance on joints found in the driveway. Sealants eventually dry, shrink and crack, creating an avenue for water to enter the soil under the driveway. Saturation of soil under the driveway can create a variety of problems depending on soil type. The Inspector recommends that the sealant at this joint be maintained as necessary to prevent water entry.

### Driveway: Common Cracks

Common cracks (1/4-inch or less) were visible in the driveway at the time of the inspection. Cracks exceeding inch should be filled with an appropriate sealant to avoid continued damage to the driveway surface from freezing moisture.

### Walkways: Common Cracks

Common cracks (1/4 inch or less) were visible in the sidewalk at the time of the inspection. Cracks exceeding inch should be patched with an appropriate sealant to avoid continued damage to the walkway surface from freezing moisture.

### Walkways: Maintain Walk/Wall Joint Sealant

The joint at which concrete walkways met the exterior walls was protected by a sealant. Sealants eventually dry, shrink and crack, creating an avenue for water to enter the soil next to the home foundation. Saturation of soil near the foundation can create a variety of problems depending on soil type. The Inspector recommends that the sealant at this joint be maintained as necessary to prevent water entry.

### Exterior of Windows: Window Maintenance for Homeowner

Inspect and repair window gaps: Make sure that there are no gaps between your trim and exterior siding or any other area along your windows and doors. You may need to apply new caulk or remove and replace the caulk along these lines. This should be checked yearly to ensure proper sealant.

### Exterior of Windows: Window Sealant

Window sealant should be removed and replaced every 5 years as part of a normal home maintenance plan.

## Limitations

---

Deck, Balcony, Bridge and Porch

### LIMITED INSPECTION, DUE TO BARRIER OR LOW CLEARANCE UNDER DECK

The deck inspection was limited due to a barrier or low clearance that restricted access to the attachment point to the home and the structure beneath the deck. As a result, the condition of the ledger board, support posts, beams, and other critical structural components could not be fully evaluated. Recommend removing obstructions or consulting a qualified contractor for a more thorough inspection to confirm the deck's stability and safety.

## Deficiency

---

## 3.3.1 Walkways



Safety Concern

**SIDEWALK, UNEVEN OR SUNKEN SECTIONS**

Uneven or sunken sections of the driveway were observed, which may pose tripping hazards and allow water pooling. Settlement or poor subgrade preparation are common causes. Recommend leveling the affected areas, such as through mudjacking or slab replacement.

## Recommendation

Contact a qualified concrete contractor.



## 3.4.1 Exterior Doors



Safety Concern

**EXTERIOR, EXTERIOR DOOR, MISSING LANDING AND SAFETY PROTECTION**

An exterior door was observed opening directly to a significant drop without a deck, landing, stairs, or other safe walking surface installed at the exterior side of the door. This condition presents a potential fall hazard for occupants or guests using the doorway. Until a permanent deck, landing, or stair system is installed, recommend installing an appropriate temporary safety barrier or guardrail system to help prevent accidental falls and improve safety at the opening.

## Recommendation

Contact a qualified professional.



## 3.5.1 Exterior of Windows



Safety Concern

**WINDOW, BROKEN PANE**

Window(s) shown in pictures below have broken/missing glass panes. This can allow moisture and pest entry into the home.

## Recommendation

Contact a qualified window repair/installation contractor.



## 3.5.2 Exterior of Windows



Maintenance or Low Priority

**WINDOW, MODERATE MOISTURE DAMAGE**

MAJORITY OF ALL WOODEN WINDOWS IN THE HOME HAVE SOME LEVEL OF MOISTURE DAMAGE

The wooden window(s) and their framing show signs of moderate damage from moisture. This happens over time if the exterior sealant is not maintained at all times. Some of these areas may require repair prior to the addition of sealant.

## Recommendation

Contact a qualified window repair/installation contractor.



## 3.5.3 Exterior of Windows



Material Defect

**WINDOW, SIGNIFICANT MOISTURE DAMAGE**

The wooden window(s) and their framing show signs of significant damage from moisture. This happens over time if the exterior sealant is not maintained at all times. Repair or replacement may be required.

## Recommendation

Contact a qualified window repair/installation contractor.



## 3.5.4 Exterior of Windows



Maintenance or Low Priority

**WINDOW, POSSIBLE LEAD PAINT**

Lead based paint was in use until approximately 1978. According to the Federal Department of Housing and Urban Development, a lead hazard can be present in a house of this age. This can only be confirmed by laboratory analysis. For further testing and information contact the Environmental Protection Agency (E.P.A.) for more information and guidance, and a list of testing labs in your area

## 3.6.1 Exterior Stairs



Safety Concern

**GENERAL STAIRS, MISSING HANDRAIL**

The stairs at this property, which have four or more risers, lack an installed handrail. Handrails are a critical safety feature, required by safety standards for stairs with four or more risers. Their absence significantly increases the risk of falls and injuries, particularly for children, elderly individuals, or those with mobility challenges.

To meet safety standards, a handrail should be securely installed along the full length of the stair flight. It must be mounted at a height of 34 to 38 inches above the nosing of the treads and should provide a continuous, graspable surface for support. Handrails should allow for a firm grip, with a diameter of 1 1/4 to 2 inches, and must be installed with at least 1 1/2 inches of clearance from adjacent walls to prevent finger entrapment.

If the stairs are open on one or both sides, the handrail should also act as a guardrail, with vertical balusters or similar elements spaced to prevent the passage of a 4-inch sphere, ensuring additional safety.

It is recommended to have a qualified contractor install a handrail that meets these standards to enhance safety and ensure compliance with accepted practices. Regular maintenance and inspection of handrails are also encouraged to preserve their functionality and reliability.

#### Recommendation

Contact a qualified general contractor.



### 3.6.2 Exterior Stairs

#### **GENERAL STAIRS, POORLY ATTACHED HANDRAIL**



The handrail on the exterior stairs is poorly attached, with loose or insecure connections. A poorly attached handrail compromises its ability to provide the necessary support and stability, increasing the risk of falls or injuries, especially for individuals relying on the handrail for balance or mobility assistance.

To meet safety standards, the handrail must be firmly secured along the entire length of the stairs. It should be anchored with appropriate hardware to withstand the weight and force applied during regular use. Handrails installed outdoors must also be weather-resistant, with corrosion-resistant materials and coatings to ensure durability in exposure to the elements.

A loose or unstable handrail should be inspected and repaired by a qualified contractor. Repairs may include tightening or replacing fasteners, reinforcing mounting brackets, or replacing the handrail if it is damaged or deteriorated. Ensuring a properly attached handrail is essential to maintaining safety and functionality for the stairs.

#### Recommendation

Contact a qualified general contractor.

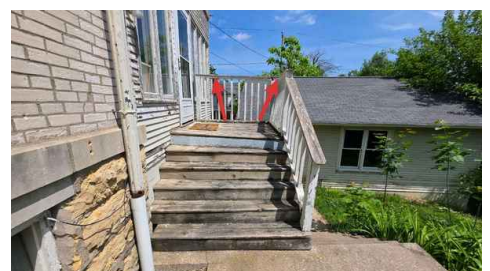


### 3.9.1 Deck, Balcony, Bridge and Porch

#### **GUARDRAIL, LOOSE OR WOBBLY**



Guardrails that shift or feel unstable when force is applied may not adequately prevent falls. This could be due to improperly secured posts, loose fasteners, or undersized hardware.



## Recommendation

Contact a qualified deck contractor.

## 3.9.2 Deck, Balcony, Bridge and Porch



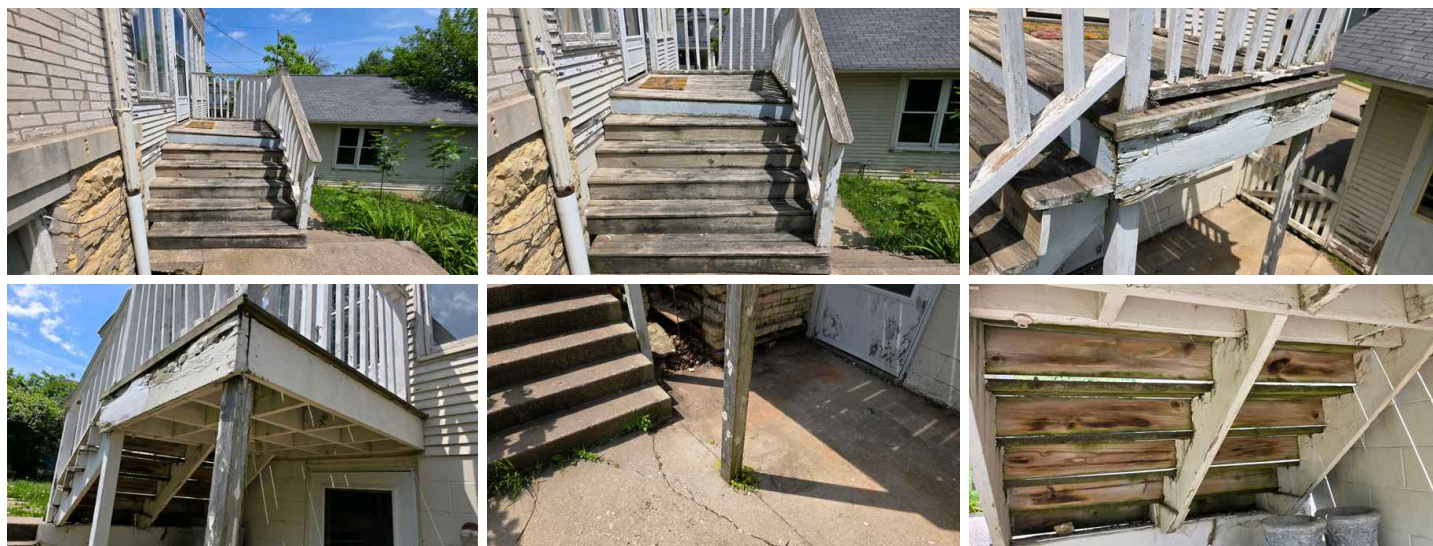
Safety Concern

### EXTERIOR, PORCH STRUCTURE, MOISTURE-DAMAGED DECKING AND GUARDRAILS

The small rear porch/deck structure showed significant moisture-related deterioration to multiple wooden components, including portions of the guardrails, railing assemblies, decking materials, and stair components. Several areas exhibited visible wood damage and deterioration consistent with prolonged moisture exposure and aging. These conditions can weaken the structural stability of the affected components and may increase the risk of failure or fall-related injury if not addressed. Recommend prompt repairs or replacement of the damaged decking, railing, guardrail, and stair components by a qualified contractor to restore safe and stable conditions.

## Recommendation

Contact a qualified deck contractor.



## 3.11.1 General Grounds



Maintenance or Low Priority

### VEGETATION TO CLOSE TO STRUCTURE

Bushes, plants, vegetation too close to home recommend at least 3 to 5 inches of clearance between home and vegetation as vegetation can promote moisture, and provide entry to wood destroying organisms to enter the home structure.

## Recommendation

Contact a qualified professional.

## 3.13.1 Patio



Safety Concern

### CONCRETE PATIO, SETTLING OR UNEVEN SURFACES

Uneven or sunken areas of the patio are often caused by poor soil compaction or erosion beneath the slab. These surfaces create tripping hazards and can lead to drainage problems. Mudjacking, slab leveling, or replacement may be necessary to address the issue.



## Recommendation

Contact a qualified concrete contractor.

