



GOLD SHIELD INSPECTIONS

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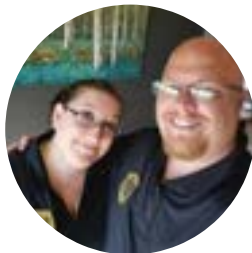
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## INSPECTION REPORT

212 S Chestnut St  
Monticello, IA 52310

Tom May  
01/19/2026



Inspector

**Brent Thumma**

InterNACHI - Resnet - SAVE - IAC2

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Agent

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Keller Williams Dubuque

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Several items highlighted inside to be completed before close -  
please contact agent for further information

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# TABLE OF CONTENTS

1: Inspection Details	6
2: Roof Systems	10
3: Exterior	15
4: Garage	22
5: Attic	25
6: Kitchen	27
7: Bathrooms	31
8: Interior	36
9: Plumbing	43
10: Structure	48
11: Electrical	51
12: HVAC	54
13: Gold Shield Inspections Info	63
Standards of Practice	64



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## SUMMARY

30

MAINTENANCE OR LOW  
PRIORITY

3

MATERIAL DEFECT

9





















SAFETY CONCERN



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-  2.2.1 Roof Systems - Roof Structure/Covering: Roof, Fiber Cement Shingles, Loose and Minor Damage
-  2.5.1 Roof Systems - Roof Drainage System: Drainage System Health
-  3.4.1 Exterior - Exterior Doors: Screen Door, Latch Inoperable
-  3.5.1 Exterior - Exterior of Windows: Window, Moderate Moisture Damage
-  3.5.2 Exterior - Exterior of Windows: Window, Possible Lead Paint
-  3.5.3 Exterior - Exterior of Windows: Exterior, Storm Windows, Metal Frame Rust and Deterioration
-  3.8.1 Exterior - Deck, Balcony, Bridge and Porch,: General, Deck Wooden Components Needing Sealant
-  3.9.1 Exterior - Exterior Electrical: Exterior, Receptacle, Detached From Wall and No GFCI Protection
-  3.16.1 Exterior - Composite Siding: Composite Siding, Delamination of Panels
-  4.5.1 Garage - Garage Walls and Ceilings: Previous Moisture Damage
-  4.10.1 Garage - Garage, Stairs/Steps to Living Space: Handrail, not installed
-  5.3.1 Attic - Roof Framing (from attic): Attic Framing, Wood Rot or Decay
-  6.2.1 Kitchen - Kitchen Electrical: Kitchen Receptacle, Missing or Non-Functioning GFCI Protection
-  6.4.1 Kitchen - Kitchen Plumbing / Sink: Kitchen Sink, Outdated S-Trap
-  6.4.2 Kitchen - Kitchen Plumbing / Sink: Kitchen Sink, Improper Air Gap or High Loop for Dishwasher Drain
-  7.2.1 Bathrooms - Bathroom Ventilation: Bathroom Ventilation, Exhaust Fan Not Properly Vented
-  7.3.1 Bathrooms - Bathroom Electrical: Bathroom Receptacle, Missing or Non-Functioning GFCI Protection
-  7.4.1 Bathrooms - Bathroom Sink: Bathroom, Sink Water Supply, Not Connected

