

APN 206-150-27
1148 HOOVER STREET
EXISTING BUILDING

APN 206-180-56
4332 ADAMS STREET
PARCEL 2
PER MAP NO. 21616
UNDER SEPARATE PERMIT
PAD=72.9

APN 206-180-55
1115 HOOVER STREET
PROPOSED SINGLE-FAMILY RESIDENCE

LEGAL DESCRIPTION:

BEING A SUBDIVISION OF A PORTION OF LOT 4 IN BLOCK C OF BELLAVISTA, IN THE CITY OF CARLSBAD, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2152, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 7, 1929.

BENCHMARK:

MONUMENT IS ON TOP OF SLOPE ON THE SOUTH SIDE OF ADAMS STREET OPPOSITE HIGHLAND DRIVE 50 FEET SOUTHERLY OF INTERSECTION, 7 FEET WESTERLY OF THE EDGE OF PAVEMENT AND 50 FEET WEST OF POWER POLE NO. 312989.
BM#118 ELEV 88.671 DATUM NGVD29

AREA CALCULATION:

TOTAL LOT AREA PER PARCEL MAP:
16,082 S.F. (0.37 AC.) GROSS
15,644 S.F. (0.36 AC.) NET

LAND USE:

EXISTING LAND USE DESIGNATION: R-4
PROPOSED LAND USE DESIGNATION: R-4 SINGLE-HOME RESIDENCE
ZONING: R-1-15000

LOT COVERAGE:

	EXISTING	PROPOSED
BUILDING COVERAGE	0 S.F.	3,456 S.F.
LANDSCAPE AREA	0 S.F.	5,250 S.F.
HARDSCAPE AREA	0 S.F.	4,939 S.F.
UNIMPROVED AREA	16,082 S.F.	2,437 S.F.

GRADING / EARTHWORK:

CUT: 550 CY
FILL: 350 CY
MAX HEIGHT OF FILL SLOPE: N/A*
MAX HEIGHT OF CUT SLOPE: N/A*
EXPORT: 200
DISPOSAL SITE: TBD
*SITE HAS ALREADY BEEN ROUGH GRADED PER DWG. NO. 438-2A
QUANTITIES REFLECT EXCAVATION / FILL FOR FOUNDATION AND SITE RETAINING WALLS.

PARKING:

EXISTING PARKING SPACES: 0
PROPOSED PARKING SPACES: 4
COVERED SPACES: 3
UNCOVERED SPACES: 1

SOURCE OF TOPOGRAPHY:

TOPOGRAPHY SHOWN ON THESE PLANS WAS GENERATED BY FIELD SHOTS METHODS FROM INFORMATION GATHERED ON MARCH, 2022 BY GEOCENTRIC LAND SURVEYING.

SEE CARLSBAD OCEANVIEW ESTATES GRADING PLAN DWG. NO. 438-2A FOR EXISTING GRADING CONDITIONS.

NOTE:

THIS SHEET DEPICTS THE FINAL PRECISE GRADING DESIGN ON TOP OF ROUGH GRADING CONDITION.

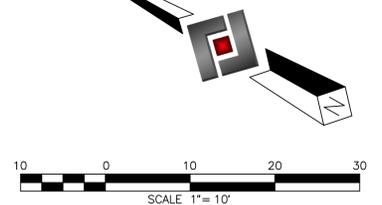
EXISTING EASEMENTS:

- 5' EASEMENT FOR PUBLIC STREET AND PUBLIC UTILITY PURPOSES.
- 10' WIDE PRIVATE INGRESS & EGRESS EASEMENT PER DOCUMENT NO. 2016-0657349, RECORDED DECEMBER 01, 2016 .0.R.

LEGEND:

- BOUNDARY LINE
- RIGHT OF WAY
- CENTERLINE
- EASEMENT LINE
- LOT LINE
- DAYLIGHT LINE
- FOUND MONUMENT AS NOTED.
- SET 1" X 18" IRON PIPE, TACK & TAG, STAMPED "LS 6281" PER MAP NO. 21616
- SET STREET SURVEY MONUMENT, STAMPED "LS 6281" PER (SDRSD M-10) PER MAP NO. 21616
- SET 2" X 24" IRON PIPE, TACK & TAG, STAMPED "LS 6281".
- EX. WATER LINE
- EX. WATER SERVICE
- EX. SEWER MAIN
- EX. SEWER MANHOLE
- EX. SEWER LATERAL
- EX. BROW DITCH
- EX. BERM
- EX. CURB & GUTTER
- EX. POWER POLE
- EX. STORM DRAIN CLEAN OUT
- EX. "B-2" INLET
- EX. "D-25" INLET
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. STREET LIGHT
- EX. STORM DRAIN LINE
- EX. TOP OF BERM ELEVATION
- EX. TOP OF CURB/ FLOW LINE ELEVATION
- EX. SEWER MAN HOLE RIM ELEVATION
- EX. EDGE OF PAVEMENT ELEVATION
- EX. SLOPE

- PROPOSED AREA DRAIN GATE
- PROPOSED CLEAN OUT
- PROPOSED AREA DRAIN LINE
- PROPOSED 12"x12" GRATE INLET
- PROPOSED MODULAR WETLAND SYSTEM
- PROPOSED SETBACK LINE
- PROPOSED RETAINING WALL PER STD DETAIL
- PROPOSED RETAINING WALL PER STRUCTURAL PLANS
- PROPOSED FREE STANDING WALL
- PROPOSED SHORING WALL
- PROPOSED EARTHEN SWALE
- PROPOSED CONCRETE
- PROPOSED LANDSCAPE AREA
- PROPOSED POOL AREA
- PROPOSED RIP RAP
- TRASH RECEPTACLE AREA
- DISPERSION AREA
- PROPOSED FINISHED GRADE ELEVATION
- PROPOSED FINISHED SURFACE
- PROPOSED TOP OF WALL/TOP OF FOOTING ELEVATION
- PROPOSED TOP OF GRATE/ INVERT ELEVATION
- PROPOSED SLOPE



RETAINING WALL HEIGHT NOTE
HEIGHTS (H=) LISTED INDICATE EXPOSED WALL HEIGHTS TO DEMONSTRATE CONFORMANCE WITH CITY OF CARLSBAD HILLSIDE DEVELOPMENT ORDINANCE AND ARE MEASURED FROM TW TO FG.

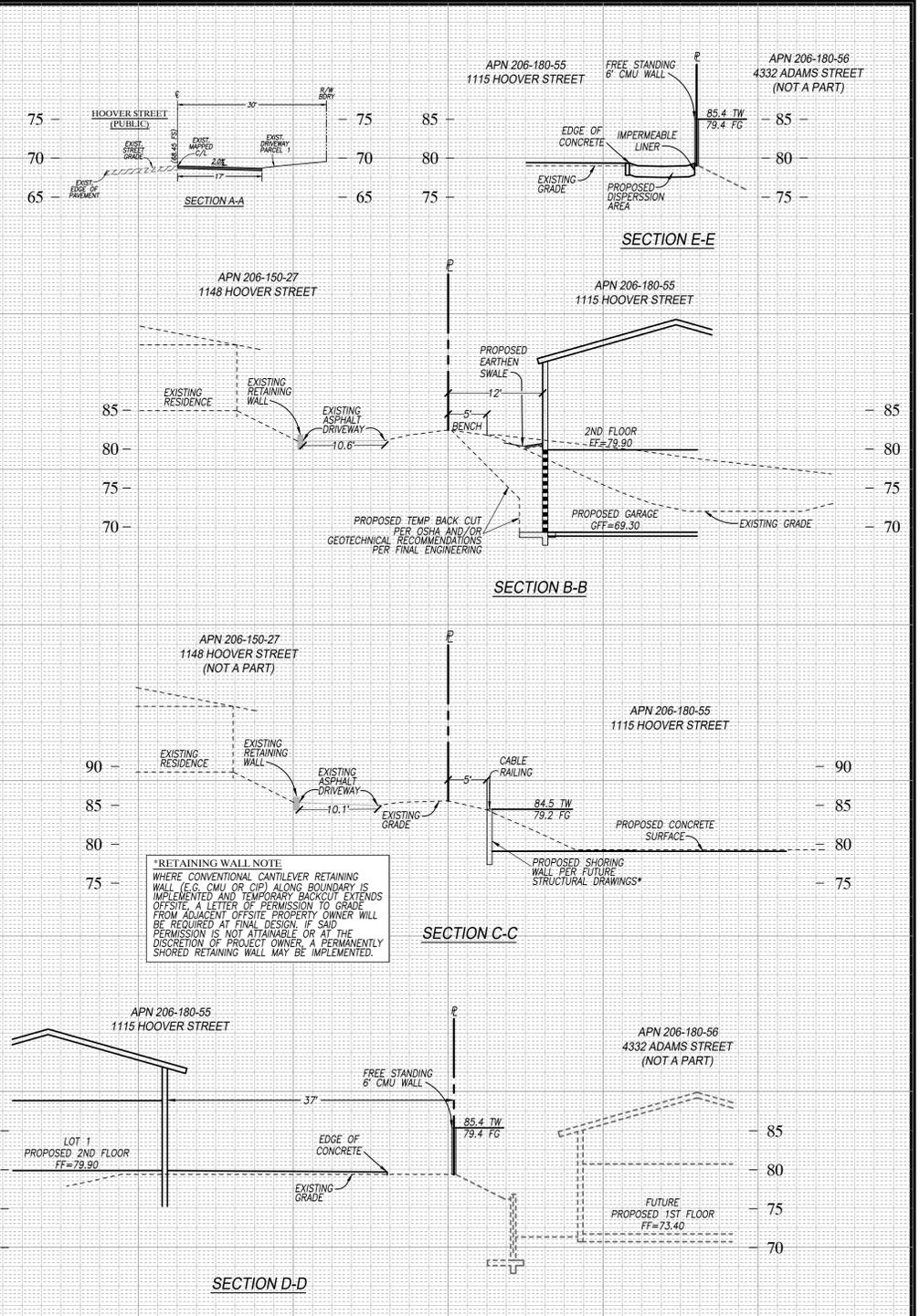
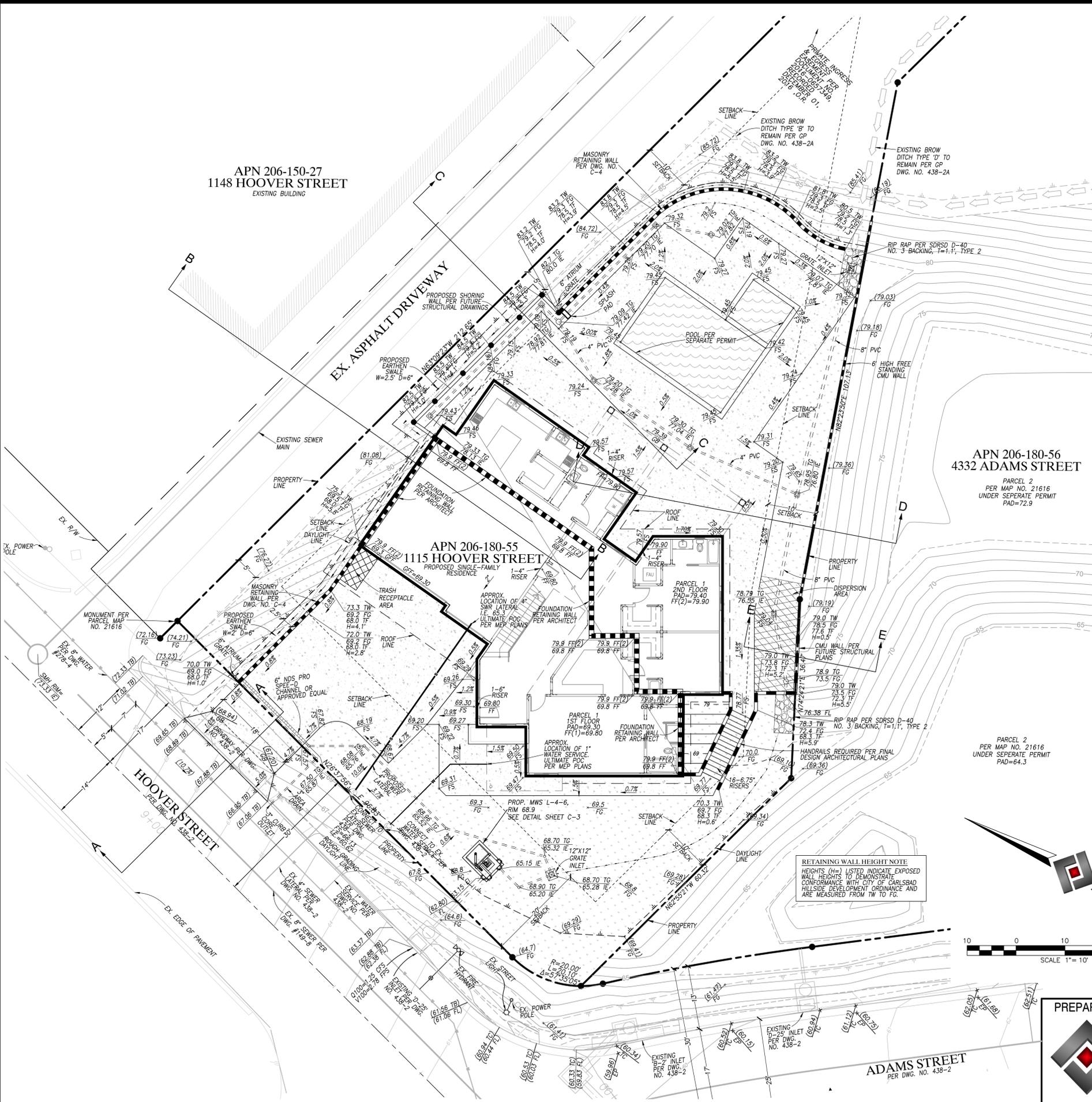
PREPARED BY:



Fusion Eng Tech
1810 Gillespie Way, #207
El Cajon, CA 92020
(619) 736-2800

CARLSBAD OCEANVIEW ESTATES
PARCEL 1
CONCEPTUAL GRADING/DRAINAGE
COVER SHEET
CITY OF CARLSBAD, CALIFORNIA

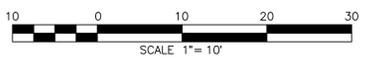
C-1



CROSS SECTION SCALES

HORIZ. : 1"=10'

VERT. : 1"=10'



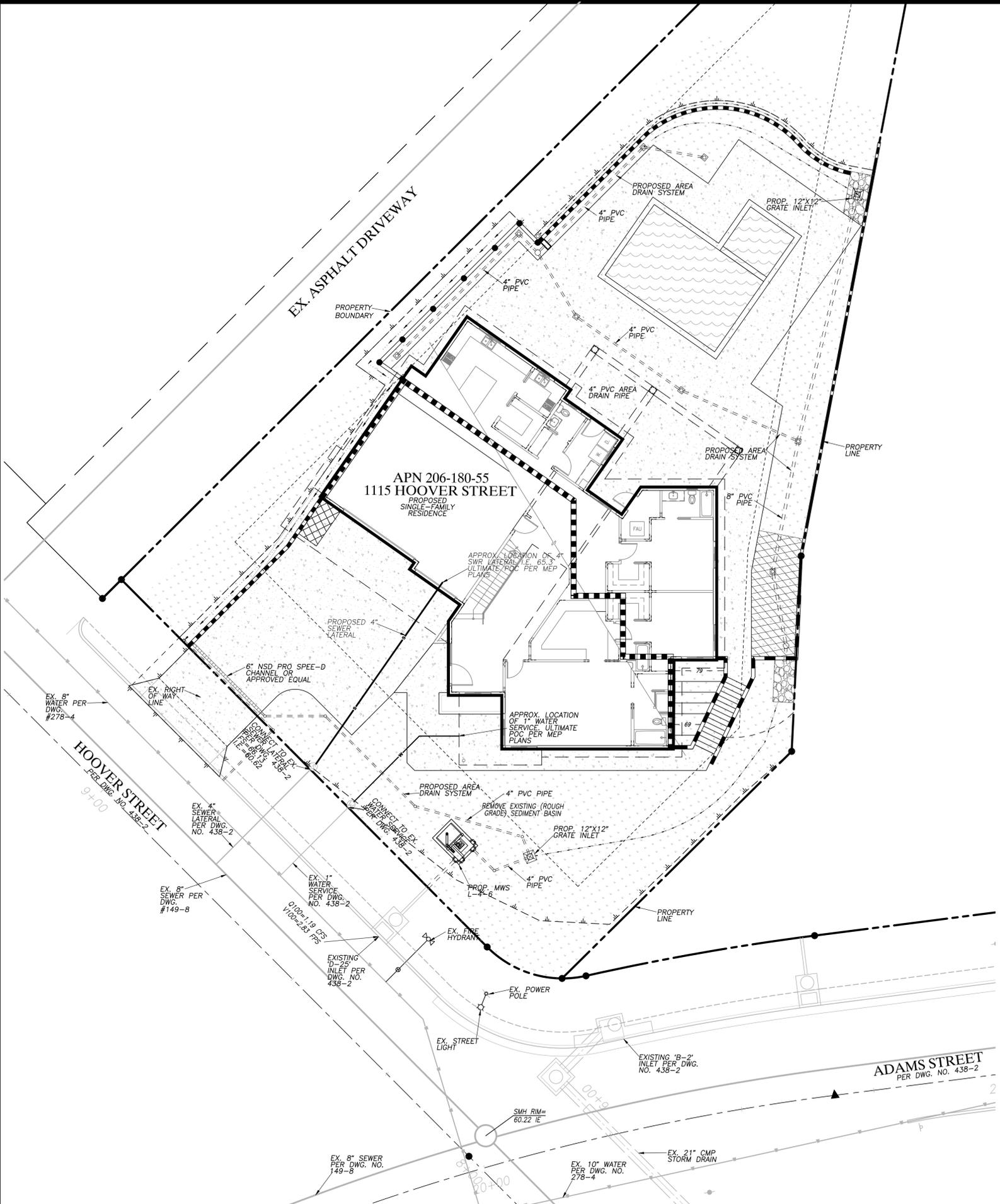
PREPARED BY:

 Fusion Eng Tech
1810 Gillespie Way, #207
El Cajon, CA 92020
(619) 736-2800

CARLSBAD OCEANVIEW ESTATES
PARCEL 1
GRADING SECTIONS
CITY OF CARLSBAD, CALIFORNIA



C-2



THIS DOCUMENT IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT A FINAL CONSTRUCTION CONTRACT

PLAN VIEW

PLAN VIEW
TOP SLAB NOT SHOWN

ELEVATION VIEW

RIGHT END VIEW

SITE DESIGN DATA	
WATER QUALITY FLOW (CFS)	0.06
PEAK FLOW RATE (CFS)	1.19
RETURN PERIOD (YRS)	100
MAXIMUM POLLUTANT DENSITY (PREFILTER) (GPM/SF)	3.0
PREFILTER LOADING RATE (GPM/SF)	2.10
WETLAND MEDIA LOADING RATE (GPM/SF)	1.00
MEDIA OPERATING HEAD (FT)	2.87
SURFACE LOADING	PEDESTRIAN
GROUNDWATER ELEVATION*	63.15
*GROUNDWATER ELEVATION IS ASSUMED. EOR TO PROVIDE IF KNOWN	

STRUCTURE DETAILS	
NUMBER OF DELIVERED PIECES (DOES NOT INCLUDE GRADE RINGS/RISERS)	2
MAXIMUM FOOTPRINT	7.00' x 5.00'
DELIVERED HEAVIEST PIECE	11425 LB.
TOP SLAB	2250 LB.
BASE SECTION	11425 LB.
*BASE SECTION SHIPPED WITH INTERNAL WALLS INSTALLED	

CONTECH
ENGINEERED SOLUTIONS LLC
A QUANTUM COMPANY

9100 Centre Pointe Ct., Suite 455, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7993 FAX

MODULAR WETLANDS MWSL0406OP - 838985-010
CARLSBAD OCEANVIEW ESTATES
CARLSBAD, CA
SITE DESIGNATION: BF-3-1

NO.	DATE	REVISION DESCRIPTION	BY

NOTES:

CONSTRUCT SEWER CLEANOUT PER CITY OF CARLSBAD ENGINEERING DESIGN STANDARDS VOLUME 3 STANDARD DRAWING S-7.

CONSTRUCT BACKFLOW DEVICE PER CITY OF CARLSBAD ENGINEERING DESIGN STANDARDS VOLUME 3 STANDARD DRAWING W-5.

CONSTRUCT WATER METER PER CITY OF CARLSBAD ENGINEERING DESIGN STANDARDS VOLUME 3 STANDARD W-3. WATER METER LOCATION TO BACK OF ROW LINE AS SHOWN IN W-3.

VERIFY IF WATER SERVICE AND SEWER LATERAL WERE CONSTRUCTED PER DWG 438-2. LABEL WATER AND SEWER SERVICE SIZE, MATERIAL, AND DRAWING NUMBER.

VERIFY IF DWG 438-2 WAS CONSTRUCTED.

PRIVATE POTABLE WATER, RECYCLED WATER, AND SEWER SHOWN IS PRIVATE AND SHOWN FOR REFERENCE ONLY. PRIVATE UTILITIES WILL BE REVIEWED, APPROVED, AND CONSTRUCTED UNDER SEPARATE PLAN AND PERMIT SUBMITTAL.

<p>PREPARED BY:</p>	<p>Fusion Eng Tech 1810 Gillespie Way, #207 El Cajon, CA 92020 (619) 736-2800</p>	<p>CARLSBAD OCEANVIEW ESTATES PARCEL 1 COMPOSITE UTILITY PLAN</p> <p>CITY OF CARLSBAD, CALIFORNIA</p>
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C-3

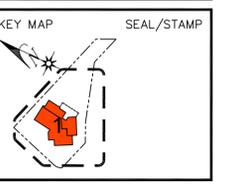


W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 608-7118 FAX: (909) 946-1137

PROJECT: CARLSBAD OCEAN ESTATES
NEW SINGLE FAMILY HOUSE
DEVELOPMENT (LOT 1)
ADDRESS: 1115 HOOVER ST.
CARLSBAD, CA 92008
CLIENT: W&W LAND DESIGN CONSULTANTS INC.
2335 W. FOOTHILL BLVD., SUITE 1,
UPLAND, CA 91786

ENLARGED SITE PLAN



JOB NO.	2405
DRAWN BY:	CL
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK:	
PERMIT SET:	
BID SET:	

REVISIONS	
△	OWNER REVIEW MAR 7, 2024
△	PLANNING IN-TAKE REVIEW JUN 26, 2024
△	OWNER REVIEW JUL 24, 2024
△	OWNER MEETING AUG 2, 2024
△	PLANNING SUBMITTAL AUG 8, 2024
△	OWNER REVIEW NOV 13, 2024
△	PLANNING RE-SUBMITTAL DEC 24, 2024
△	PLANNING RE-SUBMITTAL APR 14, 2025
△	PLANNING RE-SUBMITTAL JUN 3, 2025

SHEET NO:

A1.02

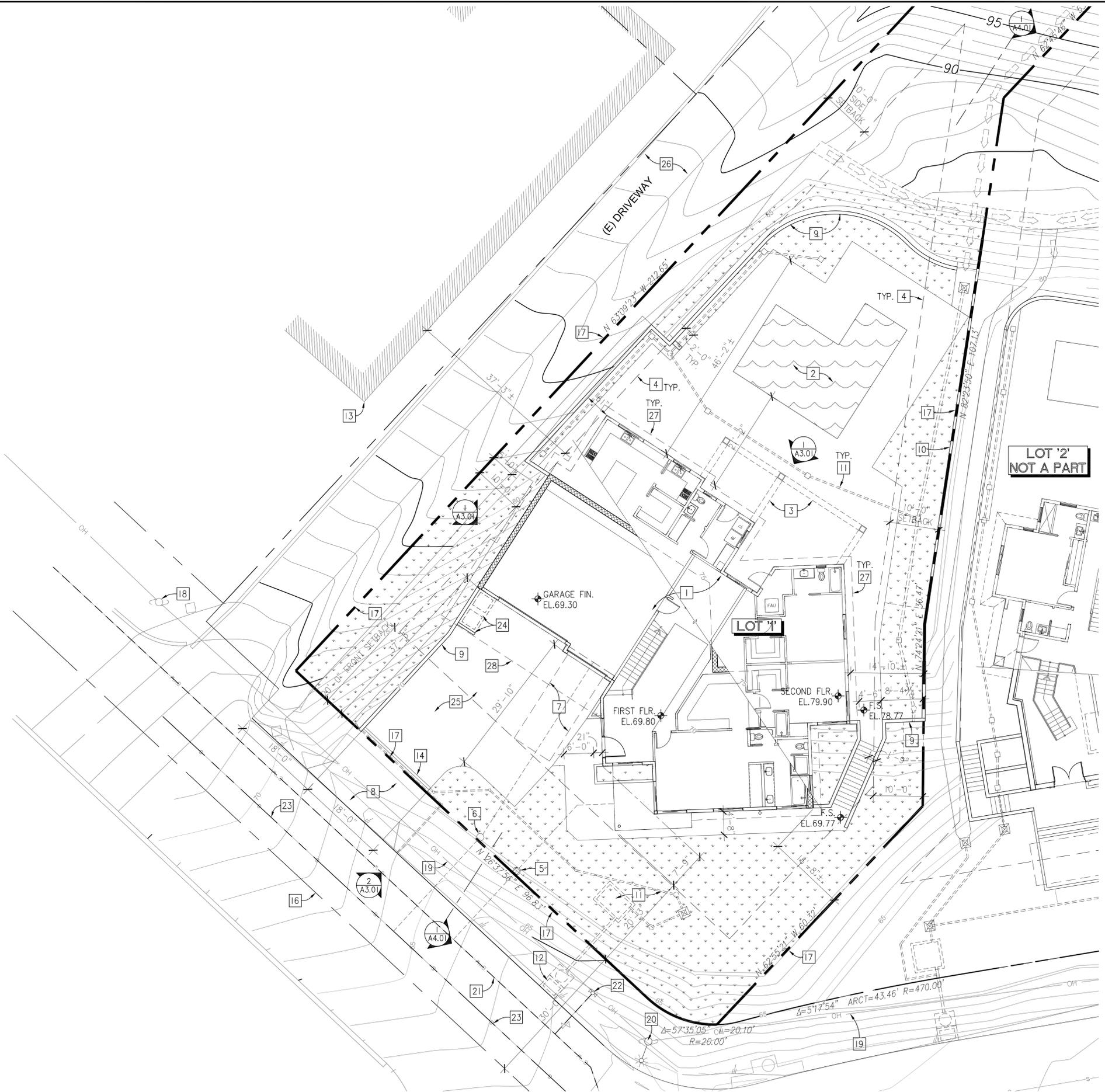
OF SHEETS
S H E E T

Reference Notes

- 1 PROPOSED SINGLE FAMILY HOUSE.
- 2 PROPOSED POOL, UNDER SEPARATE PERMIT.
- 3 PROPOSED TRELLIS.
- 4 SETBACK LINE.
- 5 PROPOSED WATER CONNECTION & METER.
- 6 PROPOSED SEWER CONNECTION.
- 7 PROPOSED OPEN PARKING SPACE MIN. 8'-6"x20'-0".
- 8 PROPOSED DRIVEWAY APPROACH, SEE CIVIL PLAN.
- 9 PROPOSED RETAINING WALL.
- 10 PROPOSED 6'-0" SPLIT-FACE CMU FENCE WALL.
- 11 PROPOSED SITE STORM DRAIN SYSTEM, SEE CIVIL PLAN.
- 12 (E) STORM DRAIN SYSTEM, SEE CIVIL PLAN.
- 13 (E) STRUCTURE, NOT A PART.
- 14 PROPOSED DRAIN CHANNEL, SEE CIVIL PLAN.
- 15 NOT USED.
- 16 (E) STREET C.
- 17 (E) PROPERTY LINE, SEE CIVIL PLAN.
- 18 (E) POWER POLE.
- 19 (E) OVERHEAD LINE.
- 20 (E) STREET LIGHT, SEE CIVIL PLAN.
- 21 (E) WATER MAIN, SEE CIVIL PLAN.
- 22 (E) FIRE HYDRANT, SEE CIVIL PLAN.
- 23 (E) SEWER LINE SEE CIVIL PLAN..
- 24 PROPOSED TRASH & RECYCLE BINS STORAGE AREA W/ 6'-0" SPLIT FACE CMU SCREEN ON STREET SIDE.
- 25 CONC. PAVED DRIVEWAY AND TURN AROUND AREA.
- 26 (E) DRIVEWAY TO REMAIN.
- 27 ROOF EAVE, 24" PROJECTION MAX.
- 28 DASH LINE INDICATE OPEN DECK ABOVE.

Legend

- LANDSCAPE AREA
- (E) FIRE HYDRANT



Enlarged Site Plan

SCALE: 1" = 10'-0"

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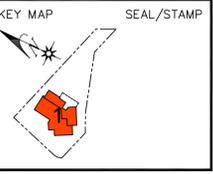
PROJECT: CARLSBAD OCEAN ESTATES
NEW SINGLE FAMILY HOUSE
DEVELOPMENT (LOT 1)

ADDRESS: 1115 HOOVER ST.,
CARLSBAD, CA 92008

CLIENT: W&W LAND DESIGN CONSULTANTS INC.
2335 W. FOOTHILL BLVD., SUITE 1,
UPLAND, CA 91786

ROOF PLAN

SHEET TITLE:



JOB NO.	2405
DRAWN BY:	CL
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	____/____
PERMIT SET	____/____
BID SET	____/____

REVISIONS

△	OWNER REVIEW	MAR 7, 2024
△	PLANNING IN-TAKE REVIEW	JUN 26, 2024
△	OWNER REVIEW	JUL 24, 2024
△	OWNER MEETING	AUG 2, 2024
△	PLANNING SUBMITTAL	AUG 8, 2024
△	OWNER REVIEW	NOV 13, 2024
△	PLANNING RE-SUBMITTAL	DEC 24, 2024
△	PLANNING RE-SUBMITTAL	APR 14, 2025
△	PLANNING RE-SUBMITTAL	JUN 3, 2025

SHEET NO:

A2.02

OF SHEETS
S H E E T

Reference Notes

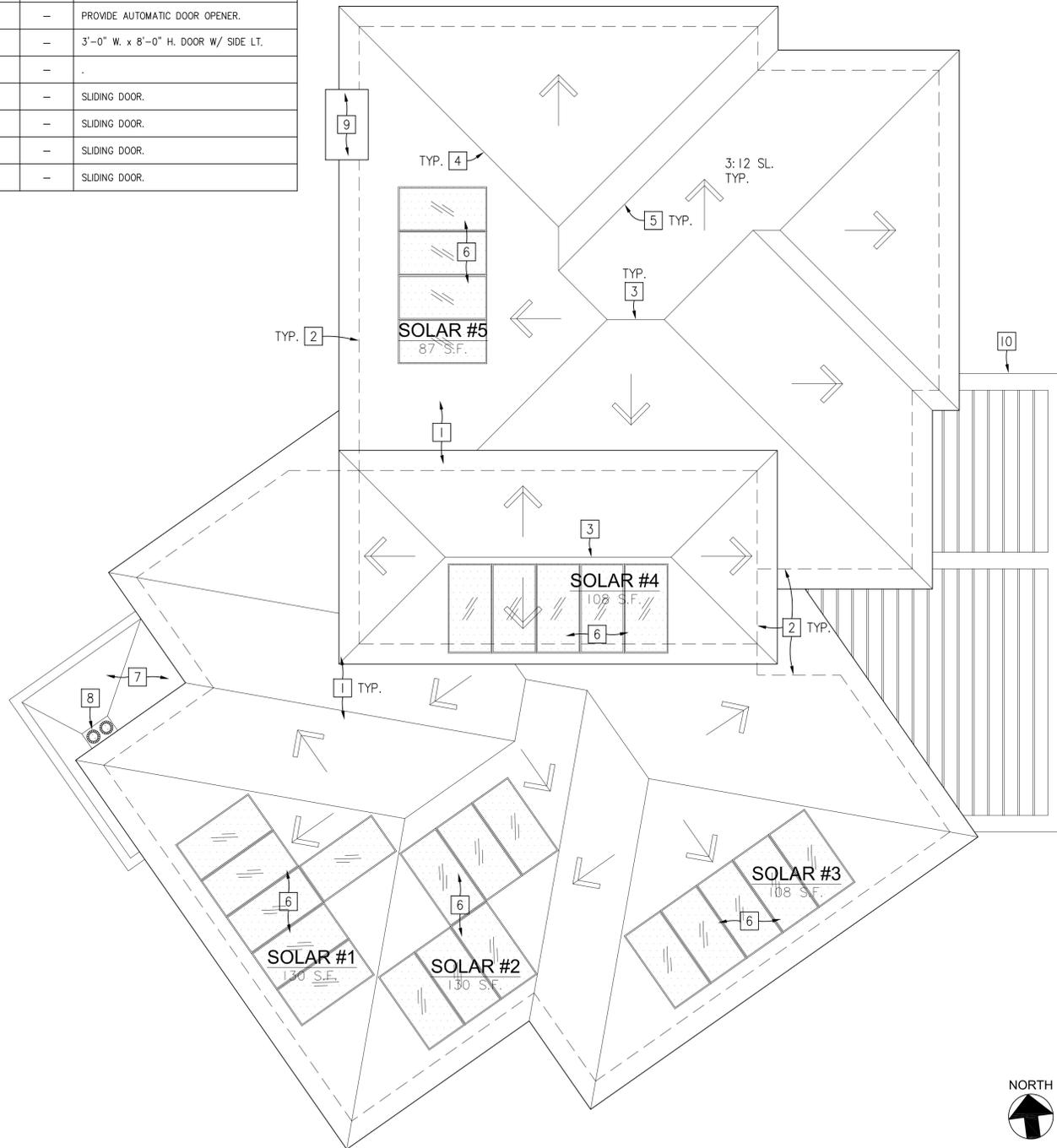
- 1 METAL ROOF, 3:12 SLOPE DOWN.
AEP SPAN ROOFING OR APPROVED EQ.
COLOR: SLATE GRAY, CRR # 0818-0057
SRI: 32, SRI 3YR AGED: 22, LRV: 12, GA: 24 & 22
- 2 DASH LINE INDICATE FACE OF WALL BELOW.
- 3 ROOF RIDGE.
- 4 ROOF HIP.
- 5 ROOF VALLEY.
- 6 PROPOSED SOLAR ZONE AT 4 LOCATIONS.
TOTAL ROOF AREA = 3,751± S.F.
REQUIRED SOLAR ZONE (MIN. 15%)
= 3,751 S.F. x 0.15 = 562 S.F.
PROVIDED AREA = 563 S.F. (26 PANELS x 21.69 S.F.)
REQUIRED KWDC = (4,419 S.F.x0.572)/1000 + (1.15x1 UNIT)
= 3.68 KWDC
- 7 CLASS 'A' ULTRAPLY TPO (THERMOPLASTIC POLYOLEFIN)
SINGLE-PLY ROOFING MEMBRANES BY FIRESTONE BUILDING
PRODUCTS OR APPROVED EQUAL., ESR-2831
CRR # 0608-0008
INITIAL SOLAR REFLECTANCE: 0.79
3 YEAR SOLAR REFLECTANCE: 0.68
THERMAL EMITTANCE: 0.85
3 YEAR THERMAL EMITTANCE: 0.83
INITIAL SRI: 98
3 YEAR SRI: 83
- 8 ROOF DRAIN & OVER FLOW.
- 9 CHIMNEY CAP, SEE 6/A4.01
- 10 TRELLIS BELOW, SEE 4/A4.01