## 3.14.1 Wood Siding



Maintenance or Low Priority

**EXTERIOR, WOOD SIDING AND WINDOWS, POSSIBLE LEAD-BASED PAINT**

The exterior wood siding and window components contain older painted surfaces that may contain lead-based paint due to the apparent age of the home and materials. Deteriorated, peeling, chipping, or disturbed lead-based paint can present a potential health concern, especially during renovation, scraping, sanding, or repair activities. Home inspectors do not perform lead testing as part of a standard home inspection, and the presence of lead paint cannot be confirmed without specialized testing. Recommend further evaluation and testing by a qualified lead assessment professional prior to performing repairs, renovations, or paint disturbance activities on the affected surfaces.

## Recommendation

Contact a qualified professional.

## 3.15.1 Retaining walls



Material Defect

**CONCRETE RETAINING WALL, BOWING OR LEANING**

Bowing or leaning in concrete retaining walls is a serious issue often caused by excessive lateral pressure from the soil. This condition indicates structural instability and requires immediate attention, potentially including reinforcement or rebuilding the wall.

## Recommendation

Contact a qualified concrete contractor.



## 3.15.2 Retaining walls



Material Defect

**EXTERIOR, RETAINING WALL, SIGNIFICANT CRACKING AND DETERIORATION**

The CMU (concrete masonry unit) retaining wall showed significant deterioration and structural movement, including notable horizontal and vertical cracking throughout the wall structure. This retaining wall appears to support the adjacent sidewalk and stair structure above, making the observed movement and breakdown a material concern. Conditions such as soil pressure, moisture intrusion, settlement, freeze-thaw movement, or long-term structural stress may have contributed to the deterioration. Continued movement or failure of the retaining wall could result in additional damage to the supported sidewalk and stair areas and may create a potential safety hazard. Recommend further evaluation and reinforcement or replacement by a qualified contractor or structural specialist to help prevent ongoing deterioration and possible structural failure.

## Recommendation

Contact a qualified landscaping contractor



3.16.1 Brick exterior

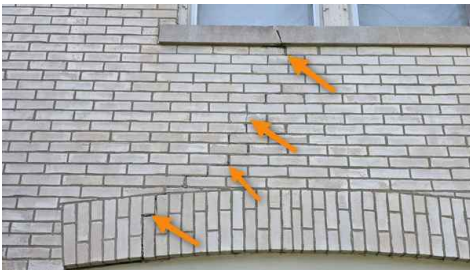
**BRICK WALL, STEP CRACKING**

 Maintenance or Low Priority

Step cracks follow the mortar joints in a stair-step pattern and often indicate differential settlement of the foundation or movement in the structure. They are common at the corners of windows and doors, where the wall experiences stress. Monitoring for widening or displacement is recommended, and significant movement may require evaluation by a masonry professional.

Recommendation

Contact a qualified masonry professional.



3.16.2 Brick exterior

**BRICK WALL, VERTICAL CRACKING**

 Maintenance or Low Priority

Vertical cracks running through the bricks or mortar joints may result from foundation settlement, soil shrinkage, or expansion. If the cracks are uniform and narrow, they may be from minor settling. However, if they are wide or offset, they could indicate structural issues requiring further assessment.

Recommendation

Contact a qualified masonry professional.



## 4: GARAGE

		IN	LI	MA	MD	SC
4.1	General Overview and Limitations of Garage Inspection	X	X			
4.2	Garage Overhead Door	X				
4.3	Garage Occupant Doors	X				
4.4	Garage Floors	X	X			
4.5	Garage Walls and Ceilings	X	X			
4.6	Garage Attic					
4.7	Garage Windows	X		X		
4.8	Garage Electrical	X				
4.9	Garage Structural	X	X			
4.10	Garage Stairs/Steps to Living Space					
4.11	Garage Roof Drainage System	X			X	
4.12	Garage Roof	X		X		
4.13	Garage Exterior Walls	X		X		
4.14	Garage General Grounds	X			X	

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

### Information

#### General Overview and

#### Limitations of Garage Inspection:

#### Garage Vehicle Door Type:

Single

#### General Overview and

#### Limitations of Garage Inspection:

#### Number of Automatic Openers:

2

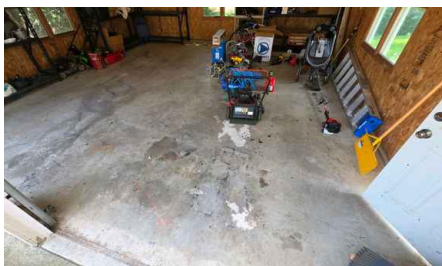
#### General Overview and

#### Limitations of Garage Inspection:

#### Number of Vehicle Doors:

2

#### Garage Floors: Photo documentation



#### General Overview and Limitations of Garage Inspection: Vehicle Door Safety:

Installed and operating correctly

#### Adjust Auto Reverse Safety Feature

To decrease the amount of force required to reverse the direction of the garage door, turn the knob (or screw with a screwdriver) counterclockwise one quarter. To increase the amount of force, turn it clockwise. Re-test the auto-reverse function and repeat this process until your opener is properly adjusted.

## Garage Overhead Door: Photo Documentation

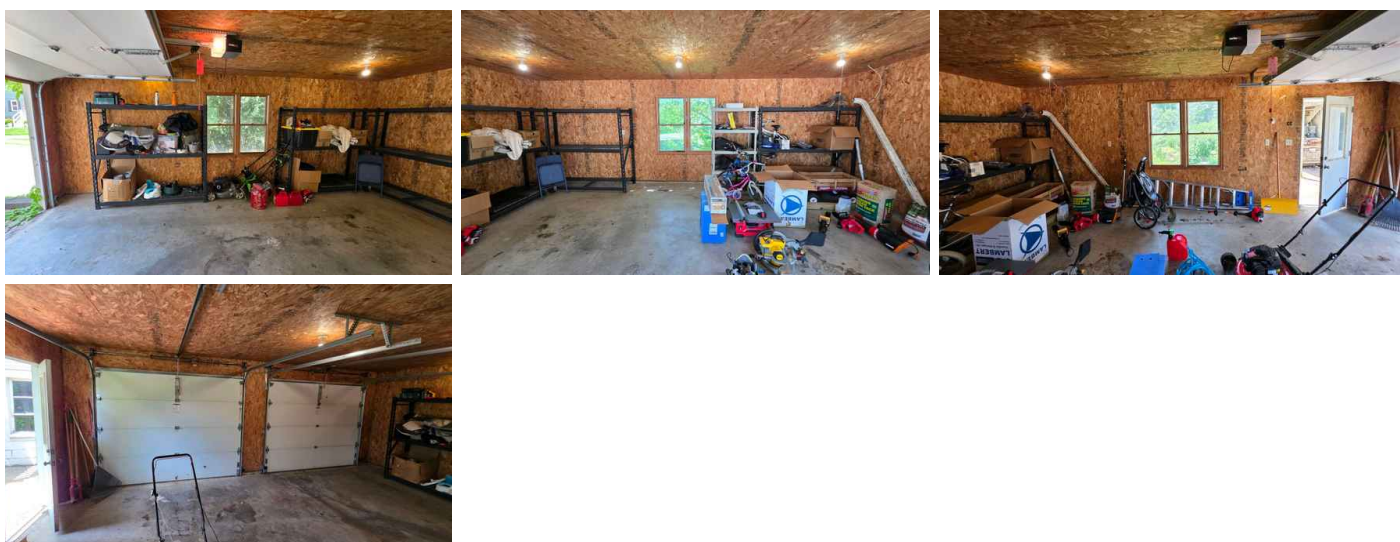


## Garage Overhead Door: Panel(s), Cosmetic Damage

Panel(s) on the garage door had several areas that were dented or scratched. Currently this condition is considered cosmetic and does not affect their operation.



## Garage Walls and Ceilings: Photo documentation



## Garage Walls and Ceilings: Walls and Ceilings, Moderate Damage

Garage walls and ceilings exhibited moderate damage to coverings and other surfaces. No significant damage was observed.

## Limitations

General Overview and Limitations of Garage Inspection

### LIMITED INSPECTION, OCCUPANTS BELONGINGS

#### INTERIOR ROOMS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

## General Overview and Limitations of Garage Inspection

### LIMITED INSPECTION, FINISHED INTERIOR

Limited Inspection on structural components behind finished areas such as walls and ceilings.

## Deficiency

### 4.7.1 Garage Windows



#### **GARAGE WINDOW, MODERATE MOISTURE DAMAGE**

The wooden window(s) and their framing show signs of moderate damage from moisture. This happens over time if the exterior sealant is not maintained at all times. Some of these areas may require repair prior to the addition of sealant.

#### Recommendation

Contact a qualified window repair/installation contractor.



### 4.11.1 Garage Roof Drainage System

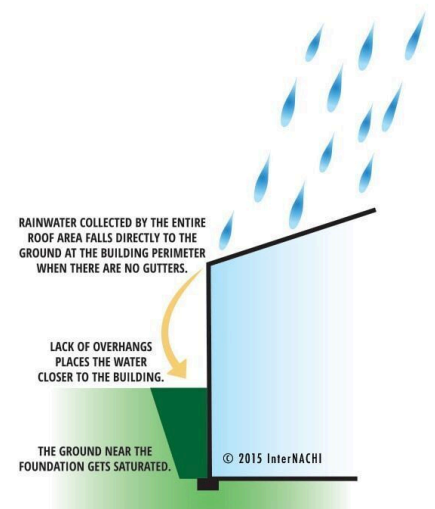


#### **DRAINAGE SYSTEM, NOT INSTALLED**

The home had no roof drainage system to channel roof drainage away from the foundation. The Inspector recommends installation of a roof drainage system to help protect the home structure and occupants.

#### Recommendation

Contact a qualified gutter contractor



Downspout not installed

### 4.12.1 Garage Roof



#### **ASPHALT SHINGLE, PAST MIDLIFE**

The asphalt shingles on the garage roof were past midlife. This means you should plan to replace them in the next 5-10 years.

### 4.13.1 Garage Exterior Walls



#### **WOOD SIDING, PEELING OR FAILING PAINT OR STAIN**

Peeling paint or stain is a common issue caused by weather exposure or inadequate preparation during prior applications. Exposed wood is vulnerable to moisture damage and decay. The affected areas should be scraped, sanded, primed, and repainted or restained with a high-quality exterior product to protect the siding.

## Recommendation

Contact a qualified siding specialist.

## 4.14.1 Garage General Grounds

**EXTERIOR, VEGETATION AND TREES, CLEARANCE AND MOISTURE CONCERNS**

Multiple trees and heavy vegetation were observed within close proximity to the garage structure, including several trees located within approximately 5 feet of the garage foundation. Vegetation was also noted in contact with the siding and other exterior components. Trees and dense vegetation located too close to structures can contribute to excessive moisture retention, restricted airflow, accelerated deterioration of exterior materials, pest activity, and potential foundation or structural movement from root growth over time. Vegetation contacting siding and exterior components may also lead to premature wear and moisture-related damage. Recommend trimming back or removing vegetation and maintaining proper clearance between landscaping and the structure to help reduce the risk of ongoing damage and moisture intrusion.

## Recommendation

Contact a qualified tree service company.