-  7.5.1 Bathrooms - Bathroom Toilet: Bathroom Toilet, Loose Connection to Floor
-  7.5.2 Bathrooms - Bathroom Toilet: Bathroom Toilet Water Supply Shut Off
-  7.6.1 Bathrooms - Bathroom Tub/Shower: Bathroom Tub/Shower, Leaking Faucets or Showerheads
-  8.3.1 Interior - Interior Floors: Interior Flooring Tile Cracked or Damaged
-  8.3.2 Interior - Interior Floors: Interior Floor, Improperly Installed Flooring Transitions
-  8.5.1 Interior - Interior Doors: Interior Door, Does Not Close or Latch Properly
-  8.7.1 Interior - Interior Windows: General Window, Excessive Wear on Balances or Springs
-  8.8.1 Interior - Interior Electrical: Interior Switches or Outlets, Missing or Damaged Cover Plates
-  8.8.2 Interior - Interior Electrical: Interior Outlets, Open Ground
-  8.8.3 Interior - Interior Electrical: Interior Wiring, Missing Junction Box Cover
-  8.9.1 Interior - Doorbells/Detectors/Fans: Smoke Detector Install More
-  8.9.2 Interior - Doorbells/Detectors/Fans: CO Detector Needed
-  8.11.1 Interior - Fireplace: General Fireplace, Cracked or Damaged Firebox
-  9.2.1 Plumbing - Water Supply and Distribution: Corroded Pipes
-  9.5.1 Plumbing - Water Heater: Past Equipment Design Life
-  10.4.1 Structure - Foundation: Foundation, Excessive Efflorescence
-  10.4.2 Structure - Foundation: Stone Foundation, Tuck Pointing
-  12.2.1 HVAC - Ductwork: Ductwork, Recommend Cleaning
-  12.2.2 HVAC - Ductwork: Ductwork, Possible Asbestos
-  12.2.3 HVAC - Ductwork: HVAC Ductwork, Low Point, Heavy Corrosion Present
-  12.2.4 HVAC - Ductwork: HVAC Humidifier Inoperable and Abandoned
-  12.3.1 HVAC - Central Air Conditioner: A/C, Beyond Average Design Life Of 15 Years
-  12.3.2 HVAC - Central Air Conditioner: A/C, Unit Not Level
-  12.4.1 HVAC - Furnace: Furnace, Equipment Design Life

# 1: INSPECTION DETAILS

## Information

**Occupancy**  
Occupied

**Home Faces**  
East

**Temperature during inspection**  
Below 32(F)=0(C)



**Significant precipitation in last 3 days**  
No

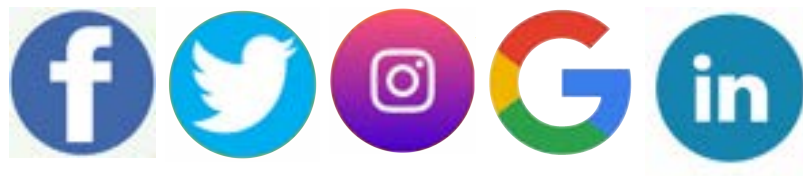
**Type of building**  
Single Family (2 story)

### Gold Shield Inspections



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## Inspection Report Definitions

### 1. Apparent Condition: Systems and components are rated as follows:

1. **INSPECTED (IN)** Indicates that the component is functionally consistent with its original purpose but may show signs of normal wear and tear, and deterioration.
2. **Limited Inspection (LI)** Indicates that the component or system was not fully available to be inspected. Only a partial inspection could be completed.
3. **MARGINAL (MA)** These items will fall under normal lower cost home maintenance items. Indicates the component could require maintenance or replacement within 5 years.
4. **MATERIAL DEFECT (MD)** is a specific issue with a system or component of a residential property that may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people. The fact that a system or component is near, at, or beyond the end of its normal, useful life is not, in itself, a material defect.
5. **SAFETY HAZARD (SH)** Denotes a condition that is unsafe and in need of prompt attention.

**2. Installed systems and components:** structural components, exterior, interior, roofing, plumbing, electrical, heating, central air-conditioning (weather permitting); insulation and ventilation.

**3. Readily accessible systems and components:** Only those systems and components where the inspector is not required to remove personal items, furniture, equipment, soil, snow, or other items which obstruct access or visibility.

**4. Any component not listed as being deficient in some manner is assumed to be satisfactory**

## Important Information / Limitations: Inspection Overview

Gold Shield Inspections strives to perform all inspections in substantial compliance with the Standards of Practice as set forth by InterNACHI. As such, we inspect the readily accessible, visually observable, installed systems and components of the home as designated in these Standards of Practice. When systems or components designated in the Standards of Practice were present but were not inspected, the reason(s) the item was not inspected will be stated. This inspection is neither technically exhaustive or quantitative.

There may be comments made in this report that exceed the required reporting of the InterNACHI Standards of Practice, these comments (if present) were made as a courtesy to give you as much information as possible about the home. Exceeding the Standards of Practice will only happen when I feel I have the experience, knowledge, or evidence to do so. There should be no expectation that the Standards of Practice will be exceeded throughout the inspection, and any comments made that do exceed the standards will be followed by a recommendation for further evaluation and repairs by applicable tradespeople.

