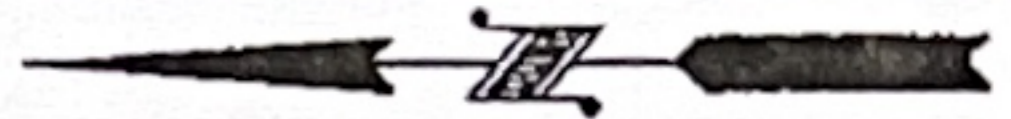
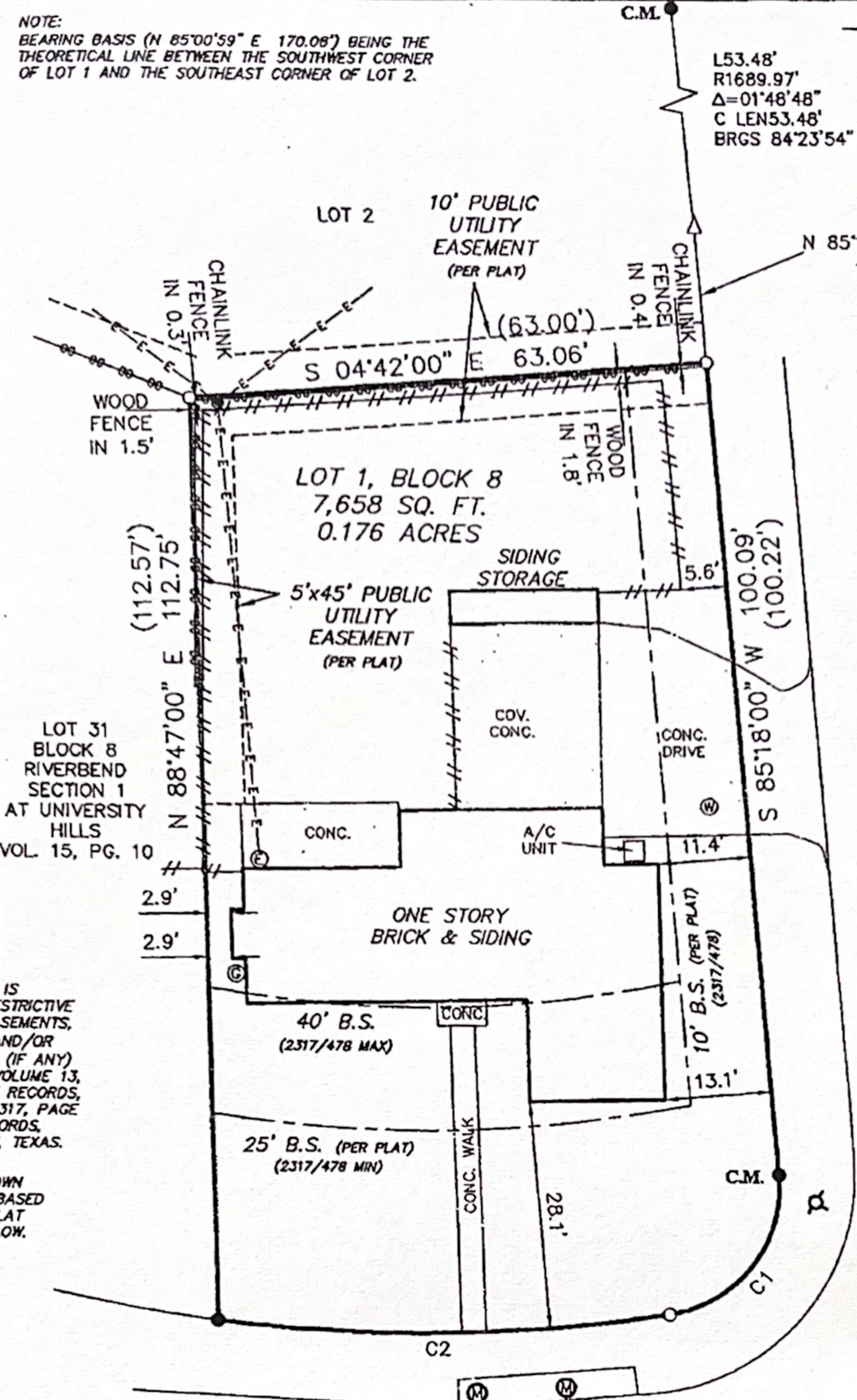


NOTE:  
BEARING BASIS (N 85°00'59" E 170.06') BEING THE THEORETICAL LINE BETWEEN THE SOUTHWEST CORNER OF LOT 1 AND THE SOUTHEAST CORNER OF LOT 2.