## 5: ATTIC

		IN	LI	MA	MD	SC
5.1	General Overview and Limitations of Attic Inspection	X				
5.2	General Overview	X		X		
5.3	Roof Framing (from attic)	X				
5.4	Roof Sheathing (from Attic)	X				
5.5	Roof Structure Ventilation	X	X			
5.6	Attic Electrical	X				X
5.7	Misc Attic Conditions (leakage, debris, etc.)	X				
5.8	Chimney in Attic	X				
5.9	Radon Mitigation	X				

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### Information

#### General Overview and Limitations of Attic Inspection:

##### Attic Inspected from:

Inside the attic, Thermal Camera

#### General Overview and Limitations of Attic Inspection:

##### Insulation Type:

Natural fiber

#### General Overview and Limitations of Attic Inspection:

##### Roof Ventilation Type:

No ventilation

#### General Overview and Limitations of Attic Inspection:

##### Location of Access:

Walk up

#### General Overview and Limitations of Attic Inspection:

##### Roof Framing Type:

Conventional Framing

#### General Overview and Limitations of Attic Inspection:

##### Average Insulation Depth:

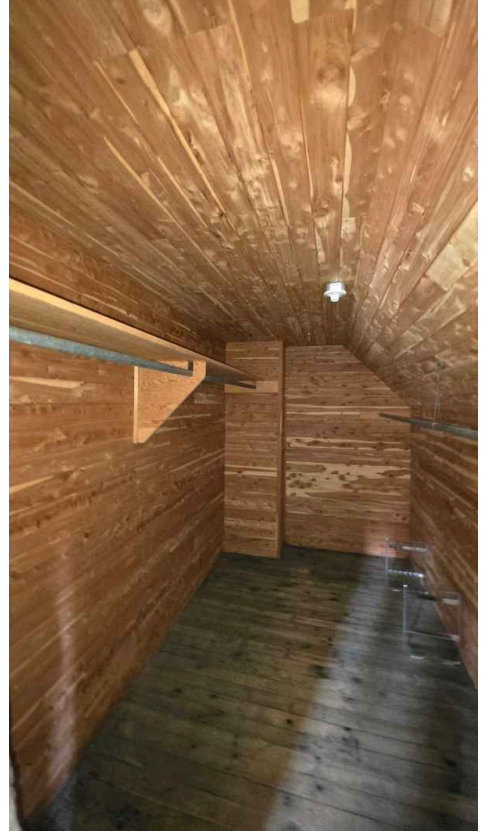
Less than 6 inches

#### General Overview and Limitations of Attic Inspection:

##### Roof Sheathing Material:

Wood boards, Oriented Strand Board (OSB)

### General Overview: Photo Documentation



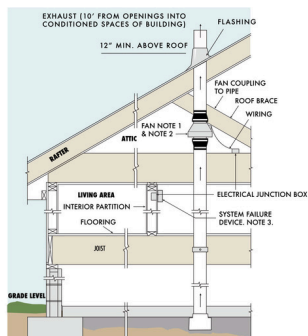
## Radon Mitigation: Radon Mitigation, Sub Slab Blower In Attic

Radon mitigation blower was operating during inspection.

### Architectural Drawing

#### Active Sub-Slab Depressurization System

Uses fan to mechanically draw air from beneath the slab (or membrane) through the vent pipe



#### ADDITIONAL COMPONENTS REQUIRE FOR ACTIVATION OF PASSIVE SUB-SLAB DEPRESSURIZATION OR CRAWLSPACE RADON CONTROL SYSTEM

##### NOTES:

1. INSTALL THE VENT FAN IN THE VERTICAL RUN OF THE VENT PIPE. THE SIZE AND AIR-MOVEMENT CAPACITY OF THE VENT FAN SHALL BE SUFFICIENT TO CREATE AND MAINTAIN A PRESSURE FIELD BENEATH THE SLAB OR CRAWLSPACE MEMBRANE THAT IS LOWER THAN THE PRESSURE ABOVE THE SLAB OR MEMBRANE.
2. ALL POSITIVELY PRESSURED PORTIONS OF THE VENT PIPE AND FAN SHALL BE LOCATED OUTSIDE THE HABITABLE SPACE OF THE BUILDING.
3. PROVIDE A VISIBLE OR AUDIBLE WARNING SYSTEM TO ALERT BUILDING OCCUPANTS IF THERE IS A LOSS OF PRESSURE OR AIR FLOW IN THE VENT PIPE.



## Deficiency

### 5.2.1 General Overview

## ATTIC INSULATION, INSUFFICIENT THICKNESS OR COVERAGE



Maintenance or Low Priority

The attic insulation appears to be insufficient, with areas of inadequate thickness and uneven coverage. This can lead to significant heat loss during the winter and increased cooling demands in the summer, reducing overall energy efficiency. Adding insulation to meet modern energy performance standards is recommended to improve thermal resistance.

### Recommendation

Contact a qualified insulation contractor.

# 6: KITCHEN

		IN	LI	MA	MD	SC
6.1	General Overview and Limitations of Kitchen Inspection	X	X			
6.2	Kitchen Electrical	X	X			
6.3	Cabinets	X	X			
6.4	Kitchen Plumbing / Sink	X	X			
6.5	Garbage Disposal	X				
6.6	Dishwasher	X	X			
6.7	Range	X				
6.8	Range Hood or Built in Microwave	X				
6.9	Refrigerator	X	X			

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## Information

**General Overview and Limitations of Kitchen Inspection: Floor Covering Materials**  
Wood

**General Overview and Limitations of Kitchen Inspection: Walls and Ceilings**  
Drywall

**General Overview and Limitations of Kitchen Inspection: Exhaust Type**  
Vented Outside

**General Overview and Limitations of Kitchen Inspection: Stove Hook Ups**  
Gas

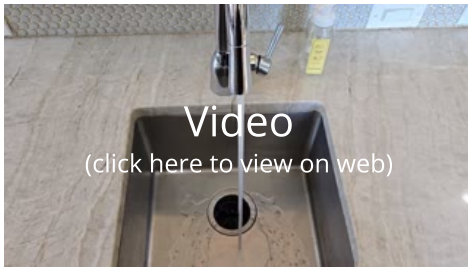
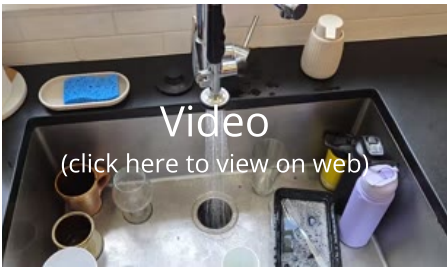
**Refrigerator: Photo documentation**



### Kitchen Plumbing / Sink: Photo documentation



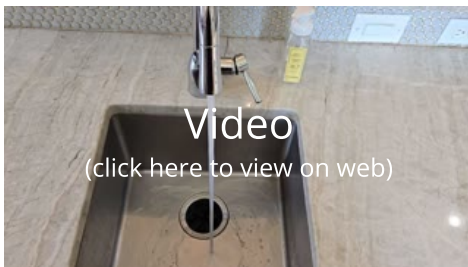
### Kitchen Plumbing / Sink: Video Documentation



### Garbage Disposal: Photo documentation



### Garbage Disposal: Video Documentation



### Dishwasher: Photo documentation



### Range: Photo documentation



### Range Hood or Built in Microwave: Photo documentation



## Limitations

General Overview and Limitations of Kitchen Inspection

### **LIMITED INSPECTION, OCCUPANT BELONGINGS**

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

Dishwasher

### **LIMITED INSPECTION, DISHWASHER CONTAINED OCCUPANTS ITEMS**

Gold Shield Inspections is unable to run a dishwasher that contains occupants belongings. The dishwasher was not fully inspected at the time of the inspection.

## 7: BATHROOMS

		IN	LI	MA	MD	SC
7.1	General Overview and Limitations of Bathroom Inspection	X	X			
7.2	Bathroom Ventilation	X				
7.3	Bathroom Electrical	X				
7.4	Bathroom Sink	X	X	X		
7.5	Bathroom Toilet	X				
7.6	Bathroom Tub/Shower	X	X	X		

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### Information

#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Cabinets:**  
Solid Wood

#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Toilet**

**Type:**

Low-volume flush (1.6 gal. [6 litres] or less)

#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Exhaust:**

Fan only, Fan with light,  
Fan/Heat/Light

#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Floor:**  
Tile

#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Bathtub:**

Metal With Porcelain Cover

#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Sink:**

Sink in a cabinet, Pedestal sink

#### General Overview and Limitations of Bathroom

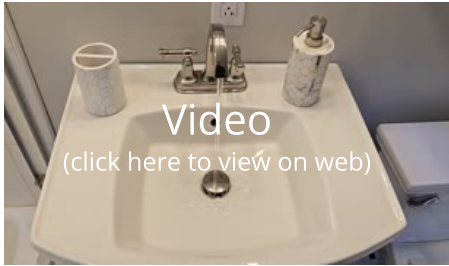
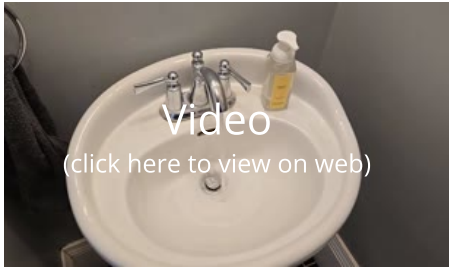
**Inspection: Bathroom Shower:**

Tiled enclosure

### Bathroom Sink: Photo Documentation



### Bathroom Sink: Video Documentation



### Bathroom Toilet: Photo Documentation



### Bathroom Tub/Shower: Photo Documentation



### Limitations

## General Overview and Limitations of Bathroom Inspection

**LIMITED INSPECTION, OCCUPANTS BELONGINGS**

## INTERIOR ROOMS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

**Deficiency**

## 7.4.1 Bathroom Sink

**BATHROOM SINK, RUST OR CORROSION ON COMPONENTS**

Signs of rust or corrosion were noted on sink components, such as the faucet, drain, or water supply lines. Corrosion can weaken materials and lead to leaks. Recommend replacing affected components with corrosion-resistant materials.

## Recommendation

Contact a qualified plumbing contractor.



1st Floor Hall Bathroom Right Sink  
Corrosion On Supply

## 7.6.1 Bathroom Tub/Shower

**BATHROOM TUB/SHOWER, MISSING OR DETERIORATED GROUT OR CAULKING**

Grout or caulking around tiles, tub edges, or shower joints was cracked, missing, or deteriorated. This can allow water to seep into surrounding materials, causing damage. Recommend removing old grout or caulking and applying fresh, waterproof material.

## Recommendation

Recommended DIY Project



## 8: INTERIOR

		IN	LI	MA	MD	SC
8.1	General Overview and Limitations of Interior Inspection	X	X			
8.2	Interior Thermostat	X				
8.3	Interior Floors	X	X		X	X
8.4	Interior Ceilings and Walls	X	X	X		
8.5	Interior Doors	X		X		X
8.6	Interior Stairs	X				
8.7	Interior Windows	X	X	X		X
8.8	Interior Electrical	X				
8.9	Doorbells/Detectors/Fans	X				
8.10	Laundry Room	X	X			
8.11	Fireplace	X	X			
8.12	Wet Bar	X	X			

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### Information

**General Overview and Limitations of Interior Inspection: Floor Covering Materials**

Tile, Wood

**General Overview and Limitations of Interior Inspection: Window Glazing**

Single-pane

**General Overview and Limitations of Interior Inspection: # of Bedrooms**

4

**General Overview and Limitations of Interior Inspection: Interior Doors**

Solid Wood

**General Overview and Limitations of Interior Inspection: Window Material**

Wood

**General Overview and Limitations of Interior Inspection: # of Bathrooms**

3, .5

**General Overview and Limitations of Interior Inspection: Walls and Ceilings**

Drywall, Lath and Plaster

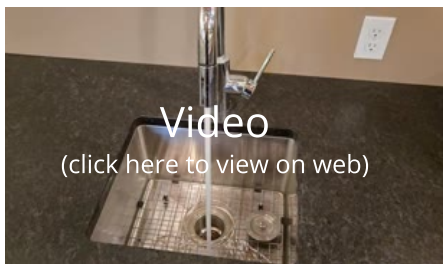
**General Overview and Limitations of Interior Inspection: Window Operation**

Casement, Fixed, Swinging

**Interior Thermostat: Photo Documentation**



## Wet Bar: Video Documentation



## General Overview and Limitations of Interior Inspection: Air Quality

Gold Shield Inspections recommends Air Sampling for all residential properties. A home inspection is a visual inspection of the condition of your property. To ensure the air quality and ensure no hidden issues with toxins that can be produced by hidden mold inside walls, ductwork and structural components. We offer air sampling and quick turn around on all samples. Let us know if you would like more information.