This report contains observations of those systems and components that, in my professional judgement, were not functioning properly, significantly deficient, or unsafe. **All items in this report that were designated for repair, replacement, maintenance, or further evaluation should be investigated by qualified tradespeople within the clients contingency period**, to determine a total cost of said repairs and to learn of any additional problems that may be present during these evaluations that were not visible during a "visual only" Home Inspection.

This inspection is not equal to extended day-to-day exposure and will not reveal every concern or issue that may be present, but only those significant defects that were accessible and visible at the time of inspection. This inspection can not predict future conditions, or determine if latent or concealed defects are present. The statements made in this report reflect the conditions as **existing at the time of inspection only**, and expire at the completion of the inspection. The limit of liability of Gold Shield Inspections and its employees, officers, etc. does not extend beyond the day the inspection was performed. As time and differing weather conditions may reveal deficiencies that were not present at the time of inspection, including but not limited to: roof leaks, water infiltration into crawl spaces or basements, leaks beneath sinks, tubs, and toilets, water running at toilets, the walls, doors, and flooring, may be damaged during moving, etc. Refer to the Inspection agreement regarding the scope and limitations of this inspection.

This inspection is **NOT** intended to be considered as a **GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, regarding the operation, function, or future reliability of the home and its components. AND IT SHOULD NOT BE RELIED ON AS SUCH.** This report is only supplemental to the Sellers Disclosure and Pest (WDI) Inspection Report and should be used alongside these documents, along with quotes and advice from the tradespeople recommended in this report to gain a better understanding of the condition of the home and expected repair costs. Some risk is always involved when purchasing a property and unexpected repairs should be anticipated, as this is unfortunately, a part of home ownership. One Year Home Warranties are sometimes provided by the sellers, and are **highly recommended** as they may cover future repairs on major items and components of the home. If a warranty is not being provided by the seller(s), your Realtor can advise you of companies who offer them.

## Important Information / Limitations: Notice to Third Parties

**Notice to Third Parties:** This report is the property of Gold Shield Inspections and is Copyrighted as of 2018. The Client(s) and their Direct Real Estate Representative named herein have been named as licensee(s) of this document. This document is non-transferrable, in whole or in part, to any and all third-parties, including; subsequent buyers, sellers, and listing agents. Copying and pasting deficiencies to prepare the repair request is permitted. THE INFORMATION IN THIS REPORT SHALL NOT BE RELIED UPON BY ANY ONE OTHER THAN THE CLIENT NAMED HEREIN. This report is governed by an Inspection agreement that contained the scope of the inspection, including limitations, exclusions, and conditions of the copyright. Unauthorized recipients are advised to contact a qualified Home Inspector of their choosing to provide them with their own Inspection and Report.

## Important Information / Limitations: Items Not Inspected and Other Limitations

**ITEMS NOT INSPECTED** - There are items that are not inspected in a home inspection such as, but not limited to; fences and gates, pools and spas, outbuildings or any other detached structure, refrigerators, washers / dryers, storm doors and storm windows, screens, window AC units, gas furnace heat exchangers, central vacuum systems, water softeners, alarm and intercom systems, and any item that is not a permanent attached component of the home. Also drop ceiling tiles are not removed, as they are easily damaged, and this is a non-invasive inspection. Subterranean systems are also excluded, such as but not limited to: sewer lines, septic tanks, water delivery systems, and underground fuel storage tanks.

Water and gas shut off valves are not operated under any circumstances. As well, any component or appliance that is unplugged or "shut off" is not turned on or connected for the sake of evaluation. I don't have knowledge of why a component may be shut down, and can't be liable for damages that may result from activating said components/appliances.

Also not reported on are the causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; The insurability of the structure or any of its items or components, Any component or system that was not observed; Calculate the strength, adequacy, design, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility.

## Important Information / Limitations: Thermal Imaging Information

**THERMAL IMAGING:** An infrared camera may be used for specific areas or visual problems, and should not be viewed as a full thermal scan of the entire home. Additional services are available at additional costs and would be supplemented by an additional agreement/addendum. Temperature readings displayed on thermal images in this report are included as a courtesy and should not be wholly relied upon as a home inspection is qualitative, not quantitative. These values can vary +/- 4% or more of displayed readings, and these values will display surface temperatures when air temperature readings would actually need to be conducted on some items which is beyond the scope of a home inspection. If a full thermal scan of the home is desired, please reach out to me schedule this service.