SCALE: 1"=20'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	16.08'	24.14'	21.94'	N 52°07'48" W	86°00'54"
		(24.14')	(21.94')	(N 51°44' W)	
C2	191.79'	55.39'	55.20'	N 00°50'56" W	16°32'52"
		(55.23')	(55.04')	(N 00°26' W)	



**LA SALLE DRIVE**  
(50' R.O.W.)

**HANOVER LANE**  
(50' R.O.W.)

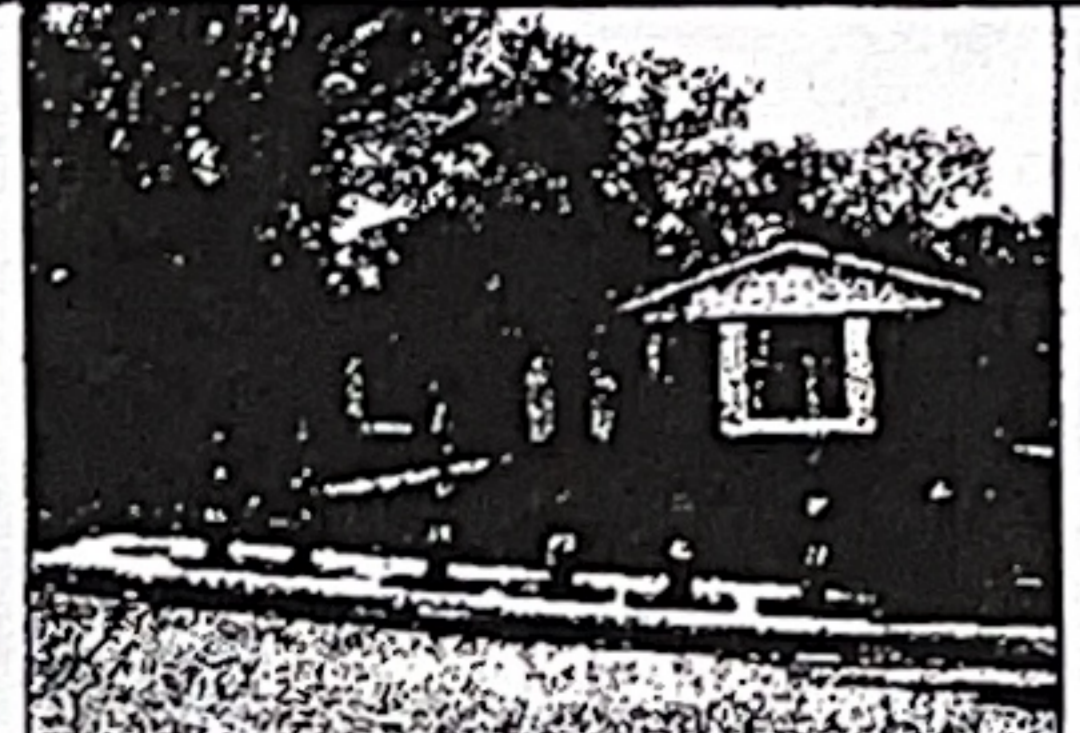
THIS PROPERTY IS SUBJECT TO RESTRICTIVE COVENANTS, EASEMENTS, AGREEMENTS, AND/OR SETBACK LINES (IF ANY) AS FOLLOWS: VOLUME 13, PAGE 78, PLAT RECORDS, AND VOLUME 2317, PAGE 478, DEED RECORDS, TRAVIS COUNTY, TEXAS.

NOTE: BEARINGS SHOWN HEREON ARE BASED ON RECORD PLAT INDICATED BELOW.

THIS SURVEY IS ACKNOWLEDGED AND IS ACCEPTED:

- ⊙ = WATER METER
- ⊕ = FIRE HYDRANT

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 484530, Panel No. 0460 H, which is Dated 09/26/2008. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) X. Because this is a boundary survey, the survey did not take any actions to determine the Flood Zone status of the surveyed property other than to interpret the information set out on FEMA's FIRM, as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the interpretations of FEMA or state or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <http://www.fema.gov/index.shtml>.