Window Schedule

No.	Size (W. X H.)		Type	Frame		Glazing		Fire Rating	Hardware Group	Total No.	Remark	
	WIDTH	HEIGHT		MATERIAL	FINISH	MATERIAL	FINISH					
A	4'-0"	x 10'-0"	-	ALUM.	ANODIZED BRONZE	3/4"	DUAL GLAZING, LOW-E	TINTED LT GREEN	-	-	-	3'-0" W. x 8'-0" H. DOOR.
B	7'-6"	x 6'-0"	-	ALUM.	ANODIZED BRONZE	3/4"	DUAL GLAZING, LOW-E	TINTED LT GREEN	-	-	-	FIXED.
C	6'-0"	x 6'-0"	-	ALUM.	ANODIZED BRONZE	3/4"	DUAL GLAZING, LOW-E	TINTED LT GREEN	-	-	-	SLIDER.
D	2'-0"	x 6'-6"	-	ALUM.	ANODIZED BRONZE	3/4"	DUAL GLAZING, LOW-E	TINTED LT GREEN	-	-	-	SLIDER.
E	3'-0"	x 6'-0"	-	ALUM.	ANODIZED BRONZE	3/4"	DUAL GLAZING, LOW-E	TINTED LT GREEN	-	-	-	SLIDER.
F	4'-0"	x 6'-0"	-	ALUM.	ANODIZED BRONZE	3/4"	DUAL GLAZING, LOW-E	TINTED LT GREEN	-	-	-	SLIDER.
G	5'-0"	x 6'-0"	-	ALUM.	ANODIZED BRONZE	3/4"	DUAL GLAZING, LOW-E	TINTED LT GREEN	-	-	-	SLIDER.
H	6'-0"	x 3'-6"	-	ALUM.	ANODIZED BRONZE	3/4"	DUAL GLAZING, LOW-E	TINTED LT GREEN	-	-	-	SLIDER.
J	8'-0"	x 6'-0"	-	ALUM.	ANODIZED BRONZE	3/4"	DUAL GLAZING, LOW-E	TINTED LT GREEN	-	- </tr		

Door Schedule

No.	Size (W. X H.)		Type	Door			Frame		Fire Rating	Hardware Group	Total No.	Remark & Door Notes
	WIDTH	HEIGHT		THICKNESS	MATERIAL	FINISH	GLAZING	Material				
1	9'-0"	x 7'-0"	-	-	ALUM	POWDER COATED	TEMP.	WOOD	PAINTED	-	-	PROVIDE AUTOMATIC DOOR OPENER.
2	16'-0"	x 7'-0"	-	-	ALUM	POWDER COATED	TEMP.	WOOD	PAINTED	-	-	PROVIDE AUTOMATIC DOOR OPENER.
3	RP 4'-0"	x 7'-0"	-	1 3/4"	WOOD	PRE-FINISHED	TEMP	WOOD	PRE-FINISHED	-	-	3'-0" W. x 8'-0" H. DOOR W/ SIDE LT.
4	3'-0"	x 10'-0"	-	1 3/4"	WOOD	PAINTED	DUAL GLAZING, LOW-E, TEMP.	WOOD	PAINTED	-	-	.
5	6'-0"	x 7'-0"	-	-	ALUM.	ANODIZED BLACK	DUAL GLAZING, LOW-E, TEMP.	ALUM	ANODIZED	-	-	SLIDING DOOR.
6	6'-0"	x 10'-0"	-	-	ALUM.	ANODIZED BLACK	DUAL GLAZING, LOW-E, TEMP.	ALUM	ANODIZED	-	-	SLIDING DOOR.
7	8'-0"	x 10'-0"	-	-	ALUM.	ANODIZED BLACK	DUAL GLAZING, LOW-E, TEMP.	ALUM	ANODIZED	-	-	SLIDING DOOR.
8	5'-0"	x 10'-0"	-	-	ALUM.	ANODIZED BLACK	DUAL GLAZING, LOW-E, TEMP.	ALUM	ANODIZED	-	-	SLIDING DOOR.



Roof Plan

SCALE: 3/16" = 1'-0"

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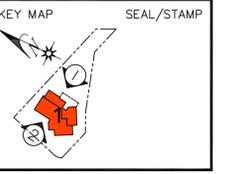
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NEW SINGLE FAMILY HOUSE
DEVELOPMENT (LOT 1)

ADDRESS: 1115 HOOVER ST.,
CARLSBAD, CA 92008

CLIENT: W&W LAND DESIGN CONSULTANTS INC.
2335 W. FOOTHILL BLVD., SUITE 1,
UPLAND, CA 91786

EAST & WEST/ SOUTH
ELEVATIONS

SHEET TITLE:



JOB NO.	2405
DRAWN BY:	CL
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	_____
PERMIT SET	_____
BID SET	_____

REVISIONS	
OWNER REVIEW	MAR 7, 2024
PLANNING IN-TAKE REVIEW	JUN 26, 2024
OWNER REVIEW	JUL 24, 2024
OWNER MEETING	AUG 2, 2024
PLANNING SUBMITTAL	AUG 8, 2024
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PLANNING RE-SUBMITTAL	DEC 24, 2024
PLANNING RE-SUBMITTAL	APR 14, 2025
PLANNING RE-SUBMITTAL	JUN 3, 2025

SHEET NO:

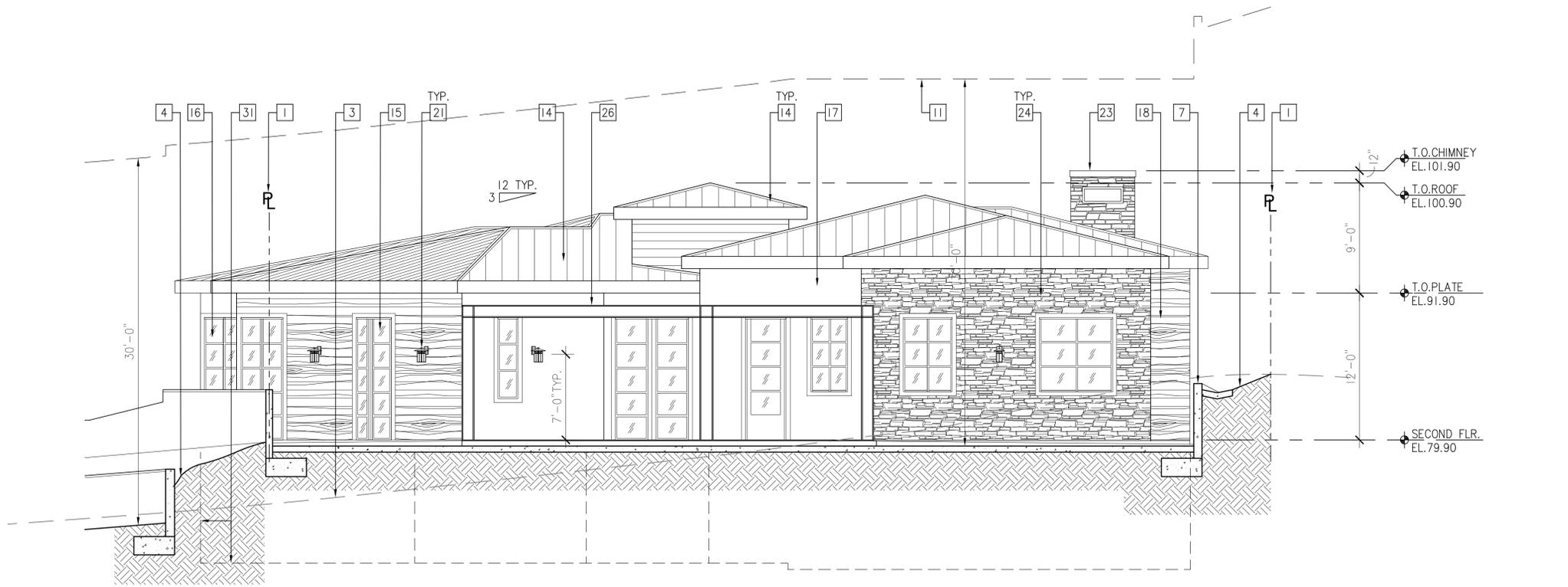
A3.01

OF SHEETS
S H E E T

Reference Notes

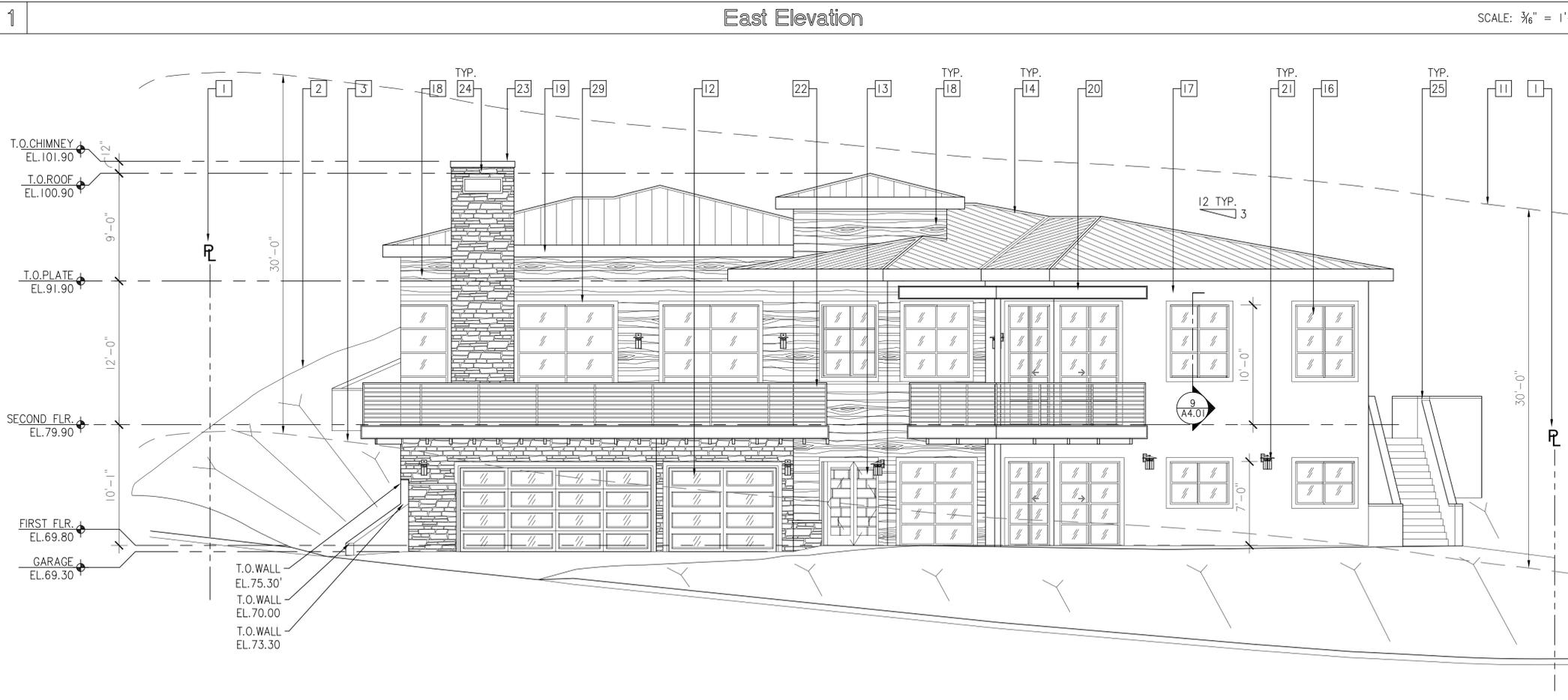
- 1 (E) PROPERTY LINE.
- 2 (E) GRADE TO REMAIN.
- 3 LIGHT DASH LINE INDICATE (E) GRADE.
- 4 PROPOSED FINISH GRADE.
- 5 PROPOSED FINISH GRADE BEYOND.
- 6 PROPOSED FINISH CONC. SLAB PAVING.
- 7 PROPOSED RETAINING WALL, SEE CIVIL PLAN.
- 8 PROPOSED RETAINING WALL BEYOND.
- 9 PROPOSED CONC. SWALE, SEE CIVIL PLAN.
- 10 DASH LINE INDICATE FINISH FLOOR BEYOND.
- 11 DASH DOT LINE INDICATE 30'-0" HEIGHT LIMIT.
- 12 SECTIONAL GARAGE DOOR W/ GLASS PANEL
CLOPAY: ALUMINUM & GLASS GARAGE DOORS,
COLOR: SW 7076 CYBERSPACE
- 13 CUSTOM SOLID WOOD ENTRY DOOR W/ GLASS PANEL.
COLOR: MAHOGANY
- 14 STANDING SEAM METAL ROOFING BY AEP SPAN
DESIGN SPAN HP 16" O.C. OR APPROVED EQUAL,
COLOR: SLATE GRAY, CRRC # 0818-0057
SRI: 22, SRI 3YR AGED: 22, LRV: 12, GA: 24 & 22
- 15 ALUM. PATIO DOOR BY MILGARD OR APPROVED EQUAL
COLOR: BRONZE
- 16 ALUM. WINDOW BY MILGARD OR APPROVED EQUAL, SEE 9&10
COLOR: BRONZE
- 17 STUCCO W/ PAINT FINISH BY LAHABRA
TEXTURE: SANTA BARBARA MISSION FINISH
COLOR: SW 7551 GREEK VILLA 254-C1 BY SHERWIN-WILLIAMS
- 18 ALUM. CLADDING SYSTEM BY KNOTWOOD.
COLOR: LIGHT OAK
- 19 ROOF EAVE FASCIA BOARD W/ PAINT FINISH, SEE 5
COLOR: SW 2848, ROYCROFT PEWTER
- 20 STEEL CANOPY & STEEL COLUMN W/ PAINT FINISH, SEE 12A
COLOR: SW 2848, ROYCROFT PEWTER
- 21 EXTERIOR LIGHT FIXTURE BY MISENO OR APPROVED EQUAL
MISENO - CORDOVA COLLECTION 16"
MODEL: ML5776EL-CHBR
- 22 42" HT. METAL RAILING, SEE 8
COLOR: SW 6258 TRICORN BLACK
- 23 SHEET METAL CHIMNEY CAP W/ PAINT FINISH, SEE 6
COLOR: SW 2848, ROYCROFT PEWTER
- 24 STONE VENEER BY CORONADO STONE OR APPROVED EQUAL.
COLOR: VIRGINIA LEDGE, COLOR: ASPEN
- 25 SPLIT FACE CMU WALL W/ PRECAST CONC. CAP, SEE 12B
COLOR: WHITE
- 26 STEEL TRELLIS & STEEL COLUMN W/ PAINT FINISH, SEE 4
COLOR: SW 2848, ROYCROFT PEWTER
- 27 ENTRY INSULFOAM MOULDING W/ PAINT FINISH, SEE 11
COLOR: SW 2848, ROYCROFT PEWTER
- 28 INSULFOAM MOULDING W/ PAINT FINISH,
COLOR: SW 2848, ROYCROFT PEWTER
- 29 INSULFOAM MOLDING W/ PAINT FINISH, SEE 7 & 9&10
AROUND DOOR & WINDOW OPENING
COLOR: SW 2848, ROYCROFT PEWTER
- 30 BUILDING HEIGHT MEASURED FROM HIGHEST POINT OF THE
BUILDING TO (N) OR (E) LOWEST ADJACENT GRADE.
- 31 DASH LINE INDICATE 1/2 RETAINING WALL & FINISH FLOOR.