## Important Information / Limitations: Other Notes - Important Info

**INACCESSIBLE AREAS:** In the report, there may be specific references to areas and items that were inaccessible or only partly accessible. I can make no representations regarding conditions that may be present in these areas that were concealed or inaccessible for review. With access and an opportunity for inspection, reportable conditions or hidden damage may be found in these areas.

**QUALITATIVE vs QUANTITATIVE:** A home inspection is not quantitative, when multiple or similar parts of a system, item, or component are found to have a deficiency, the deficiency will be noted in a qualitative manner such as "multiple present" etc. A quantitative number of deficient parts, pieces, or items will not be given as the repairing contractor will need to evaluate and ascertain the full amount or extent of the deficiency or damage. This is not a technically exhaustive inspection.

**REPAIRS VERSUS UPGRADES:** I inspect homes to today's safety and building standards. Therefore some recommendations made in this report may have not been required when the home was constructed. Building standards change and are improved for the safety and benefit of the occupants of the home and any repairs and/or upgrades mentioned should be considered for safety, performance, and the longevity of the homes items and components. Although, I will address some recommended upgrades in the report, this should not be construed as a full listing of items that could potentially be upgraded. To learn of ALL the ways the home could be brought up to today's building and safety standards, full and exhaustive evaluations should be conducted by qualified tradespeople.

**COMPONENT LIFE EXPECTANCY:** Components may be listed as having no deficiencies at the time of inspection, but may fail at any time due to their age or lack of maintenance, that couldn't be determined by the inspector. A life expectancy chart is attached to your inspection page.

**PHOTOGRAPHS:** Several photos are included in your inspection report. These photos are for informational purposes only and do not attempt to show every instance or occurrence of a defect.

**TYPOGRAPHICAL ERRORS:** This report is proofread before sending it out, but typographical errors may be present. If any errors are noticed, please feel free to contact me for clarification.

**Please acknowledge to me once you have completed reading this report. At that time I will be happy to answer any questions you may have, or provide clarification. Non-acknowledgement implies that you understood all information contained in this report.**

## 2: ROOF SYSTEMS

		IN	LI	MA	MD	SC
2.1	General Overview and Limitations of Roof Inspection	X	X			
2.2	Roof Structure/Covering	X	X	X		
2.3	Roof penetration	X	X			
2.4	Flashing	X	X			
2.5	Roof Drainage System	X	X	X		
2.6	Chimney at Roof	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

### Information

**General Overview and Limitations of Roof Inspection: Inspection Method**

Ground

**General Overview and Limitations of Roof Inspection: # of Layers**

1

**General Overview and Limitations of Roof Inspection: Primary roof-covering**

Architectural Fiberglass Asphalt Shingle, EPDM (rubber) Membrane, Fiber-cement shingles

**General Overview and Limitations of Roof Inspection: Roof Style**

Combination



## General Overview and Limitations of Roof Inspection: Approximate Roof Covering Age

### EPDM and Asphalt 5-10

Your inspector will use a combination of experience, knowledge of roofing materials, and specific signs of wear and tear to approximate the age of an asphalt shingle roof. Here's how a professional would go about it:

- Type of Shingle**: Knowing the typical lifespan of various types of asphalt shingles can provide a starting point. For example:
  - 3-tab shingles**: Typically last 20-25 years.
  - Architectural shingles**: Can last 30 years or more.
  - Premium shingles**: Some can last up to 50 years.
- Shingle Condition**:
  - Granule Loss**: A significant loss of the granular surface on the shingle can indicate age.
  - Curling and Cupping**: The edges of older shingles often curl upwards or the middle may bubble up.
  - Cracking**: As shingles age, they become more brittle and may develop cracks.
  - Bald Spots**: Older shingles might have large areas where granules are missing.
  - Edges**: Frayed or deteriorated edges can indicate significant wear and age.
- Pattern of Wear**: How the shingles are wearing can give clues. For instance, if only the shingles on one side of a roof or in one area are showing wear, it might be due to external factors like overhanging trees or poor ventilation, rather than age.
- Moss and Algae Growth**: While this can occur on newer roofs in damp climates or shaded areas, significant growth often indicates an older roof.
- Underlayment and Decking Condition**: If the professional has access to inspect the underlayment or decking, they can also get clues about the roof's age. Older roofs might have felt underlayment, while newer ones might use synthetic materials.
- Flashing and Sealants**: The condition of flashing around vents, chimneys, and other roof penetrations can give hints. Older, corroded, or damaged flashing may indicate an older roof. Sealants that are brittle, missing, or deteriorated can also be a sign of age.
- Past Repairs**: Multiple layers of shingles, mismatched shingles, or evidence of numerous patches can indicate an older roof or one that's had significant issues.