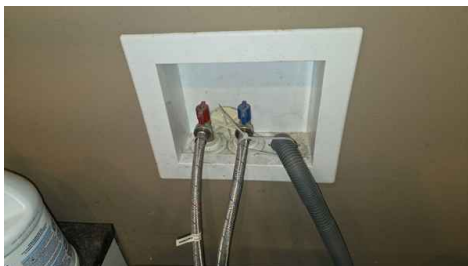
## Interior Floors: Interior Introduction

Inspection of the property interior does not include testing for mold, radon, asbestos, lead paint, or other environmental hazards unless specifically requested as an ancillary inspection. Inspection of the property interior typically includes:

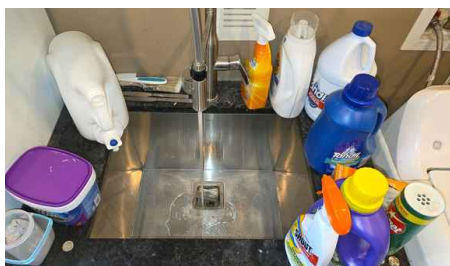
1. interior wall, floor and ceiling coverings and surfaces;
  2. doors and windows: condition, hardware, and operation;
  3. interior trim: baseboard, casing, molding, etc.;
  4. permanently-installed furniture, countertops, shelving, and cabinets; and
- ceiling and whole-house fans.

## Laundry Room: Washer/Dryer Hook-up Photo

Washer and dryer hookups location.



## Laundry Room: Laundry Room Sink Photos



## Fireplace: Photo Documentation



## Wet Bar: Photo Documentation



## Limitations

General Overview and Limitations of Interior Inspection

### **LIMITED INSPECTION, OCCUPANTS BELONGINGS**

#### INTERIOR ROOMS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings. Due to the possibility of owners personal documentation we are unable to offer our 360 degree images of each room.

#### Laundry Room

### **LAUNDRY AREA WASHER AND DRYER INSPECTION LIMITATION DUE TO BELONGINGS**

The washer and dryer were present at the time of inspection; however, occupant belongings limited full visibility and access to these appliances and the surrounding area. As a result, the inspection of electrical, plumbing, and dryer vent connections was restricted. Potential issues such as leaks, improper venting, or outlet concerns may not have been visible. Recommend verifying condition and functionality once the area is fully accessible.

#### Fireplace


### **LIMITED INSPECTION, DUE TO INTERIOR CHIMNEY SCOPE**

The interior of the chimney was not fully inspected, as this falls outside the scope of the InterNACHI Standards of Practice. Our inspection is limited to visible and accessible components of the chimney and fireplace. Recommend a comprehensive inspection of the interior chimney flue and components by a certified chimney professional to assess for hidden defects, creosote buildup, or blockages.

## Deficiency

8.3.1 Interior Floors

**INTERIOR FLOORING, UNEVEN OR SLOPED FLOORS**

 Material Defect

The flooring was uneven or exhibited noticeable slopes, which may indicate structural issues, settling, or improper installation. Recommend evaluation by a qualified contractor or structural engineer to identify the cause and determine necessary repairs.

Recommendation

Contact a qualified professional.



2nd Floor Master Bathroom Floor Dips Here

8.3.2 Interior Floors

**BATHROOM FLOOR, IMPROPER OR MISSING TRANSITION STRIPS**

 Safety Concern

The transition strip between the bathroom floor and adjacent rooms was missing or improperly installed. This creates a tripping hazard and may expose edges to damage. Recommend installing or replacing transition strips for a safer and finished appearance.

Recommendation

Contact a qualified flooring contractor



Basement Bathroom

8.4.1 Interior Ceilings and Walls

**GYPSUM BOARD CEILING, CRACKS**

 Maintenance or Low Priority

Cracks were observed in the drywall, potentially caused by settlement, structural movement, or temperature fluctuations. Recommend sealing minor cracks with appropriate materials.

Recommendation

Contact a qualified professional.



1st Floor Hall

8.4.2 Interior Ceilings and Walls

**PLASTER CEILING, WATER DAMAGE OR STAINING (PREVIOUS DAMAGE)**

 Maintenance or Low Priority

Evidence of water damage or staining was noted on the plaster ceiling, indicating a possible leak or moisture intrusion. Moisture meter showed no elevated moisture at the time of the inspection. Recommend repairing or replacing the affected plaster to prevent further deterioration.

Recommendation

Contact a qualified general contractor.



1st Floor Dining Room



1st Floor Dining Room



1st Floor Livingroom

## 8.4.3 Interior Ceilings and Walls

**GYPSUM BOARD WALL, CRACKS**
 Maintenance or Low Priority

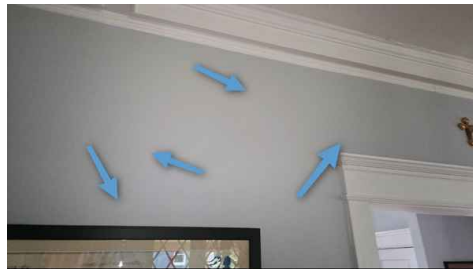
Cracks were observed in the drywall, potentially caused by settlement, structural movement, or temperature fluctuations. Recommend sealing minor cracks with appropriate materials.

## Recommendation

Contact a qualified professional.



1st Floor Livingroom



1st Floor Dining Room

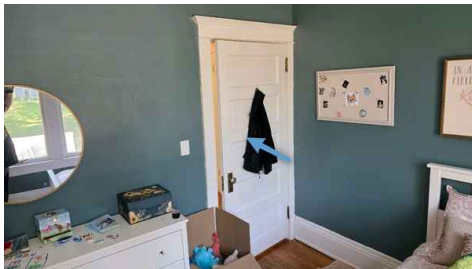
## 8.5.1 Interior Doors

**INTERIOR DOOR, STICKING OR BINDING**
 Maintenance or Low Priority

The door stuck or bound against the frame or floor when opened or closed, likely due to misalignment or swelling. Recommend planing or adjusting the door and inspecting the frame for issues.

## Recommendation

Contact a qualified door repair/installation contractor.



2nd Floor Bedroom



2nd Floor Bedroom

## 8.5.2 Interior Doors

**INTERIOR DOOR GLASS PANE CRACKED**
 Safety Concern

The glass pane in the interior door is visibly cracked. Cracked glass can weaken the structural integrity of the pane, present a safety hazard due to the potential for breakage, and reduce the door's ability to provide a secure barrier. This type of damage can result from impact, stress on the glass, or aging materials. Recommend replacement of the damaged glass pane by a qualified professional to restore safety and appearance.

## Recommendation

Contact a qualified professional.



2nd Floor Hall Bathroom Door

## 8.7.1 Interior Windows

**GENERAL WINDOW, STICKING OR INOPERABLE**

Windows that stick or won't open may result from debris, swelling, or misalignment. Inoperable windows can hinder ventilation and emergency egress. Recommend cleaning tracks, lubricating hardware, or adjusting the sash for smooth operation.

## Recommendation

Contact a qualified window repair/installation contractor.



2nd Floor Bedroom

## 8.7.2 Interior Windows

**GENERAL WINDOW, EXCESSIVE WEAR ON BALANCES OR SPRINGS**

ALL 2ND FLOOR SUN ROOMS WINDOW MISSING BALANCES

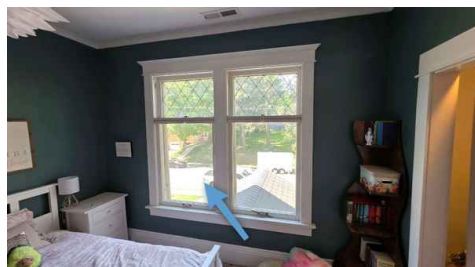
Balances or springs that fail can cause windows to drop unexpectedly, posing a safety hazard. Recommend replacing these mechanisms to restore proper operation.

## Recommendation

Contact a qualified window repair/installation contractor.



1st Floor Hall Both Windows Missing Balances



## 8.7.3 Interior Windows

**GENERAL WINDOW, BROKEN OR CRACKED GLASS**

SEVERAL WINDOWS THROUGHOUT HOUSE

Broken or cracked glass reduces safety and efficiency. Damaged glass can result from impacts, stress fractures, or thermal expansion. Recommend immediate replacement to restore integrity

## Recommendation

Contact a qualified window repair/installation contractor.



1st Floor Hall Window



1st Floor Hall



2nd Floor Sun Room



2nd Floor Sun Room



2nd Floor Sun Room



2nd Floor Sun Room



2nd Floor Sun Room



2nd Floor Sun Room

8.7.4 Interior Windows

**INTERIOR, WINDOW, UNABLE TO LOCK DUE TO MISALIGNMENT**

 Safety Concern

The window was observed to be unable to fully close and lock at the time of inspection. This condition appears to be caused by misalignment of the window sash or the presence of debris or an obstruction within the track. When a window cannot lock properly, it can reduce security, allow air infiltration, and affect overall energy efficiency. This issue is commonly the result of settling, wear in the window components, or lack of routine maintenance. Recommend adjustment, cleaning, or repair by a qualified contractor to restore proper alignment and allow the window to close and lock as intended.

Recommendation

Contact a qualified professional.



Basement Livingroom Back Right Window

8.7.5 Interior Windows

**INTERIOR, WALK-UP ATTIC WINDOWS, MOISTURE DAMAGE AND POOR SEALING**

 Material Defect

All windows within the walk-up attic showed significant moisture-related deterioration and were observed to be improperly sealed. Visible damage to the window components and surrounding materials was noted, consistent with long-term moisture intrusion and air leakage. Poorly sealed attic windows can allow ongoing water penetration, drafts, heat loss, condensation buildup, and deterioration of adjacent framing and interior finishes. Continued exposure to moisture may also contribute to wood rot and potential biological growth over time. Recommend repair or replacement of the affected attic windows and proper sealing of the assemblies by a qualified contractor to help prevent continued moisture intrusion and further damage.

Recommendation

Contact a qualified window repair/installation contractor.



# 9: PLUMBING

		IN	LI	MA	MD	SC
9.1	General Overview and Limitations of Plumbing Inspection	X	X			
9.2	Water Supply and Distribution	X	X			
9.3	Sewage and DWV Systems	X	X			
9.4	Visible Gas Piping System	X	X			
9.5	Water Heater	X				
9.6	Sump Pump	X				
9.7	Water Softener					
9.8	Radon Mitigation	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

### General Overview and Limitations of Plumbing

**Inspection: Sewage System Type:**  
Public

### General Overview and Limitations of Plumbing

**Inspection: Drain Waste and Vent Pipe Materials:**  
Polyvinyl Chloride (PVC), Cast Iron

### General Overview and Limitations of Plumbing

**Inspection: Water Supply Pipe:**  
1/2-inch

### General Overview and Limitations of Plumbing

**Inspection: Water Distribution Pipes:**  
1/2-inch and 3/4-inch copper

### General Overview and Limitations of Plumbing

**Inspection: Water main shut off**



### General Overview and Limitations of Plumbing

**Inspection: Water Temperature At Faucet**  
121.1

### Water Heater: Water Heater Fuel Type

Natural Gas

### Water Heater: Water Heater Manufacturer

Rinnai

### Water Heater: Water Heater Manufacturer Date

2016

### Water Heater: Water Heater Tank Capacity

On Demand

### Water Heater: Photo documentation



## Sump Pump: Photo Documentation



## Radon Mitigation: No Radon Mitigation System Observed

There was no radon mitigation system observed at the property during the inspection. Radon is a naturally occurring radioactive gas that can accumulate indoors and is linked to potential health risks, including lung cancer. It is recommended to have the home tested for radon levels, as the EPA advises that radon concentrations exceeding 4.0 pCi/L should be addressed. If elevated levels are detected, installing a radon mitigation system is advised to reduce radon exposure and enhance indoor air quality.