TYPE OF CONSTRUCTION: VB (CBC 2022 SECTION 602.5)
OCCUPANCY GROUP: R3 (CBC 2022 SECTION 310.4)



East Elevation

SCALE: 3/16" = 1'-0"



West/South Elevation

SCALE: 3/16" = 1'-0"

1

2



W&W LAND DESIGN CONSULTANTS INC.
ARCHITECTURE, CIVIL ENGINEERING & INTERIOR

2335 W. FOOTHILL BLVD., STE 1, UPLAND, CA 91786
PHONE: (909) 608-7118 FAX: (909) 946-1137

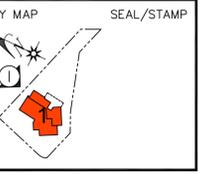
PROJECT: CARLSBAD OCEAN ESTATES
NEW SINGLE FAMILY HOUSE
DEVELOPMENT (LOT 1)

ADDRESS: 1115 HOOVER ST.,
CARLSBAD, CA 92008

CLIENT: W&W LAND DESIGN CONSULTANTS INC.
2335 W. FOOTHILL BLVD., SUITE 1,
UPLAND, CA 91786

NORTH ELEVATION

SHEET TITLE:



JOB NO.	2405
DRAWN BY:	CL
SUPERVISED BY:	TL
CHECKED BY:	TL
PLAN CHECK	____/____
PERMIT SET	____/____
BID SET	____/____

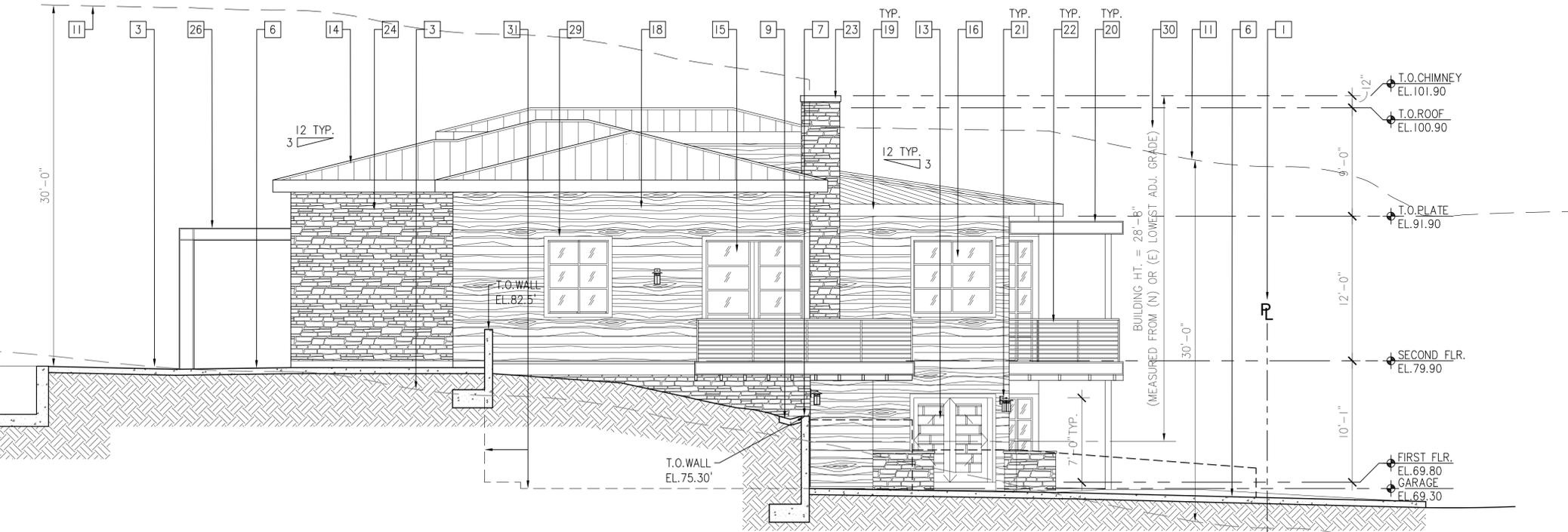
REVISIONS

△	OWNER REVIEW	MAR 7, 2024
△	PLANNING IN-TAKE REVIEW	JUN 26, 2024
△	OWNER REVIEW	JUL 24, 2024
△	OWNER MEETING	AUG 2, 2024
△	PLANNING SUBMITTAL	AUG 8, 2024
△	OWNER REVIEW	NOV 13, 2024
△	PLANNING RE-SUBMITTAL	DEC 24, 2024
△	PLANNING RE-SUBMITTAL	APR 14, 2025
△	PLANNING RE-SUBMITTAL	JUN 3, 2025

ALL DETAILS, REVISIONS, AMENDMENTS AND PLANS ARE THE PROPERTY OF W&W LAND DESIGN CONSULTANTS INC. AND SHALL REMAIN THE PROPERTY OF W&W LAND DESIGN CONSULTANTS INC. FOR CONSTRUCTION PURPOSES ONLY. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF W&W LAND DESIGN CONSULTANTS INC. THESE DRAWINGS ARE NOT VALID FOR CONSTRUCTION PURPOSES UNLESS EXPRESSLY CERTIFIED BY W&W LAND DESIGN CONSULTANTS INC. FOR CONSTRUCTION PURPOSES.

Reference Notes

- 1 (E) PROPERTY LINE.
- 2 (E) GRADE TO REMAIN.
- 3 LIGHT DASH LINE INDICATE (E) GRADE.
- 4 PROPOSED FINISH GRADE.
- 5 PROPOSED FINISH GRADE BEYOND.
- 6 PROPOSED FINISH CONC. SLAB PAVING.
- 7 PROPOSED RETAINING WALL, SEE CIVIL PLAN.
- 8 PROPOSED RETAINING WALL BEYOND.
- 9 PROPOSED CONC. SWALE, SEE CIVIL PLAN.
- 10 DASH LINE INDICATE FINISH FLOOR BEYOND.
- 11 DASH DOT LINE INDICATE 30'-0" HEIGHT LIMIT.
- 12 SECTIONAL GARAGE DOOR W/ GLASS PANEL
CLOPAY: ALUMINUM & GLASS GARAGE DOORS,
COLOR: SW 7076 CYBERSPACE
- 13 CUSTOM SOLID WOOD ENTRY DOOR W/ GLASS PANEL.
COLOR: MAHOGANY
- 14 STANDING SEAM METAL ROOFING BY AEP SPAN
DESIGN SPAN HP 16" O.C. OR APPROVED EQUAL,
COLOR: SLATE GRAY, CRRG # 0818-0057
SRI: 22, SRI 3YR AGED: 22, LRV: 12, GA: 24 & 22
- 15 ALUM. PATIO DOOR BY MILGARD OR APPROVED EQUAL
COLOR: BRONZE
- 16 ALUM. WINDOW BY MILGARD OR APPROVED EQUAL, SEE 9&10
COLOR: BRONZE
- 17 STUCCO W/ PAINT FINISH BY LAHABRA
TEXTURE: SANTA BARBARA MISSION FINISH
COLOR: SW 7551 GREEK VILLA 254-C1 BY SHERWIN-WILLIAMS
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TYPE OF CONSTRUCTION: VB (CBC 2022 SECTION 602.5)
OCCUPANCY GROUP: R3 (CBC 2022 SECTION 310.4)

North Elevation

SCALE: 3/16" = 1'-0"

1

SHEET NO:

A3.02

OF SHEETS
S H E E T



VICINITY MAP NTS NORTH

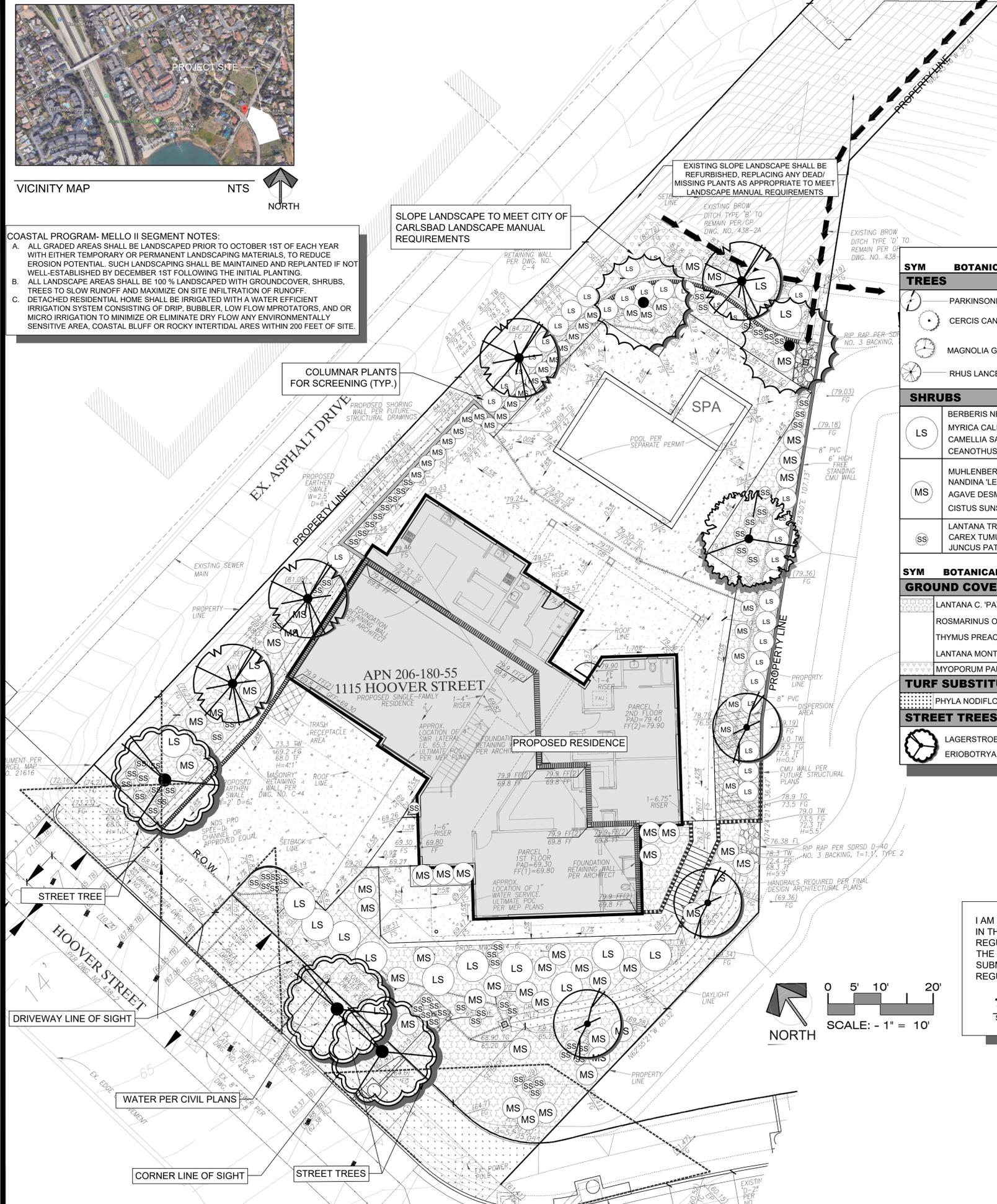
COASTAL PROGRAM- MELLO II SEGMENT NOTES:

- A. ALL GRADED AREAS SHALL BE LANDSCAPED PRIOR TO OCTOBER 1ST OF EACH YEAR WITH EITHER TEMPORARY OR PERMANENT LANDSCAPING MATERIALS, TO REDUCE EROSION POTENTIAL. SUCH LANDSCAPING SHALL BE MAINTAINED AND REPLANTED IF NOT WELL-ESTABLISHED BY DECEMBER 1ST FOLLOWING THE INITIAL PLANTING.
- B. ALL LANDSCAPE AREAS SHALL BE 100% LANDSCAPED WITH GROUNDCOVER, SHRUBS, TREES TO SLOW RUNOFF AND MAXIMIZE ON SITE INFILTRATION OF RUNOFF.
- C. DETACHED RESIDENTIAL HOME SHALL BE IRRIGATED WITH A WATER EFFICIENT IRRIGATION SYSTEM CONSISTING OF DRIP, BUBBLER, LOW FLOW MPROTATORS, AND OR MICRO IRRIGATION TO MINIMIZE OR ELIMINATE DRY FLOW ANY ENVIRONMENTALLY SENSITIVE AREA, COASTAL BLUFF OR ROCKY INTERTIDAL AREAS WITHIN 200 FEET OF SITE.

SLOPE LANDSCAPE TO MEET CITY OF CARLSBAD LANDSCAPE MANUAL REQUIREMENTS

EXISTING SLOPE LANDSCAPE SHALL BE REFRUBISHED, REPLACING ANY DEAD/ MISSING PLANTS AS APPROPRIATE TO MEET LANDSCAPE MANUAL REQUIREMENTS

COLUMNAR PLANTS FOR SCREENING (TYP.)



IRRIGATION NOTE:
ONLY SUBSURFACE IRRIGATION SHALL BE USED TO IRRIGATE ANY VEGETATION WITHIN TWENTY-FOUR INCHES OF AN IMPERMEABLE SURFACE UNLESS THE ADJACENT IMPERMEABLE SURFACES ARE DESIGNED AND CONSTRUCTED TO CAUSE WATER TO DRAIN ENTIRELY INTO A LANDSCAPED AREA.

- LANDSCAPE GENERAL NOTES:**
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF CARLSBAD LANDSCAPE REGULATIONS AND STANDARDS.
 - MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MIN. DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOILS AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
 - ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FT. OF ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA, THE MIN. DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.
 - TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT WRAPPED AROUND THE ROOT BALL. ROOT BARRIERS SHALL BE BIO-BARRIER OR EQUAL.
 - OWNER IS RESPONSIBLE FOR MAINTAINING THE LANDSCAPE, INCLUDING THE PUBLIC RIGHT-OF-WAY, IN A HEALTHY, DISEASE FREE CONDITION.
 - ALL LANDSCAPE AREAS SHALL BE FINISH GRADE TO REMOVE ROCKS AND ENSURE SURFACE DRAINAGE IS 2% AND AWAY FROM BUILDINGS AND TERMINATING IN AN APPROVED DRAINAGE SYSTEM.
 - STREET TREES SHALL BE LOCATED:
 - A. A MINIMUM OF SEVEN (7) FEET FROM ANY SEWER LINE.
 - B. IN AREAS THAT DO NOT CONFLICT WITH PUBLIC UTILITIES
 - C. OUTSIDE OF SIGHT DISTANCE AREAS
 - D. WITHIN THE STREET TIGHT-OF-WAY
 - IRRIGATION: AN EFFICIENT, AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE PROPOSED IRRIGATION SYSTEM SHALL BE A COMBINATION OF POP-UP SPRAY HEAD AND DRIP LINE.
 - ANY TREES LOCATED WITHIN A VEHICULAR SIGHT LINE MUST HAVE ALL LIMBS REMOVED TO A HEIGHT OF 6 FEET ABOVE THE ADJACENT TOP CURB.
 - ALL UTILITIES SHALL INCLUDE APPROPRIATE SCREENING.

SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WU- COLS
TREES					
(T)	PARKINSONIA 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	15 GAL.	3	LOW
(T)	CERCIS CANADENSIS 'FOREST PANSY'	RED BUD FOREST PANSY	15 GAL.	2	MOD.
(T)	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	15 GAL.	1	MOD.
(T)	RHUS LANCEA	AFRICAN SUMAC	15 GAL.	4	LOW
SHRUBS					
(LS)	BERBERIS NEVINII	NEVINS BARBERRY	15 GAL.		LOW
(LS)	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	15 GAL.		LOW
(LS)	SASANQUA CAMELLIA	SASANQUA CAMELLIA	5 GAL.		LOW
(LS)	CEANOTHUS FOLIOSUS	WAVY LEAF MOUNTAIN LILAC	5 GAL.		LOW
(MS)	MUHLENBERGIA RIGENS	DEERGRASS	5 GAL.		LOW
(MS)	NANDINA 'LEMON LIME'	LEMON LIME HEAVENLY BAMBOO	5 GAL.		LOW
(MS)	AGAVE DESMANTIANA	SMOOTH AGAVE	5 GAL.		LOW
(MS)	CISTUS SUNSET	MAGENTA ROCK ROSE	5 GAL.		LOW
(SS)	LANTANA TRIFOLIA	LANTANA 'LAVENDER POPCORN'	1 GAL.		LOW
(SS)	CAREX TUMULICOLA	BERKELEY SEDGE	1 GAL.		LOW
(SS)	JUNCUS PATENS	CALIFORNIA GREY RUSH	1 GAL.		LOW
GROUND COVERS					
(G)	LANTANA C. 'PATRIOT RAINBOW'	PATRIOT RAINBOW LANTANA	1 GAL @ 16" O.C.		LOW
(G)	ROSMARINUS O. 'HUNTINGTON CARPET'	ROSEMARY HUNTINGTON CARPET	1 GAL @ 48" O.C.		V. LOW
(G)	THYMUS PREACOX	MOTHER-OF-THYME	1 GAL @ 12" O.C.		LOW
(G)	LANTANA MONTEVIDENSIS	PURPLE TRAILING LANTANA	1 GAL @ 30" O.C.		LOW
(G)	MYOPORUM PARVIFOLIUM 'PINK'	PINK AUSTRALIAN RACER	1 GAL @ 5" O.C.		LOW
TURF SUBSTITUTE					
(T)	PHYLLOPODIA	KURAPIA	FLATS/SOD		LOW
STREET TREES					
(S)	LAGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	24" BOX. STD.		MOD.
(S)	ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	24" BOX. STD.		MOD.

- CITY NOTES**
- SLOPE 6:1 STEEPER REQUIRING EROSION CONTROL MEASURES AS SPECIFIED HEREIN SHALL BE TREATED WITH ONE OR MORE OF THE FOLLOWING PLANTING STANDARDS:
 - A) STANDARD 1 - COVER CROP/REINFORCED STRAW MATTING: COVER CROP SHALL BE SEED MIX TYPICALLY MADE UP OF QUICK GERMINATING AND FAST COVERING GRASSES, CLOVERS, AND/OR WILD FLOWERS. SUBMIT THE SPECIFIC SEED MIX FOR CITY APPROVAL PRIOR TO APPLICATION. THE COVER CROP SHALL BE APPLIED AT A RATE AND MANNER SUFFICIENT TO PROVIDE 90% COVERAGE WITHIN THIRTY DAY. TYPE OF REINFORCED STRAW MATTING SHALL BE AS APPROVED BY THE CITY AND STAKED TO THE SLOPE AS RECOMMENDED BY THE MANUFACTURER. REINFORCED STRAW MATTING SHALL BE REQUIRED WHEN PLANTING OCCURS BETWEEN AUGUST 15 AND APRIL 15. THE COVER CROP AND/OR REINFORCED STRAW MAT SHALL BE USED THE REMAINDER OF THE YEAR.
 - B) STANDARD #2 - GROUNDCOVER ONE HUNDRED (100%) PERCENT OF THE AREA SHALL BE PLANTED WITH A GROUND COVER KNOWN TO HAVE EXCELLENT SOIL BINDING CHARACTERISTICS (PLANTED FROM A MINIMUM SIZE OF FLATTED MATERIAL AND SPACED TO PROVIDE CULL COVERAGE WITHIN ONE YEAR.
 - C) STANDARD #3 - LOW SHRUBS LOW SPREADING WOODY SHRUBS (PLANTED FROM A MINIMUM OF 2-3/4 INCH LINERS) SHALL COVER A MINIMUM OF SEVENTY (70%) PERCENT OF THE SLOPE FACE (AT MATURE SIZE).
 - D) STANDARD #4 - TREES AND/OR LARGE SHRUBS TREES AND/OR LARGE SHRUBS SHALL BE (PLANTED A MINIMUM OF 1 GALLON CONTAINERS) AT A MINIMUM RATE OF ONE (1) PER TWO HUNDRED (200) SQUARE FEET.
 - SLOPES - STEEPER AND:
 - A) 3' OR LESS IN VERTICAL HEIGHT AND ARE ADJACENT TO PUBLIC WALKS OR STREETS REQUIRE AT MINIMUM STANDARD #1.
 - B) 3' TO 8' IN VERTICAL HEIGHT REQUIRED STANDARD #1 (EROSION CONTROL MATTING SHALL BE IN LIEU OF A COVER CROP), #2, AND #3.
 - C) IN EXCESS OF 8' IN VERTICAL HEIGHT REQUIRE STANDARDS #1 (EROSION CONTROL MATTING SHALL BE INSTALLED IN LIEU OF A COVER CROP), #2, #3, AND #4.
 - AREAS GRADED FLATTER THAN 6:1 REQUIRE STANDARD #1 (COVER CROP) WITH TEMPORARY IRRIGATION WHEN THEY HAVE ONE OR MORE OF THE FOLLOWING CONDITIONS:
 - A) SHEET GRADED PADS NOT SCHEDULED FOR IMPROVEMENTS WITHIN 6 MONTHS OF COMPLETION OF ROUGH GRADING.
 - B) A POTENTIAL EROSION PROBLEM AS DETERMINED BY THE CITY.
 - C) IDENTIFIED BY THE CITY AS HIGHLY VISIBLE AREAS TO THE PUBLIC OR HAVE SPECIAL CONDITIONS THAT WARRANT IMMEDIATE TREATMENT