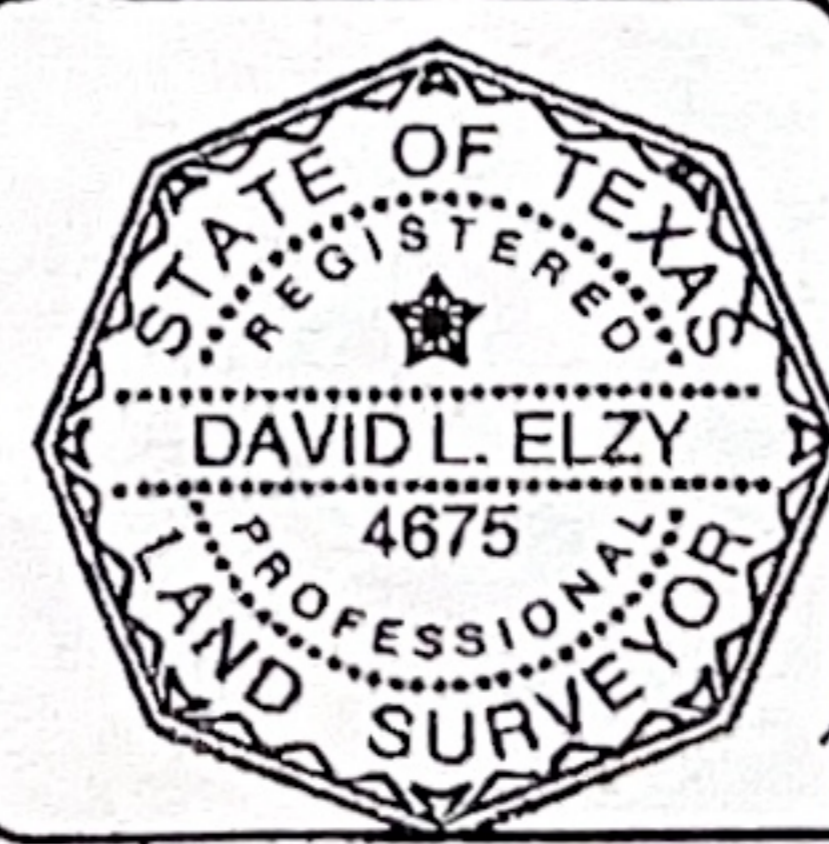
**Property Address:**  
5809 HANOVER LANE

**Property Description:**  
LOT 1, BLOCK 8, UNIVERSITY HILLS, SECTION THREE PHASE TWO, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 13, PAGE 78, PLAT RECORDS, TRAVIS COUNTY, TEXAS.

**Owner:**  
RYLAND PATRICK TRAHAN AND LESLIE WALKER TRAHAN

**Westar Alamo**  
LAND SURVEYORS, LLC.  
P.O. BOX 1038 MELOTES, TEXAS 78023-1036  
PHONE (210) 372-9500 FAX (210) 372-9999

- LEGEND**
- = 1/2" IRON ROD TO BE SET
  - = FND 1/2" IRON ROD
  - ( ) = RECORD INFORMATION
  - B.S. = BUILDING SETBACK
  - C.M. = CONTROLLING MONUMENT
  - Ⓜ = STORMDRAIN INLET ACCESS
  - = WOOD FENCE
  - - - = CHAIN LINK FENCE
  - ⓔ = ELECTRIC METER
  - ⓐ = GAS METER
  - Ⓧ = POWER POLE
  - Ⓡ = OVERHEAD ELECTRIC
- DRAWN BY: JR



I, DAVID L. ELZY, Registered Professional Land Surveyor, State of Texas, do hereby certify that the above plat represents an actual survey made on the ground under my supervision, and there are no discrepancies, conflicts, shortages in area or boundary lines, or any encroachment or overlapping of improvements, to the best of my knowledge and belief, except as shown herein.

*David L. Elzy*  
DAVID L. ELZY  
Registered Professional Land Surveyor  
Texas Registration No. 4675

# T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT

Date: **December 18, 2025**

GF No. T-192131

Name of Affiant(s): **Ryland Trahan, Leslie Trahan**

Address of Affiant: **6809 Hanover Ln Austin, TX 78723**

Description of Property: **LOT 1, BLK 8 UNIVERSITY HILLS, SEC 3, PHS 2**

County **Travis**, Texas

Date of Survey: **March 23, 2013**

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of **Michigan** personally appeared Affiant(s) who after by me being duly sworn, stated:

1. I am an owner of the Property. (Or state other basis for knowledge by Affiant of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
2. I am familiar with the property and the improvements located on the Property.
3. I am closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. I understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. I understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of my actual knowledge and belief, since Date of the Survey, there have been no:
  - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools, deckings, or other permanent improvements or fixtures;
  - b. changes in the location of boundary fences or boundary walls;
  - c. construction projects on immediately adjoining property(ies) which construction occurred on or near the boundary of the Property;
  - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below):

**Concrete patio behind house was reduced in size from 7'x19' to 7'x14'**

**Driveway cement extended 5' to include the A/C compressor pad, in same location.**

5. I understand that Title Company is relying on the truthfulness of the statements made in this Affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

(TXR 1907) 11-01-2024

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6. I understand that I have no liability to Title Company should the information in this Affidavit be incorrect other than information that I personally know to be incorrect and which I do not disclose to the Title Company.

I declare under penalty of perjury that the foregoing is true and correct.

Signed:

Affiant **Ryland Trahan**

I declare under penalty of perjury that the foregoing is true and correct.

Signed:

Affiant **Leslie Trahan**

SWORN AND SUBSCRIBED this 30 day of December, 2025

*Tamara Caddell*  
Notary Public

**Tamara Caddell**  
Notary Public - State of Michigan  
County of Washtenaw  
Commission Expires May 15, 2030  
Acting in the County of Washtenaw