## Limitations

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General Overview and Limitations of Plumbing Inspection

### **LIMITED INSPECTION, OCCUPANT BELONGINGS**

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

General Overview and Limitations of Plumbing Inspection

### **LIMITED INSPECTION, FINISHED AREAS**

The inspection of plumbing items, included behind walls, ceilings, and floors, was limited due to the presence of finished surfaces such as drywall, paneling, or flooring materials. These finishes restrict access to the underlying plumbing elements, making it impossible to assess their condition fully. This limitation prevents a thorough evaluation of potential issues.

Water Softener

### **LIMITED INSPECTION DUE TO WATER SOFTENER OUTSIDE SOP**

The water softener was not inspected as its evaluation falls outside the scope of our inspection and the InterNACHI Standards of Practice. Functionality, maintenance status, and overall condition of the unit were not assessed. Recommend consulting a qualified water treatment specialist for a full evaluation of the water softener system.

# 10: STRUCTURE

		IN	LI	MA	MD	SC
10.1	General Overview and Limitations of Structural Component Inspection	X	X			
10.2	Wall Structure	X	X			
10.3	Framed Floor Structure and supports	X	X			
10.4	Foundation	X	X			
10.5	Slab	X	X	X		

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

### General Overview and Limitations of Structural Component Inspection: Home Structural Design

Balloon Framing

### General Overview and Limitations of Structural Component Inspection: Foundation Method/Materials

Mortared stone foundation walls

### General Overview and Limitations of Structural Component Inspection: Exterior Wall Structures

Conventional Wood Frame

### General Overview and Limitations of Structural Component Inspection: Main Floor Structure

Wooden boards over wood joists

### General Overview and Limitations of Structural Component Inspection: Foundation Configuration

Partially-finished basement

### General Overview and Limitations of Structural Component Inspection: Main Floor Structure- Intermediate Support

Wood beam girder, Mortared-brick columns

### General Overview and Limitations of Structural Component Inspection: Homeowner's Responsibility

One of the most common problems in a house is a wet basement or foundation. You should monitor the walls and floors for signs of water penetration, such as dampness, water stains, peeling paint, efflorescence, and rust on exposed metal parts. In a finished basement, look for rotted or warped wood paneling and doors, loose floor tiles, and mildew stains. It may come through the walls or cracks in the floor, or from backed-up floor drains, leaky plumbing lines, or a clogged air-conditioner condensate line.

## Limitations

General Overview and Limitations of Structural Component Inspection

### LIMITED INSPECTION, STRUCTURAL COMPONENTS BEHIND FINISHED SURFACES

The inspection of structural components, including walls, ceilings, and floors, was limited due to the presence of finished surfaces such as drywall, paneling, or flooring materials. These finishes restrict access to the underlying structural elements, making it impossible to assess their condition fully. This limitation prevents a thorough evaluation of potential issues such as hidden framing damage, water intrusion, pest activity, or improper modifications.

While no visible signs of structural concerns were observed at the time of the inspection, it is important to note that hidden defects may exist behind these finished surfaces. If concerns arise in the future, or if renovations are planned that involve removing these finishes, further evaluation by a qualified professional is recommended to assess the condition of the concealed structural components.

General Overview and Limitations of Structural Component Inspection

## LIMITED INSPECTION, OCCUPANT BELONGINGS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

## Deficiency

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10.5.1 Slab



Maintenance or Low Priority

### CONCRETE SLAB, HAIRLINE CRACKS

Hairline cracks were observed in the basement concrete slab. These cracks are typically caused by shrinkage during the curing process and are not generally a structural concern. However, they should be monitored for any changes in width or length over time. Sealing the cracks with an appropriate filler can help prevent moisture intrusion and debris buildup.

# 11: ELECTRICAL

		IN	LI	MA	MD	SC
11.1	General Overview and Limitations of Electrical Component Inspection	X	X			
11.2	Service Panel Cabinet	X	X	X		X
11.3	Service Grounding System	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

**General Overview and Limitations of Electrical Component Inspection: Location**  
Basement, Attic

**General Overview and Limitations of Electrical Component Inspection: Service Disconnect Location:**  
At Service Panel

**General Overview and Limitations of Electrical Component Inspection: Service Panel Ampacity:**  
200 amps

**General Overview and Limitations of Electrical Component Inspection: Distribution Pipe Bonding:**  
Pipes were bonded

**General Overview and Limitations of Electrical Component Inspection: Service Panel Type:**  
Load Center

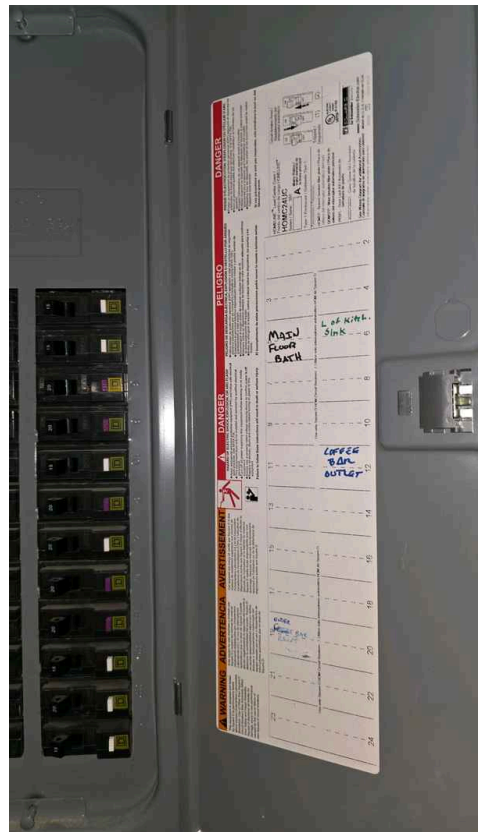
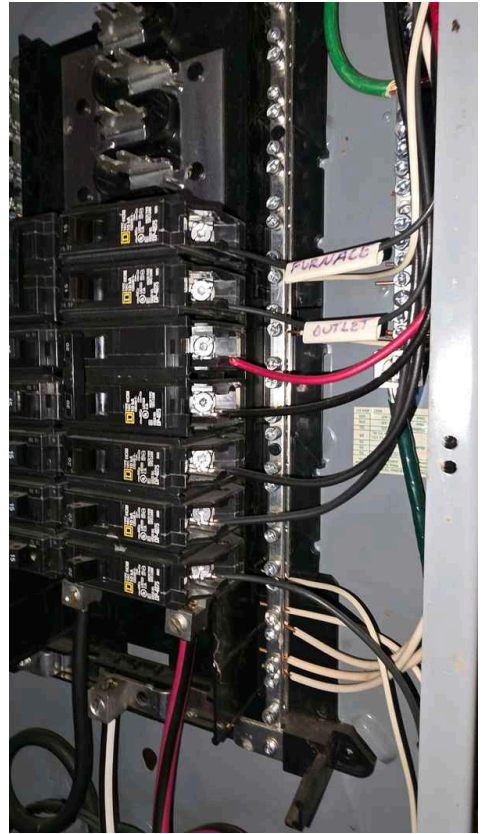
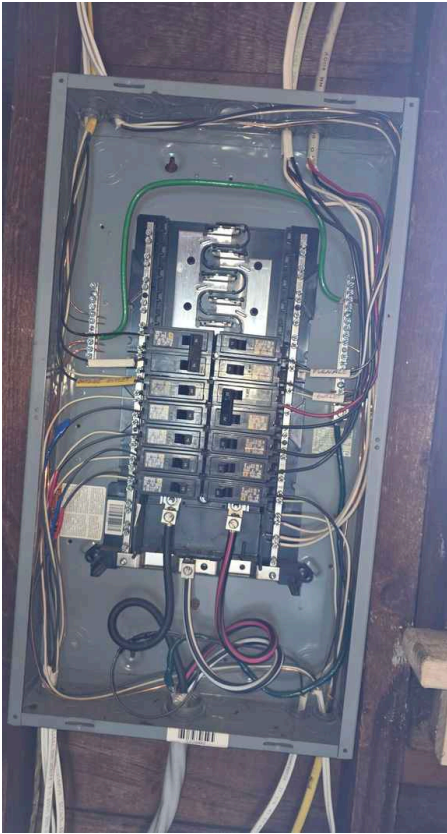
**General Overview and Limitations of Electrical Component Inspection: Service Panel Manufacturer:**  
Square D

**General Overview and Limitations of Electrical Component Inspection: Electrical Service Conductors:**  
Overhead service

**General Overview and Limitations of Electrical Component Inspection: Service Disconnect Type:**  
Breaker

**General Overview and Limitations of Electrical Component Inspection: Type of Branch Wiring:**  
Unable To Determine (No Access/Missing Or Illegible Information), Vinyl-coated, Solid Copper, Stranded Copper

### Service Panel Cabinet: Photo documentation





### Service Panel Cabinet: Development of Power Needs in Residential Homes

The list below is intended to be no more than a rough rule of thumb covering the average unimproved electrical supply over the last century, and would cover the average 1,500- to 2,000-square-foot home.

- 1900s to 1930s: 30-amp supply
- 1930s to 1950s: 60-amp supply
- 1950s to 1970s: 100-amp supply
- 1970s to 1980s: 150-amp supply
- 1980s to 2000s: 200-amp supply

Obviously, larger and more expensive homes have always required more power than the norm, and it is not unusual now to see 400+-amp services in high-end homes.

### Service Grounding System : Bonding of Components

The purpose of bonding is to ensure the electrical continuity of the fault current path, provide the capacity and ability to conduct safely any fault current likely to be imposed, and to aid in the operation of the over-current protection device.

The panel enclosures need to be bonded to the grounding system. But there is also a very long list of other components that need to be connected to ground, since they have the potential to become energized to electrical faults. These components include:

- interior water piping;
- water heaters;
- around water meters;
- gas lines;
- electrical enclosures;
- electrical raceways;
- electric outlets or junction boxes;
- CSST gas piping (manufacturer's compliance); and
- telephone and cable TV systems.

## Limitations

General Overview and Limitations of Electrical Component Inspection

### LIMITED INSPECTION, OCCUPANTS BELONGINGS

#### INTERIOR ROOMS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

## Deficiency

### 11.2.1 Service Panel Cabinet



Maintenance or Low Priority

### ELECTRICAL PANEL, MISSING SCREWS

The electrical panel was found to be missing dead front cover screws. These attach the panel cover to ensure no direct contact with internal wiring.

#### Recommendation

Contact a qualified electrical contractor.