Given all the above factors, a seasoned professional can often give a reasonably accurate estimate of the age of an asphalt shingle roof through visual inspection. This is an estimate based off the inspectors experience.

## Roof penetration: Homeowner's Responsibility

Your job is to monitor the flashing around the plumbing vent pipes that pass through the roof surface. Sometimes they deteriorate and cause a roof leak.

Be sure that the plumbing vent pipes do not get covered, either by debris, a toy, or snow.

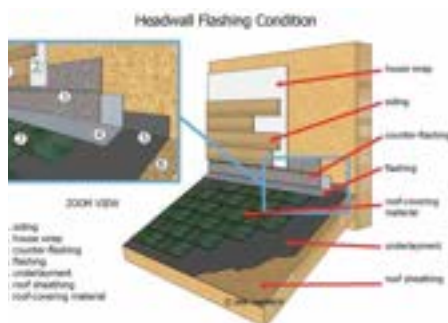


## Flashing: Eaves and Gables

I looked for flashing installed at the eaves (near the gutter edge) and at the gables (the diagonal edge of the roof). There should be metal drip flashing material installed in these locations. The flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.

## Flashing: Wall Intersections

I looked for flashing where the roof covering meets a wall or siding material. There should be step and counter flashing installed in these locations. This is not an exhaustive inspection of all flashing areas.



## Roof Drainage System: Homeowner's Responsibility

Your job is to monitor the gutters and be sure that they function during and after a rainstorm. Look for loose parts, sagging gutter ends, and water leaks. The rain water should be diverted at least 4'-6' away from the house foundation/slab.

## Chimney at Roof: Flue Inspection Disclaimer

Accurate inspection of the chimney flue lies beyond the scope of the General Home Inspection. Although the Inspector may make comments on the condition of the portion of the flue readily visible from the roof, a full, accurate evaluation of the flue condition would require the services of a specialist. Because the accumulation of flammable materials in the flue as a natural result of the wood-burning process is a potential fire hazard, the inspector recommends that before the expiration of your Inspection Objection Deadline you have the flue inspected by a specialist.

## Limitations

General Overview and Limitations of Roof Inspection

### LIMITED ROOF INSPECTION, SNOW AND ICE COVER

The roof inspection was limited due to snow and ice covering the surface, which restricted visibility of roofing materials, flashing, and other components. As a result, we were unable to assess the roof's overall condition, identify potential defects, or evaluate for damage. Recommend a thorough inspection of the roof by a qualified professional once the snow and ice have melted to ensure any issues are identified and addressed.

General Overview and Limitations of Roof Inspection

### LIMITED ROOF INSPECTION, STEEP SLOPE

The roof inspection was limited due to the steep slope, which restricted safe access to the surface. A visual inspection was conducted from the ground, accessible vantage points, or with the aid of binoculars. While efforts were made to assess visible areas, detailed evaluation of the roof's condition and components may require inspection by a qualified roofing professional equipped to safely access steep-sloped roofs.

Flashing

### DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

## Deficiency

2.2.1 Roof Structure/Covering



Maintenance or Low Priority

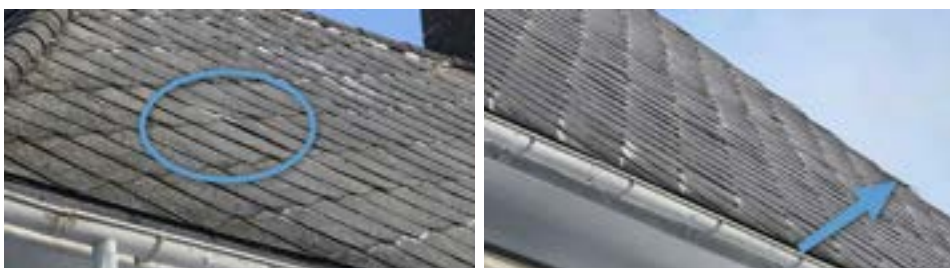
### ROOF, FIBER CEMENT SHINGLES, LOOSE AND MINOR DAMAGE