MAINTENANCE NOTE:
LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

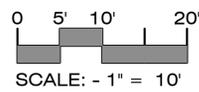
Minimum Tree Separation Distance

Improvement	Minimum Distance to Street Tree
Traffic signal, Stop Sign	20 feet
Underground Utility Lines (except sewer)	5 feet
Sewer Lines	10 feet
Above Ground Utility Structures (Transformers, Hydrants, Utility poles, etc)	10 feet
Driveways	10 feet
Intersections (intersecting curb lines of two streets)	25 feet

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CARLSBAD'S LANDSCAPE MANUAL AND WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS AND THE LANDSCAPE MANUAL AND AGREE TO COMPLY WITH ALL REQUIREMENTS WHEN SUBMITTING CONSTRUCTION DOCUMENTS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

Sam Clarke
SIGNATURE

06-02-25
DATE



SHEET 1 CITY OF CARLSBAD PLANNING DIVISION SHEETS 3

LANDSCAPE CONCEPT PLAN FOR:
OCEAN ESTATES - LOT 1
CORNER OF HOOVER ST. & ADAMS ST.
CARLSBAD, CA
CDP 2024-0030(DEV02030)

APPROVED: _____

PLANNING

DWN BY: _____ PROJECT NO. _____

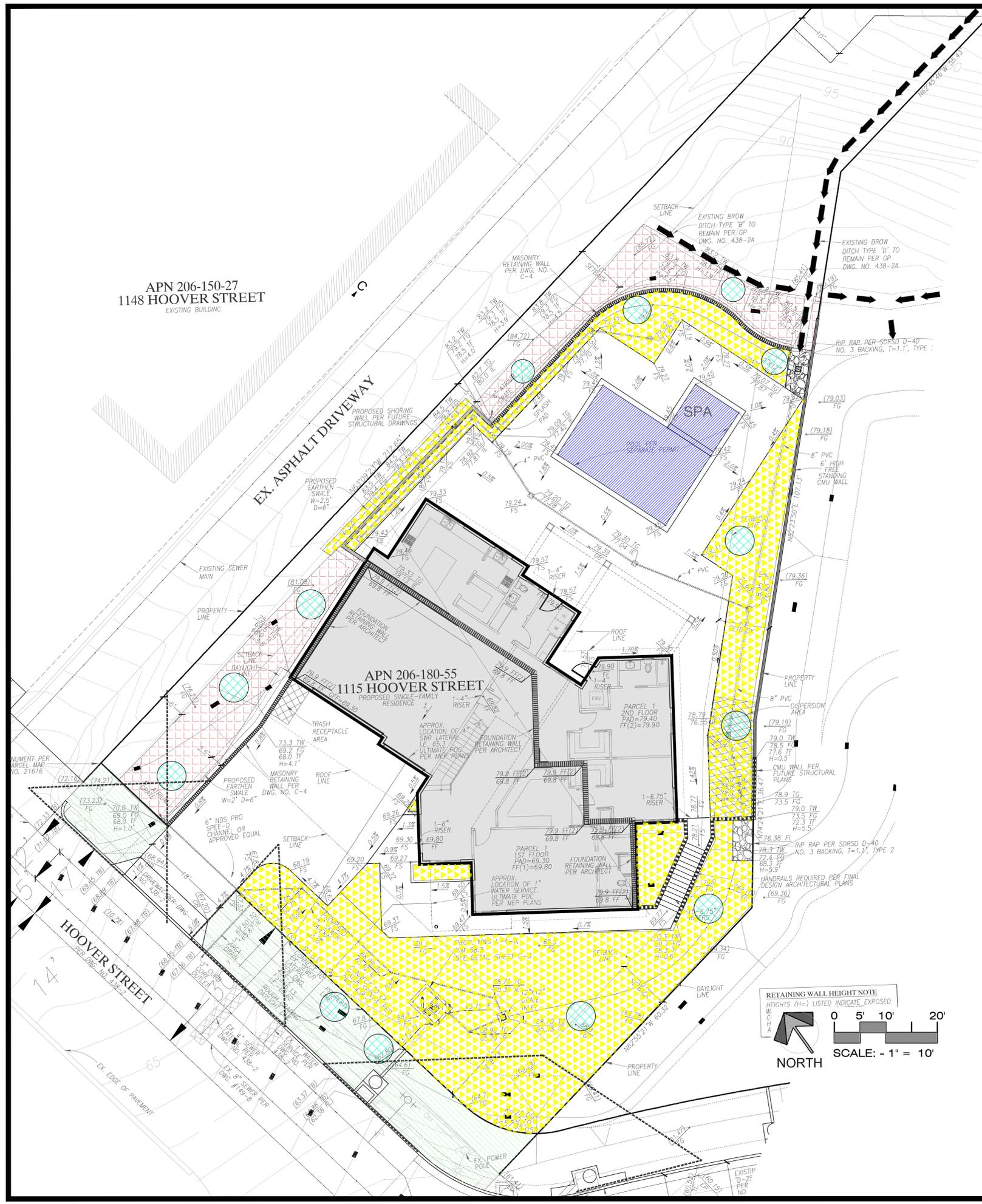
CHKD BY: _____

RVWD BY: _____

C. E. D., INC.
CLARKE ENVIRONMENTAL DESIGN INC.

110 COPPERWOOD WAY # P
OCEANSIDE CA 92058
760-716-3100
L.A.#5299

NO. 5299
06-02-25
01-31-26
STATE OF CALIFORNIA



WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

HYDROZONE INFORMATION TABLE
Please complete the hydrozone table(s) for each hydrozone. Use as many tables as necessary to provide the square footage of landscape area per hydrozone.

Controller #	Hydrozone*	Zone or Valve	Irrigation Method**	Plant Type/Factor*** (PF)	Hydrozone Area (Sq. Ft.)	% of Total Landscaped Area
A	A1	A1	DRIP	0.3	3,282	52.88
A	A2	A2	BUBBLER	0.5	364	5.89
A	A3	A3	MPROTATOR	0.3	1,081	17.41
A	A4	A4	POOL	0.8	502	8.09
A	A5	A5	MPROTATOR	0.3	980	15.78
Total						100%

*Hydrozone
 VLW - Very Low Water Use Plants
 LW - Low Water Use Plants
 MW - Moderate Water Use Plants
 HW - High Water Use Plants

**Irrigation Method
 MS = Micro-spray
 S = Spray
 R = Rotor
 RO = Rotator
 B = Bubbler
 D = Drip
 O = Other

***Plant Factor from WUCOLS III or list as water feature as appropriate

MAXIMUM APPLIED WATER ALLOWANCE
A landscape project subject to the Water Efficient Landscape Ordinance shall include the MAWA for the plans, including the calculations used to determine the MAWA. A landscape project shall not exceed the MAWA. The MAWA for a landscape project shall be determined by the following equations:

Residential: MAWA = (ETo)(0.62)[(0.55 x LA) + (0.45 x SLA)]
Commercial/Industrial: MAWA = (ETo)(0.62)[(0.45 x LA) + (0.55 x SLA)]

The abbreviations used in the equation have the following meanings:

MAWA Maximum Applied Water Allowance in gallons per year.
 ETo Evapotranspiration in inches per year.
 0.62 Conversion factor to gallons per square foot.
 0.55/0.45 (x LA) ET adjustment factor (ETAF) for plant factors and irrigation efficiency.
 LA Landscaped area includes special landscaped area in square feet.
 0.45/0.55 (x SLA) The additional ET adjustment factor for a special landscaped area (eg. 1.0 - 0.55 = 0.45).
 SLA Special landscaped area in square feet.

Show Calculation:

$(44)(0.62)[(0.55 \times 6209) + (0)]$
 $(27.28)(3,414.95)$
 93,159.84

MAXIMUM APPLIED WATER ALLOWANCE = 93,159.84 GALLONS PER YEAR

HYDROZONE LEGEND

SYM	ZONE/TYP/IRR.	HYDROZONE	SQFT.
[Yellow Hatched]	ZONE ONE / SHRUB DRIP IRRIGATION	LOW	3,282
[Blue Hatched]	ZONE FOUR / TREE BUBBLER	MODERATE	364
[Green Hatched]	ZONE THREE / KURAPIA MPROTATORS	LOW	1,081
[Blue Hatched]	ZONE FOUR / POOL	HIGH	502
[Red Hatched]	ZONE FIVE / SLOPE SHRUBS MPROTATOR	LOW	980
NOTE: WATER SOURCE SHALL BE POTABLE WATER		TOTAL	6,209

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF CARLSBAD'S LANDSCAPE MANUAL AND WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

 06-02-25
 SIGNATURE DATE

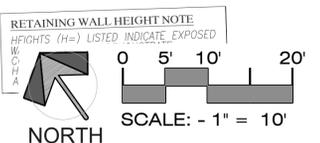
Hydrozone Table for Calculating ETWU
Please complete the hydrozone table(s). Use as many tables as necessary.

Process Step No. (Below)	CITY OF CARLSBAD ESTIMATED TOTAL WATER USE (ETWU)						
	Hydrozone Number (1 - 5 with SLA Zone Below - use as many tables as necessary to complete all hydrozones)	1	2	3	4	5	SLA
Evapotranspiration Rate (ETo)*	1	44.0					
Conversion Factor	2		0.62				
(Step 1 x Step 2)	3	27.28					
Plant Factor (PF)** (From WUCOLS) (VLW - HW) (0.1 - 0.8)	4	0.3	0.5	0.3	0.8	0.3	
Area of Hydrozone (sq. ft.) (HA)	5	3282	364	1081	502	980	
(Step 4 x Step 5)	6	984.6	182	324.3	401.6	294	
Irrigation Efficiency (IE)***	7	0.8	0.75	0.7	0.7	0.7	
(Step 6 x Step 7)	8	1230.75	242.67	463.29	573.71	420	
(Total All Step 8 + Total SLA sq. ft. in Step 5)	9	2,930.42					
(Step 3 x Step 9) Estimated Total Water Use in gallons per year (ETWU) - Total shall not exceed MAWA	10	79,941.77					

ETo* West of I-5 = 40.0
 East of I-5 and West of El Camino Real = 44.0
 East of El Camino Real = 47.0
 Applicant may provide a different ETo if supported by documentation subject to approval by the City Planning Division

IE*** Micro-spray = .80
 Spray = .55
 Rotor = .75
 Bubbler = .75
 Drip = .80
 Applicant may provide a different IE if supported by documentation subject to approval by the City Planning Division (Turf and Landscape Irrigation Best Management Practices, April 2005)

** Plant Factor & Water Use
 0.1 = VLW - Very Low Water Use Plants
 0.3 = LW - Low Water Use Plants
 0.5 = MW - Moderate Water Use Plants
 0.8 = HW - High Water Use Plants