Basement

# 12: HVAC

		IN	LI	MA	MD	SC
12.1	General Overview and Limitations of HVAC Inspection	X				
12.2	Ductwork	X	X	X		
12.3	Central Air Conditioner	X		X		
12.4	Furnace	X				
12.5	Combustion Gas Vent (Chimney)	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

**Ductwork: Air Filter Location:**  
Behind sliding panel at furnace

**Ductwork: Air Filter Size**  
16X25x1, 20X25X4

**Central Air Conditioner: Video Documentation**



**Central Air Conditioner: System Brand:**  
Unable To Determine (No Access/Missing Or Illegible Information)

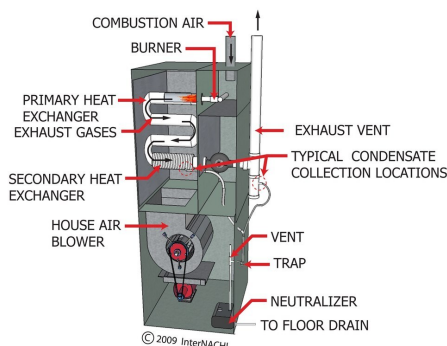
**Central Air Conditioner: System Date**  
Unable To Determine (No Access/Missing Or Illegible Information)

**Furnace: System Brand:**  
Goodman

**Furnace: System Date**  
2016, 2014

**Furnace: Combustion Air, Condensing High-Efficiency Furnace**

CONDENSATION IN A HIGH-EFFICIENCY FURNACE



High efficiency furnace

### General Overview and Limitations of HVAC Inspection: Homeowner's Responsibility

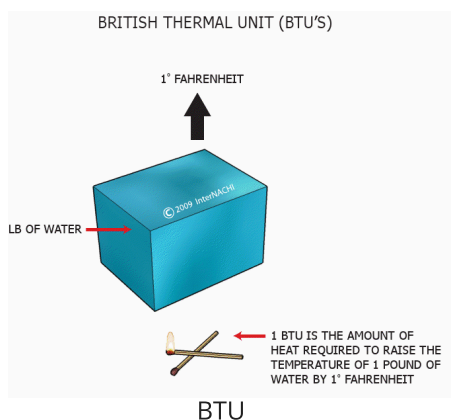
Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

We highly recommend yearly maintenance inspections on all HVAC equipment. This has the ability to extend the life of the equipment and ensure proper functionality. These inspections are very cost effective and should be part of your yearly maintenance plan. Contact a local HVAC company and set up your yearly inspection today.



### General Overview and Limitations of HVAC Inspection: BTU's (British Thermal Unit)

In heating and cooling we use the term BTU which is the amount of heat required to raise the temperature of 1 pound of water by 1 degree fahrenheit.

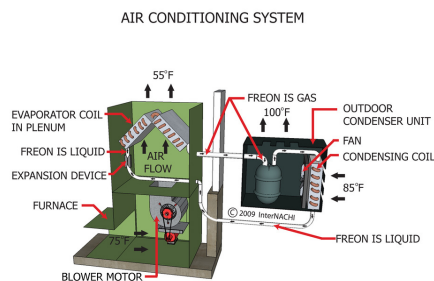
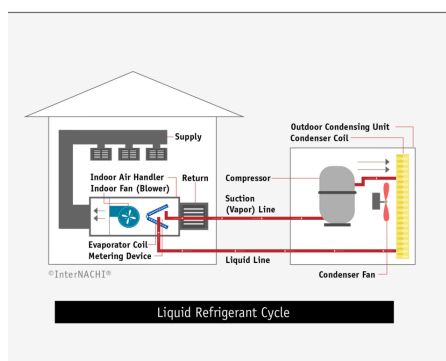


### Central Air Conditioner: Photo documentation



## Central Air Conditioner: A/C, Split System Components

A split air conditioning system is a common residential cooling setup consisting of two main units: an indoor unit and an outdoor unit. The outdoor unit contains the compressor, condenser coil, and fan, which work together to release heat from the home. The indoor unit houses the evaporator coil and air handler, which absorb heat from the indoor air and circulate cooled air through the home. Refrigerant lines connect the two units, transferring heat between them. A thermostat controls the system, regulating cooling cycles. Regular maintenance, such as changing filters and cleaning coils, helps keep the system efficient and prolongs its lifespan.



air conditioning system

## Central Air Conditioner: Recommended Yearly Maintenance

Yearly HVAC maintenance is key to efficiency, reliability, and longevity. Neglecting it can lead to higher energy costs, poor performance, and unexpected breakdowns.

Benefits of Regular Maintenance:

- Energy Efficiency: Clean filters, coils, and fans improve performance and lower utility bills.
- Longer Lifespan: Prevents excessive wear, reducing costly replacements.
- Better Air Quality: Replacing filters and cleaning components reduces allergens and pollutants.
- Fewer Breakdowns: Early detection of issues prevents major failures and emergency repairs.
- Warranty Protection: Many manufacturers require routine maintenance to keep warranties valid.
- Consistent Comfort: Ensures reliable heating and cooling year-round.
- Eco-Friendly: Efficient systems use less energy and reduce environmental impact.

What Maintenance Includes:

- Cleaning coils, filters, and ducts.
- Testing system performance and refrigerant levels.
- Lubricating moving parts and tightening connections.
- Clearing condensation drains to prevent water damage.

Recommendation:

Schedule HVAC maintenance annually—spring for cooling systems and fall for heating—to maximize performance and prevent costly repairs. Investing in routine service ensures comfort, efficiency, and long-term savings.

The below listed company has been proven to keep their technicians exceptionally trained as well as they hold all the needed insurance and bonding. We believe they provide a great service consistently to their clients in East Central Iowa.



319-208-2159

### Furnace: Photo documentation



## Furnace: Recommend Yearly Maintenance

Yearly HVAC maintenance is key to efficiency, reliability, and longevity. Neglecting it can lead to higher energy costs, poor performance, and unexpected breakdowns.

Benefits of Regular Maintenance:

- **Energy Efficiency:** Clean filters, coils, and fans improve performance and lower utility bills.
- **Longer Lifespan:** Prevents excessive wear, reducing costly replacements.
- **Better Air Quality:** Replacing filters and cleaning components reduces allergens and pollutants.
- **Fewer Breakdowns:** Early detection of issues prevents major failures and emergency repairs.
- **Warranty Protection:** Many manufacturers require routine maintenance to keep warranties valid.
- **Consistent Comfort:** Ensures reliable heating and cooling year-round.
- **Eco-Friendly:** Efficient systems use less energy and reduce environmental impact.

What Maintenance Includes:

- Cleaning coils, filters, and ducts.
- Testing system performance and refrigerant levels.
- Lubricating moving parts and tightening connections.
- Clearing condensation drains to prevent water damage.

Recommendation:

Schedule HVAC maintenance annually—spring for cooling systems and fall for heating—to maximize performance and prevent costly repairs. Investing in routine service ensures comfort, efficiency, and long-term savings.

The below listed company has been proven to keep their technicians exceptionally trained as well as they hold all the needed insurance and bonding. We believe they provide a great service consistently to their clients in East Central Iowa.



## Furnace: Disclaim Heat Exchanger

The heat exchanger within the furnace was not disassembled, inspected, or pressure tested during this home inspection. A standard home inspection is a visual and functional evaluation and does not include invasive or technically exhaustive testing of HVAC components. Detecting defects such as cracks or holes in the heat exchanger requires specialized equipment and procedures, which are beyond the scope of this inspection.

Heat exchanger damage, if present, may pose safety risks, including the potential for carbon monoxide (CO) leakage. To mitigate these risks, it is recommended that:

- The heat exchanger be further evaluated by a licensed HVAC technician, especially if the furnace is older, has not been serviced recently, or exhibits signs of improper operation.
- Carbon monoxide detectors be installed in key areas of the home, such as near sleeping areas and on each level of the home, to monitor for CO and alert occupants to dangerous conditions.
- The furnace and HVAC system receive regular professional maintenance to ensure safe and efficient operation.

Taking these preventative measures helps to protect the safety and well-being of the home's occupants and ensures that the HVAC system operates as intended.

## Limitations

## Ductwork

**LIMITED INSPECTION, DUCTWORK**

During a standard residential home inspection we observe all duct work that is visible. We are unable to fully inspect any ductwork that is behind finished ceilings, walls and floors. These areas are not accessible without specialized equipment and should be considered not inspected.

**Deficiency**

## 12.2.1 Ductwork



Maintenance or Low Priority

**DUCTWORK, RECOMMEND CLEANING**

Visible accumulation of dust, debris, or potential biological growth inside the ductwork was observed. Contaminated ductwork can negatively impact indoor air quality and may exacerbate respiratory conditions for occupants. Cleaning the ductwork by a certified HVAC professional is recommended to improve air quality and system hygiene. Additionally, installing or maintaining air filters can help reduce future contamination.

- pets
- occupants with allergies or asthma
- cigarette or cigar smoke
- water contamination or damage to the home or HVAC system
- home renovation or remodeling projects

Some occupants are more sensitive to these contaminants than others. Allergy and asthma sufferers, as well as young children and the elderly tend to be more susceptible to the types of poor indoor air quality that air duct cleaning can help address.

NADCA's rule of thumb for consumers is that if your air ducts look dirty, they probably are, and that dirty HVAC systems should be inspected by a reputable, certified HVAC professional. Below are some other reasons homeowners choose to have their air ducts cleaned.

Recommend that all new home owners contact a qualified HVAC duct cleaning service.

## Recommendation

Contact a qualified professional.

## 12.2.2 Ductwork



Maintenance or Low Priority

**INTERIOR HVAC VENT MISSING OR DAMAGED COVER**

An HVAC vent register has a missing or damaged cover, leaving the duct opening exposed. This condition can lead to debris and small objects falling into the ductwork, potentially impacting airflow efficiency and indoor air quality. It also presents a minor safety hazard, particularly in homes with children or pets, and can contribute to inconsistent temperature control in the space. Recommend installation of an appropriately sized vent cover to ensure proper airflow distribution, maintain cleanliness of the system, and improve overall occupant safety and comfort.

## Recommendation

Contact a qualified HVAC professional.

## 12.3.1 Central Air Conditioner



Maintenance or Low Priority

**A/C, UNIT NOT LEVEL**

The condenser unit was not sitting level on its pad. An unlevel unit can cause strain on internal components, such as the compressor, leading to premature wear and possible failure. Adjusting or leveling the pad is recommended to protect the system.

Recommendation

Contact a qualified HVAC professional.



# 13: RADON IN IOWA

		IN	LI	MA	MD	SC
13.1	Radon Information	X				

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

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**Radon Information: Was Radon Tested At This Property?**