Several fiber cement roof shingles were observed to be loose and show minor damage. This condition is commonly caused by age, weather exposure, thermal movement, or improper fastening, and can occur over time even with otherwise durable roofing materials. While the observed damage appears limited at this time, loose or damaged shingles can allow moisture intrusion beneath the roof covering, which may lead to deterioration of underlying roof components if not corrected. Recommend securing or replacing the affected shingles to maintain proper roof coverage and help prevent further damage or moisture entry.

Recommendation

Contact a qualified roofing professional.

**REPAIRED**

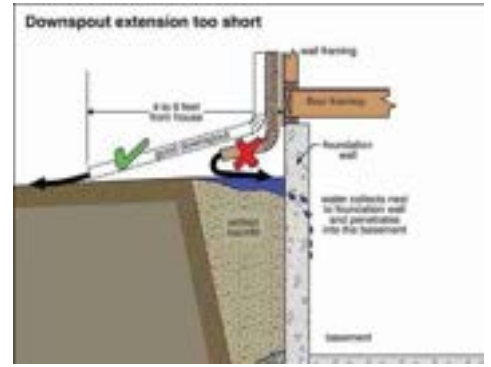


2.5.1 Roof Drainage System

 Maintenance or Low Priority

**DRAINAGE SYSTEM HEALTH**

All downspouts should extend a minimum of 4-6' from the foundation or slab. Discharging near the foundation can affect the ability of the soil to support the weight of the structure above and can cause damage related to soil/foundation movement. Adding extensions can be a cheap way to avoid moisture issues in the future.



Also watch for downspouts that discharge along walkways or driveways. These areas can cause extra moisture to be pushed below the surface which can cause cracking and displacement. In Iowa our winters can also cause these discharge locations to freeze over and be a fall hazard.

Recommendation

2.5.1 ? will be repaired before close.

Recommended DIY Project

# 3: EXTERIOR

		IN	LI	MA	MD	SC
3.1	General Overview and Limitations of Exterior Inspection	X	X			
3.2	Driveway	X				
3.3	Walkways	X	X			
3.4	Exterior Doors	X		X		
3.5	Exterior of Windows	X		X	X	
3.6	General Grounds	X	X			
3.7	Soffits Facia and Trim	X				
3.8	Deck, Balcony, Bridge and Porch,	X	X	X		
3.9	Exterior Electrical	X				X
3.10	Exterior Plumbing	X	X			
3.11	Exterior Stairs	X				
3.12	Dryer vent.	X				
3.13	Aluminum Siding	X				
3.14	Retaining walls	X				
3.15	Radon Mitigation	X				
3.16	Composite Siding	X		X		

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## Information

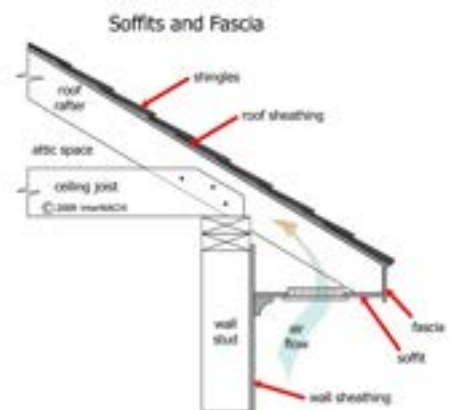
### General Overview and Limitations of Exterior Inspection: Exterior wall-covering Material

Aluminum Siding, Composite Siding

### Driveway: Photo Documentation



### Soffits Facia and Trim: Soffits and Fascia



## Radon Mitigation: Active Radon Mitigation



### General Overview and Limitations of Exterior Inspection: Homeowner's Responsibility

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

### Driveway: Driveway Sealant

Maintenance on joints found in the driveway. Sealants eventually dry, shrink and crack, creating an avenue for water to enter the soil under the driveway. Saturation of soil under the driveway can create a variety of problems depending on soil type. The Inspector recommends that the sealant at this joint be maintained as necessary to prevent water entry.