C. E. D., INC.
CLARKE ENVIRONMENTAL DESIGN INC.



NO. 5299
06-02-25
01-31-26

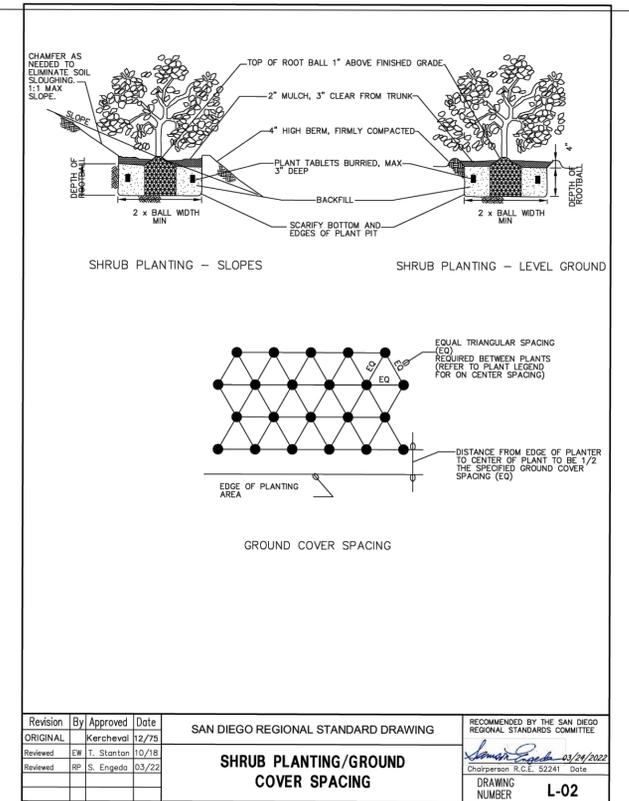
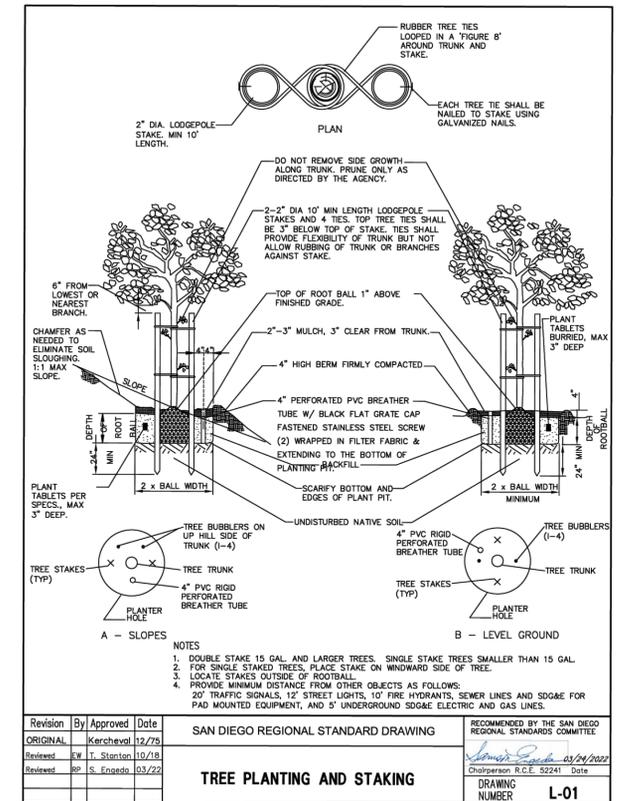
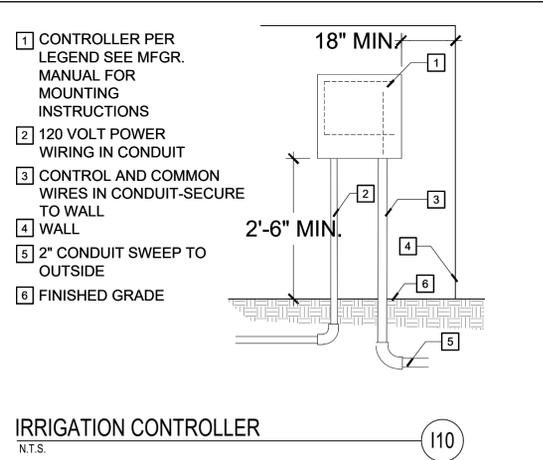
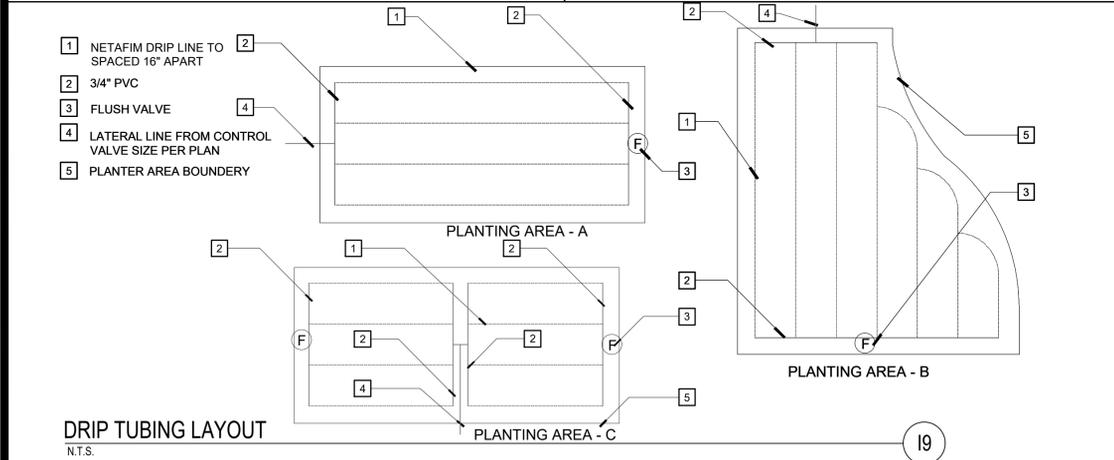
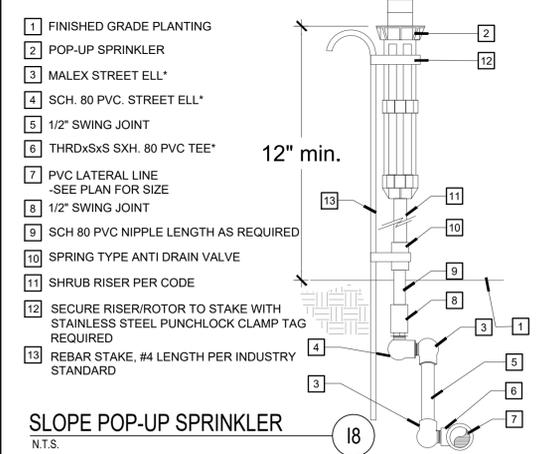
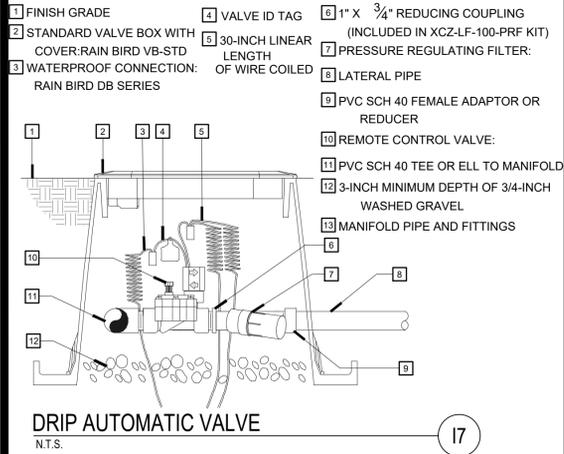
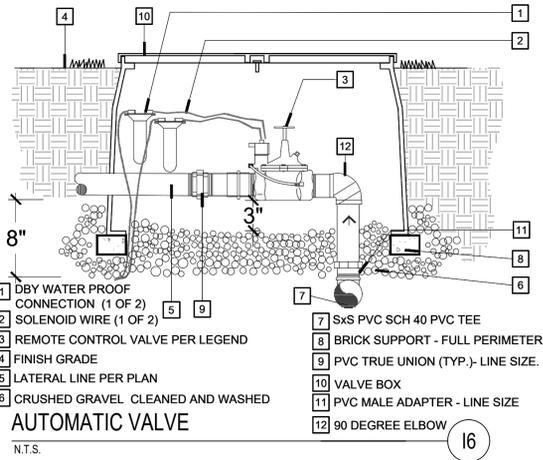
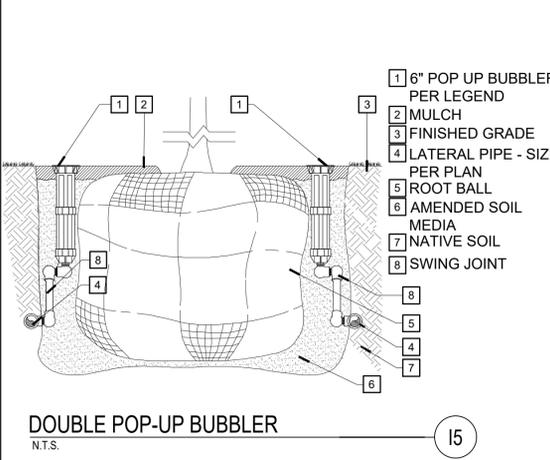
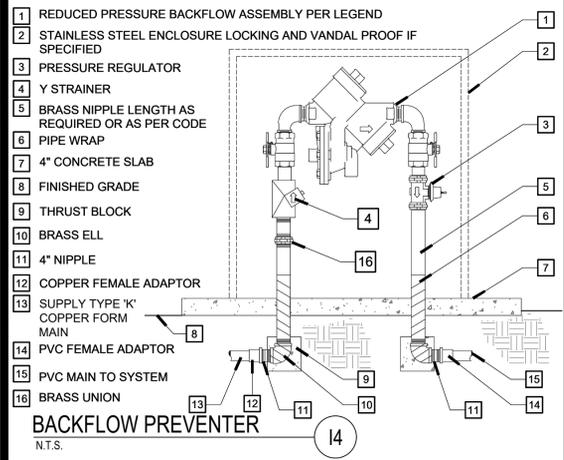
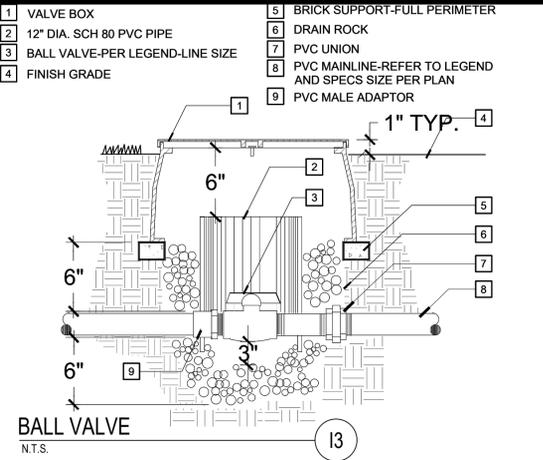
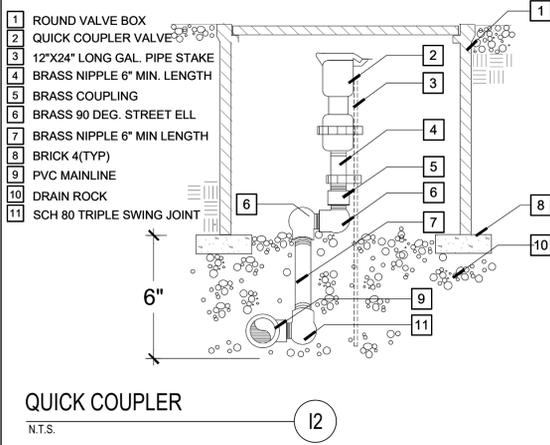
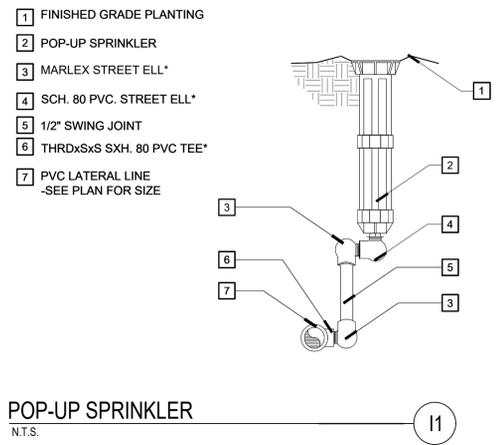
CITY OF CARLSBAD
PLANNING DIVISION

SHEETS 2 **SHEETS 3**

IRRIGATION CONCEPT PLAN FOR:
OCEAN ESTATES-LOT 1
CORNER OF HOOVER ST. & ADAMS ST.
CARLSBAD, CA
CDP 2024-0030(DEV02030)

APPROVED: _____
PLANNING

DWN BY: _____ PROJECT NO. _____
CHKD BY: _____
RVWD BY: _____



CITY OF CARLSBAD
PLANNING DIVISION

OCEAN ESTATES-LOT 3
CORNER OF HOOVER ST. & ADAMS ST.
CARLSBAD, CA
CDP 2024-0030(DEV02030)

APPROVED: _____
PLANNING

DWN BY: _____ PROJECT NO. _____
CHKD BY: _____
RWVD BY: _____

SHEET 3 OF 3