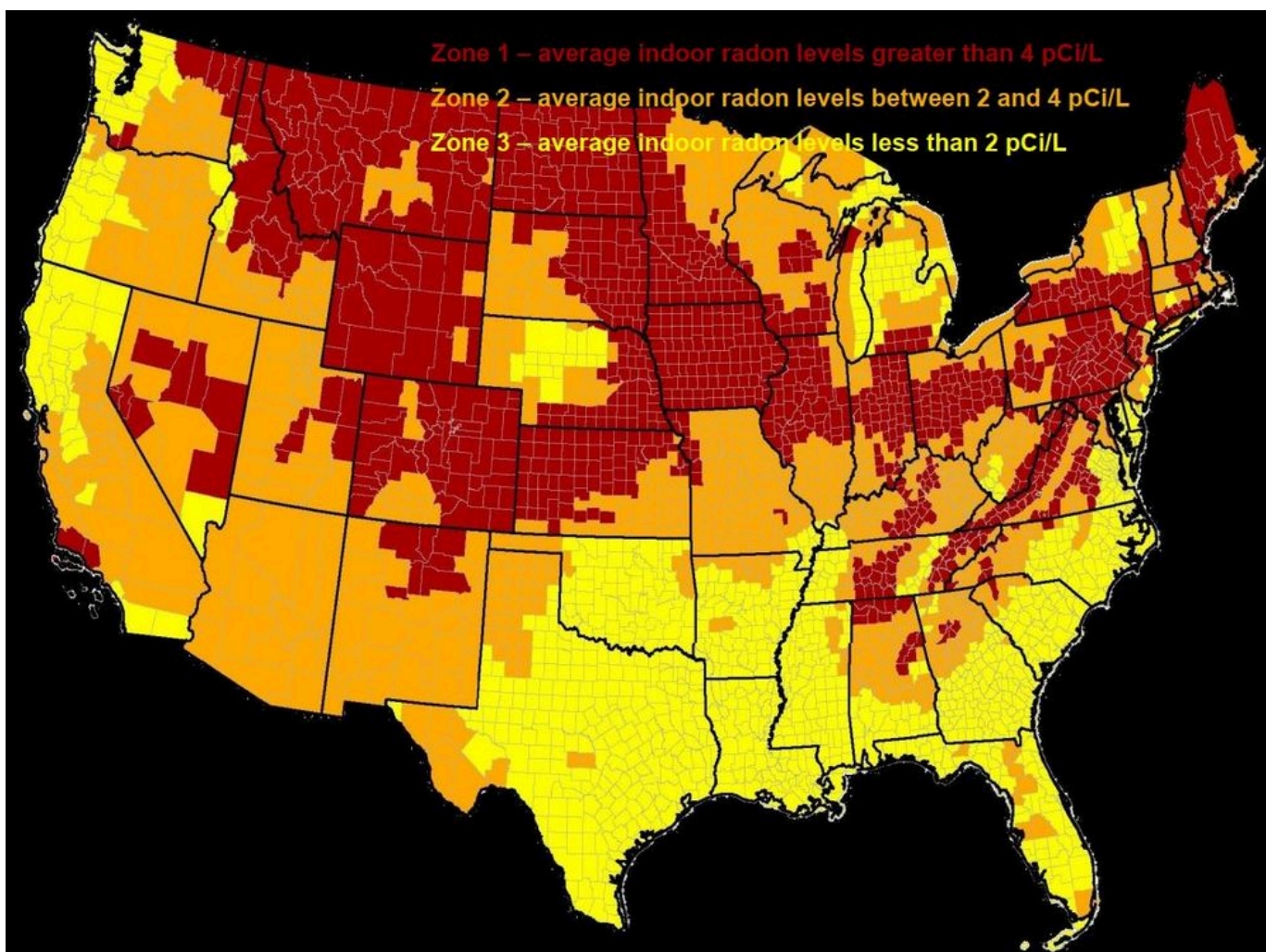
No

## Radon Information: Why Should You Have Your Home Tested In Iowa?

### What does EPA recommend?

- If you are buying a home or selling your home, have it tested for radon.
- For a new home, ask if radon-resistant construction features were used and if the home has been tested.
- Fix the home if the radon level is 4 picocuries per liter, or pCi/L, or higher.
- Radon levels less than 4 pCi/L still pose a risk, and in many cases, may be reduced.
- Take steps to prevent device interference when conducting a radon test.

The Iowa Radon Survey has indicated that Iowa has the largest percentage (or 71.6%) of homes above the US Environmental Protection Agency action level of 4pCi/L. It is also designated by the US EPA as an entirely zone 1 state, which means that at least 50% of the homes are above US EPA's recommended action level.

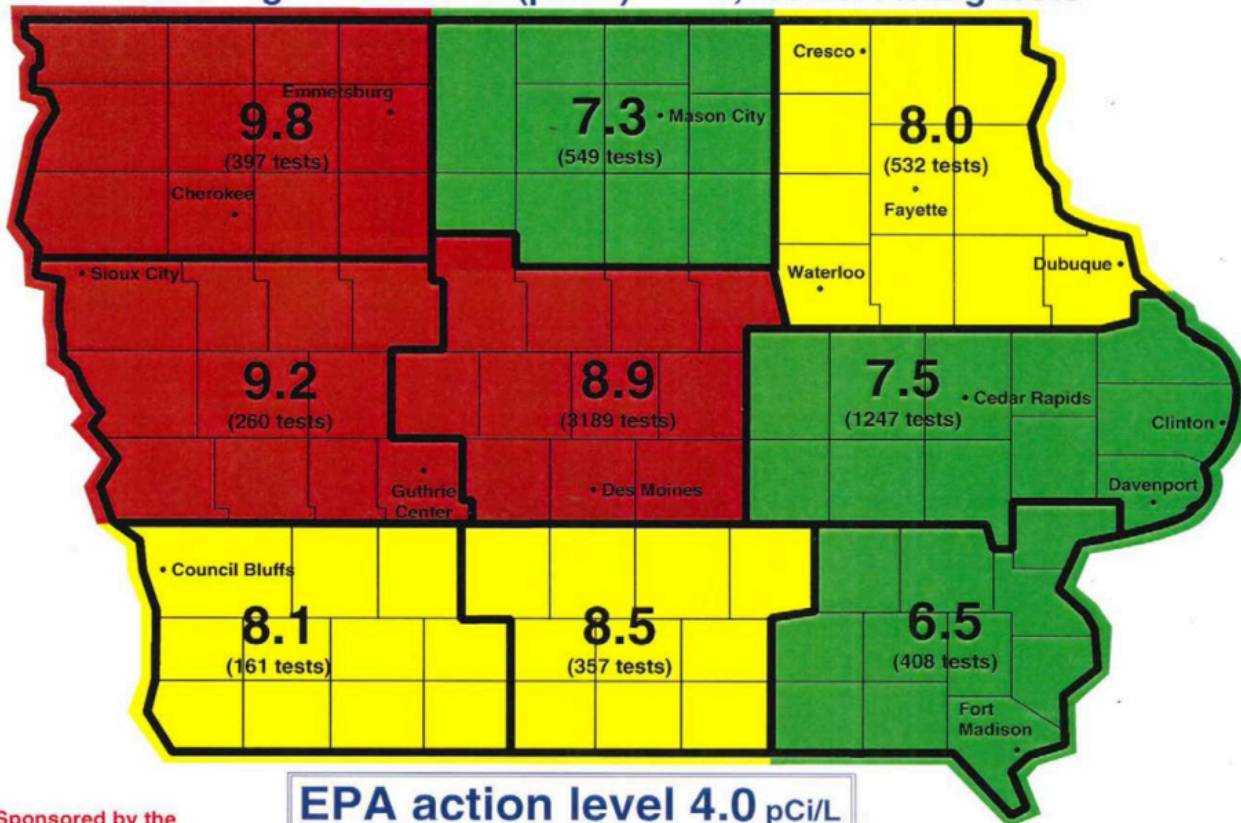


### But I Don't Have a Basement

ANY building in contact with the ground can have elevated radon levels.

# RADON IN IOWA

Average radon level (pCi/L) 7,100 screening tests



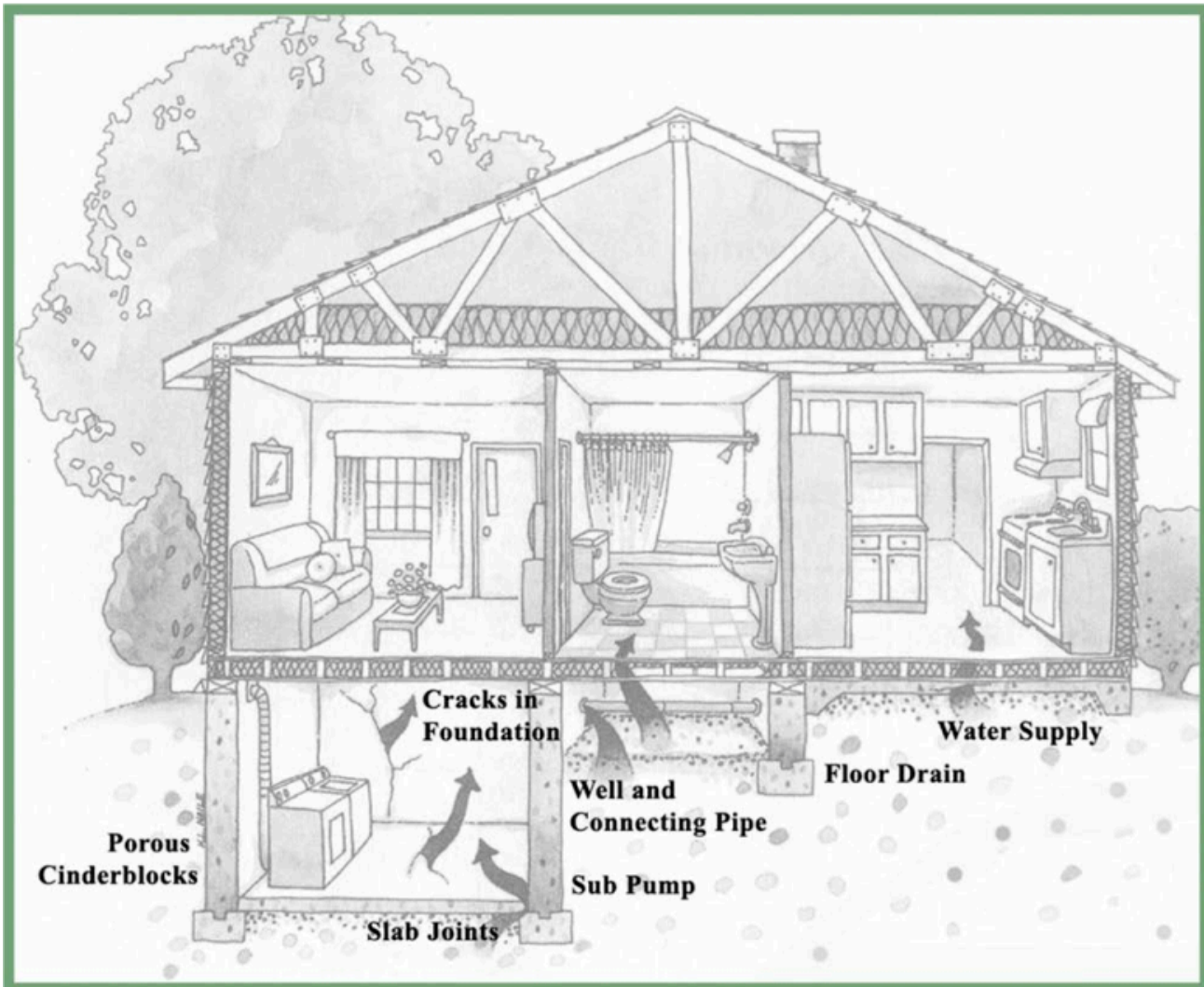
EPA action level 4.0 pCi/L

Sponsored by the Iowa Radon Coalition



**How does radon enter homes?**  
 • Radon enters homes through cracks and openings in the foundation.

openings in the foundation.  
 • Radon enters homes through unsealed sump pumps, and concrete cold joints. Homes have lower air pressure than the surrounding soil. This creates a vacuum effect allowing radon to enter the home even through hairline cracks.



Gold Shield

Inspections offers Radon testing at \$125 for all single point testing.

# 14: GOLD SHIELD INSPECTIONS INFO

						IN	LI	MA	MD	SC
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IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

### Scope of Inspections: Standards of Practice

#### 1. Definitions and Scope

1.1. A home inspection is a non-invasive, visual examination of the accessible areas of a residential property (as delineated below), performed for a fee, which is designed to identify defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. The scope of work may be modified by the Client and Inspector prior to the inspection process.

1. The home inspection is based on the observations made on the date of the inspection, and not a prediction of future conditions.
2. The home inspection will not reveal every issue that exists or ever could exist, but only those material defects/safety concerns observed on the date of the inspection.

1.3. A home inspection report shall identify, in written format, defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. Inspection reports may include additional comments and recommendations.

#### InterNACHI Standards of Practice

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# STANDARDS OF PRACTICE

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## Inspection Details

Gold Shield Inspections follows InterNACHI Standards of Practice

### Roof Systems

#### 3.1. Roof

I. The inspector shall inspect from ground level or the eaves:

- A. the roof-covering materials;
- B. the gutters;
- C. the downspouts;
- D. the vents, flashing, skylights, chimney, and other roof penetrations; and
- E. the general structure of the roof from the readily accessible panels, doors or stairs.