### Driveway: Common Cracks

Common cracks (1/4-inch or less) were visible in the driveway at the time of the inspection. Cracks exceeding inch should be filled with an appropriate sealant to avoid continued damage to the driveway surface from freezing moisture.

### Walkways: Common Cracks

Common cracks (1/4 inch or less) were visible in the sidewalk at the time of the inspection. Cracks exceeding inch should be patched with an appropriate sealant to avoid continued damage to the walkway surface from freezing moisture.

### Walkways: Maintain Walk/Wall Joint Sealant

The joint at which concrete walkways met the exterior walls was protected by a sealant. Sealants eventually dry, shrink and crack, creating an avenue for water to enter the soil next to the home foundation. Saturation of soil near the foundation can create a variety of problems depending on soil type. The Inspector recommends that the sealant at this joint be maintained as necessary to prevent water entry.

## Exterior of Windows: Window Maintenance for Homeowner

Inspect and repair window gaps: Make sure that there are no gaps between your trim and exterior siding or any other area along your windows and doors. You may need to apply new caulk or remove and replace the caulk along these lines. This should be checked yearly to ensure proper sealant.

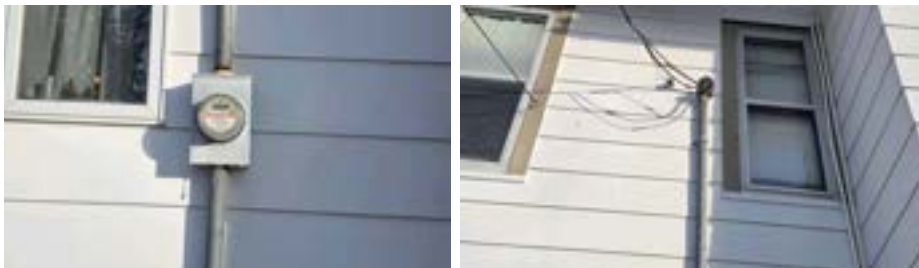
## Exterior of Windows: Window Sealant

Window sealant should be removed and replaced every 5 years as part of a normal home maintenance plan.

## General Grounds: Photo documentation



## Exterior Electrical: Photo Documentation



## Aluminum Siding: 5-year Maintenance recommended

You should be aware that aluminum siding requires that window and door openings be re-sealed with a high-quality sealant every 3 to 5 years to prevent moisture intrusion. Removal of biological growth such as mildew and moss will extend the life of the wall covering.

## Aluminum Siding: Aluminum Siding, Cosmetic Damage

Aluminum siding is susceptible to dents and dings caused by hail, accidental impacts, or other physical forces. While primarily cosmetic, excessive denting can detract from the home's appearance and may indicate the siding's reduced ability to protect against elements. Panels with significant damage should be replaced to maintain functionality and curb appeal.

## Limitations

General Overview and Limitations of Exterior Inspection

### LIMITED INSPECTION, TEMPERATURE RESTRICTION

Limited inspection on house bibs due to freezing temperatures at any point during the day. This could cause damage if ran when evening temperatures reach below freezing.



Deck, Balcony, Bridge and Porch,

## LIMITED INSPECTION, DUE TO BARRIER OR LOW CLEARANCE UNDER DECK

The deck inspection was limited due to a barrier or low clearance that restricted access to the attachment point to the home and the structure beneath the deck. As a result, the condition of the ledger board, support posts, beams, and other critical structural components could not be fully evaluated. Recommend removing obstructions or consulting a qualified contractor for a more thorough inspection to confirm the deck's stability and safety.

## Deficiency

### 3.4.1 Exterior Doors

#### SCREEN DOOR, LATCH INOPERABLE



Maintenance or Low Priority

Latch mechanism was inoperable at the time of the inspection. Recommend replacement of latch mechanism to allow correct operation of the door.

Recommendation

Contact a qualified professional.



3.5.1 Exterior of Windows

 Maintenance or Low Priority

**WINDOW, MODERATE MOISTURE DAMAGE**

The wooden window(s) and their framing show signs of moderate damage from moisture. This happens over time if the exterior sealant is not maintained at all times. Some of these areas may require repair prior to the addition of sealant.

Recommendation

**3.5.1 REPAIRED**

Contact a qualified window repair/installation contractor.