II. The inspector shall describe:

- A. the type of roof-covering materials.

III. The inspector shall report as in need of correction:

- A. observed indications of active roof leaks.

IV. The inspector is not required to:

- A. walk on any roof surface.
- B. predict the service life expectancy.
- C. inspect underground downspout diverter drainage pipes.
- D. remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces.
- E. move insulation.
- F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments.
- G. walk on any roof areas that appear, in the inspectors opinion, to be unsafe.
- H. walk on any roof areas if doing so might, in the inspectors opinion, cause damage.
- I. perform a water test.
- J. warrant or certify the roof.
- K. confirm proper fastening or installation of any

roof-covering material.

## Exterior

### 3.2. Exterior

#### I. The inspector shall inspect:

- A. the exterior wall-covering materials, flashing and trim;
- B. all exterior doors;
- C. adjacent walkways and driveways;
- D. stairs, steps, stoops, stairways and ramps;
- E. porches, patios, decks, balconies and carports;
- F. railings, guards and handrails;
- G. the eaves, soffits and fascia;
- H. a representative number of windows; and

I. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

#### II. The inspector shall describe:

- A. the type of exterior wall-covering materials.

#### III. The inspector shall report as in need of correction:

- A. any improper spacing between intermediate balusters, spindles and rails.

#### IV. The inspector is not required to:

- A. inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting.
- B. inspect items that are not visible or readily accessible from the ground, including window and door flashing.
- C. inspect or identify geological, geotechnical, hydrological or soil conditions.
- D. inspect recreational facilities or playground equipment.
- E. inspect seawalls, breakwalls or docks.
- F. inspect erosion-control or earth-stabilization measures.
- G. inspect for safety-type glass.
- H. inspect underground utilities.
- I. inspect underground items.
- J. inspect wells or springs.
- K. inspect solar, wind or geothermal systems.
- L. inspect swimming pools or spas.
- M. inspect wastewater treatment systems, septic systems or cesspools.
- N. inspect irrigation or sprinkler systems.
- O. inspect drainfields or dry wells.
- P. determine the integrity of multiple-pane window glazing or thermal window seals.

## Garage

Gold Shield Inspections follows InterNACHI Standards of Practice

## Attic

### 3.9. Attic, Insulation & Ventilation

#### I. The inspector shall inspect:

- A. insulation in unfinished spaces, including attics, crawlspaces and foundation areas;
- B. ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and
- C. mechanical exhaust systems in the kitchen, bathrooms and laundry area.

#### II. The inspector shall describe:

- A. the type of insulation observed; and

- B. the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.
- III. The inspector shall report as in need of correction:
  - A. the general absence of insulation or ventilation in unfinished spaces.
- IV. The inspector is not required to:
  - A. enter the attic or any unfinished spaces that are not readily accessible, or where entry could cause damage or, in the inspector's opinion, pose a safety hazard.
  - B. move, touch or disturb insulation.
  - C. move, touch or disturb vapor retarders.
  - D. break or otherwise damage the surface finish or weather seal on or around access panels or covers.
  - E. identify the composition or R-value of insulation material.
  - F. activate thermostatically operated fans.
  - G. determine the types of materials used in insulation or wrapping of pipes, ducts, jackets, boilers or wiring.
  - H. determine the adequacy of ventilation.

## **Kitchen**

[Gold Shield Inspections follows InterNACHI Standards of Practice](#)

## **Bathrooms**

[Gold Shield Inspections follows InterNACHI Standards of Practice](#)

## **Interior**

### 3.10. Doors, Windows & Interior

- I. The inspector shall inspect:
  - A. a representative number of doors and windows by opening and closing them;
  - B. floors, walls and ceilings;
  - C. stairs, steps, landings, stairways and ramps;
  - D. railings, guards and handrails; and
  - E. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.
- II. The inspector shall describe:
  - A. a garage vehicle door as manually-operated or installed with a garage door opener.
- III. The inspector shall report as in need of correction:
  - A. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
  - B. photo-electric safety sensors that did not operate properly; and
  - C. any window that was obviously fogged or displayed other evidence of broken seals.
- IV. The inspector is not required to:
  - A. inspect paint, wallpaper, window treatments or finish treatments.
  - B. inspect floor coverings or carpeting.
  - C. inspect central vacuum systems.
  - D. inspect for safety glazing.
  - E. inspect security systems or components.
  - F. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
  - G. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
  - H. move suspended-ceiling tiles.
  - I. inspect or move any household appliances.
  - J. inspect or operate equipment housed in the

garage, except as otherwise noted.

K. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.

L. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.

M. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.

N. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.

O. inspect microwave ovens or test leakage from microwave ovens.

P. operate or examine any sauna, steamgenerating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.

Q. inspect elevators.

R. inspect remote controls.

S. inspect appliances.

T. inspect items not permanently installed.

U. discover firewall compromises.

V. inspect pools, spas or fountains.

W. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.

X. determine the structural integrity or leakage of pools or spas.

## Plumbing

### 3.6. Plumbing

I. The inspector shall inspect:

A. the main water supply shut-off valve;

B. the main fuel supply shut-off valve;

C. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;

D. interior water supply, including all fixtures and faucets, by running the water;

E. all toilets for proper operation by flushing;

F. all sinks, tubs and showers for functional drainage;

G. the drain, waste and vent system; and

H. drainage sump pumps with accessible floats.

II. The inspector shall describe:

A. whether the water supply is public or private based upon observed evidence;

B. the location of the main water supply shut-off valve;

C. the location of the main fuel supply shut-off valve;

D. the location of any observed fuel-storage system; and

E. the capacity of the water heating equipment, if labeled.

III. The inspector shall report as in need of correction:

A. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;

B. deficiencies in the installation of hot and cold water faucets;

C. mechanical drain stops that were missing or did not operate if installed in sinks, lavatories and tubs; and

D. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

IV. The inspector is not required to:

- A. light or ignite pilot flames.
- B. measure the capacity, temperature, age, life expectancy or adequacy of the water heater.
- C. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems.
- D. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply.
- E. determine the water quality, potability or reliability of the water supply or source.
- F. open sealed plumbing access panels.
- G. inspect clothes washing machines or their connections.
- H. operate any valve.
- I. test shower pans, tub and shower surrounds or enclosures for leakage or functional overflow protection.
- J. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping.
- K. determine the effectiveness of anti-siphon, backflow prevention or drain-stop devices.
- L. determine whether there are sufficient cleanouts for effective cleaning of drains.
- M. evaluate fuel storage tanks or supply systems.
- N. inspect wastewater treatment systems.
- O. inspect water treatment systems or water filters.
- P. inspect water storage tanks, pressure pumps, or bladder tanks.
- Q. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.
- R. evaluate or determine the adequacy of combustion air.
- S. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves.
- T. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation.
- U. determine the existence or condition of polybutylene plumbing.
- V. inspect or test for gas or fuel leaks, or indications thereof.

## Structure

### 3.3. Basement, Foundation, Crawlspace & Structure

- I. The inspector shall inspect:
  - A. the foundation;
  - B. the basement;
  - C. the crawlspace; and
  - D. structural components.
- II. The inspector shall describe:
  - A. the type of foundation; and
  - B. the location of the access to the under-floor space.
- III. The inspector shall report as in need of correction:
  - A. observed indications of wood in contact with or near soil;
  - B. observed indications of active water penetration;
  - C. observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and
  - D. any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern.

- IV. The inspector is not required to:
- A. enter any crawlspace that is not readily accessible, or where entry could cause damage or pose a hazard to him/herself.
  - B. move stored items or debris.
  - C. operate sump pumps with inaccessible floats.
  - D. identify the size, spacing, span or location or determine the adequacy of foundation bolting, bracing, joists, joist spans or support systems.
  - E. provide any engineering or architectural service.
  - F. report on the adequacy of any structural system or component.

## Electrical

### 3.7. Electrical

I. The inspector shall inspect:

- A. the service drop;
- B. the overhead service conductors and attachment point;
- C. the service head, gooseneck and drip loops;
- D. the service mast, service conduit and raceway;
- E. the electric meter and base;
- F. service-entrance conductors;
- G. the main service disconnect;
- H. panelboards and over-current protection devices (circuit breakers and fuses);
- I. service grounding and bonding;
- J. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
- K. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
- L. smoke and carbon-monoxide detectors.

II. The inspector shall describe:

- A. the main service disconnect's amperage rating, if labeled; and
- B. the type of wiring observed.

III. The inspector shall report as in need of correction:

- A. deficiencies in the integrity of the serviceentrance conductors insulation, drip loop, and vertical clearances from grade and roofs;
- B. any unused circuit-breaker panel opening that was not filled;
- C. the presence of solid conductor aluminum branch-circuit wiring, if readily visible;
- D. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and
- E. the absence of smoke detectors.

IV. The inspector is not required to:

- A. insert any tool, probe or device into the main panelboard, sub-panels, distribution panelboards, or electrical fixtures.
- B. operate electrical systems that are shut down.
- C. remove panelboard cabinet covers or dead fronts.
- D. operate or re-set over-current protection devices or overload devices.
- E. operate or test smoke or carbon-monoxide detectors or alarms
- F. inspect, operate or test any security, fire or alarms systems or components, or other warning or signaling systems.
- G. measure or determine the amperage or voltage of the main service equipment, if not visibly

- labeled.
- H. inspect ancillary wiring or remote-control devices.
- I. activate any electrical systems or branch circuits that are not energized.
- J. inspect low-voltage systems, electrical de-icing tapes, swimming pool wiring, or any timecontrolled devices.
- K. verify the service ground.
- L. inspect private or emergency electrical supply sources, including, but not limited to: generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility.
- M. inspect spark or lightning arrestors.
- N. inspect or test de-icing equipment.
- O. conduct voltage-drop calculations.
- P. determine the accuracy of labeling.
- Q. inspect exterior lighting.

## HVAC

### 3.4. Heating

- I. The inspector shall inspect:
  - A. the heating system, using normal operating controls.
- II. The inspector shall describe:
  - A. the location of the thermostat for the heating system;
  - B. the energy source; and
  - C. the heating method.
- III. The inspector shall report as in need of correction:
  - A. any heating system that did not operate; and
  - B. if the heating system was deemed inaccessible.
- IV. The inspector is not required to:
  - A. inspect or evaluate the interior of flues or chimneys, fire chambers, heat exchangers, combustion air systems, fresh-air intakes, humidifiers, dehumidifiers, electronic air filters, geothermal systems, or solar heating systems.
  - B. inspect fuel tanks or underground or concealed fuel supply systems.
  - C. determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system.
  - D. light or ignite pilot flames.
  - E. activate heating, heat pump systems, or other heating systems when ambient temperatures or other circumstances are not conducive to safe operation or may damage the equipment.
  - F. override electronic thermostats.
  - G. evaluate fuel quality.
  - H. verify thermostat calibration, heat anticipation, or automatic setbacks, timers, programs or clocks.

### 3.5. Cooling

- I. The inspector shall inspect:
  - A. the cooling system, using normal operating controls.
- II. The inspector shall describe:
  - A. the location of the thermostat for the cooling system; and
  - B. the cooling method.
- III. The inspector shall report as in need of correction:
  - A. any cooling system that did not operate; and
  - B. if the cooling system was deemed inaccessible.
- IV. The inspector is not required to:
  - A. determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system.
  - B. inspect portable window units, through-wall units, or electronic air filters.
  - C. operate equipment or systems if the exterior temperature is below 65 Fahrenheit, or when

other circumstances are not conducive to safe operation or may damage the equipment.

D. inspect or determine thermostat calibration, cooling anticipation, or automatic setbacks or clocks.

E. examine electrical current, coolant fluids or gases, or coolant leakage.