3.5.2 Exterior of Windows

 Maintenance or Low Priority

**WINDOW, POSSIBLE LEAD PAINT**

Lead based paint was in use until approximately 1978. According to the Federal Department of Housing and Urban Development, a lead hazard can be present in a house of this age. This can only be confirmed by laboratory analysis. For further testing and information contact the Environmental Protection Agency (E.P.A.) for more information and guidance, and a list of testing labs in your area

3.5.3 Exterior of Windows

 Material Defect

**EXTERIOR, STORM WINDOWS, METAL FRAME RUST AND DETERIORATION**

The metal framing around the exterior storm windows was observed to have extensive rusting and visible deterioration. This condition is commonly caused by prolonged exposure to moisture, failed paint or protective coatings, and age-related corrosion of the metal components. As the metal continues to corrode, it can lose structural integrity, reduce the effectiveness of the storm window, and allow moisture intrusion around the window opening, which may contribute to damage of adjacent trim or wall materials. Recommend further evaluation and repair or replacement of the affected storm window frames as needed to restore proper protection, improve durability, and reduce the potential for ongoing moisture-related issues.

Recommendation

Contact a qualified window repair/installation contractor.



**REPAIRED**

## 3.8.1 Deck, Balcony, Bridge and Porch,

**GENERAL, DECK WOODEN COMPONENTS NEEDING SEALANT**

Maintenance or Low Priority

The wooden components of the deck, including the decking boards, railing, and structural supports, show signs of weathering, such as fading, discoloration, and minor surface cracking. These are indicative of the wood being exposed to the elements without adequate protection from a sealant.

Implications:

- **Moisture Penetration:** Unsealed wood absorbs water, increasing the risk of rot, decay, and fungal growth, which can weaken the structural integrity of the deck.
- **UV Damage:** Prolonged exposure to sunlight without a protective sealant accelerates wood deterioration, causing fading, splintering, and surface degradation.
- **Shortened Lifespan:** Without proper sealing, the deck's lifespan is significantly reduced, necessitating costly repairs or replacement sooner than expected.

Recommendation:

To preserve the wood's durability and appearance, it is recommended to apply a high-quality sealant or stain specifically designed for exterior wooden decks. Before applying the sealant, clean the wood thoroughly to remove dirt, mildew, and any existing finish. Ensure the wood is completely dry before sealing, as this will improve adhesion and effectiveness. Reapply the sealant as per the manufacturer's instructions, typically every 1–3 years, to maintain protection. Consult a professional contractor if further evaluation or assistance is required.

Recommendation

Contact a qualified deck contractor.

## 3.9.1 Exterior Electrical

**EXTERIOR, RECEPTACLE, DETACHED FROM WALL AND NO GFCI PROTECTION**

Safety Concern

An exterior electrical receptacle was observed to be detached from the wall surface and is not protected by a GFCI device. This condition is commonly caused by improper installation, deterioration of mounting materials, or movement of the exterior wall surface over time. A loose receptacle increases the risk of moisture intrusion into the electrical box and wiring, which can lead to corrosion, electrical faults, or shock hazards. Additionally, the absence of GFCI protection at an exterior location increases the risk of electric shock, especially in wet or damp conditions. Recommend securing the receptacle to the wall with an approved weather-rated box and cover and upgrading the circuit to include proper GFCI protection to improve safety and reduce the risk of electrical hazards.

Recommendation

Contact a qualified electrical contractor.

**3.9.1 REPAIRED**

## 3.16.1 Composite Siding

**COMPOSITE SIDING, DELAMINATION OF PANELS**

Maintenance or Low Priority

Composite siding can delaminate over time due to moisture intrusion or manufacturing defects. This results in the layers of the siding separating, reducing its structural integrity and exposing the interior to water damage. Delaminated siding should be replaced to prevent further deterioration.

**3.16.1 repaired**

Recommendation

Contact a qualified siding specialist.

## 4: GARAGE

		IN	LI	MA	MD	SC
4.1	General Overview and Limitations of Garage Inspection	X				
4.2	Garage Overhead Door	X				
4.3	Garage Occupant Doors	X				
4.4	Garage Floors	X	X			
4.5	Garage Walls and Ceilings	X	X	X		
4.6	Garage Attic		X			
4.7	Garage Windows	X	X			
4.8	Garage Electrical	X	X			
4.9	Garage Structural	X	X			
4.10	Garage, Stairs/Steps to Living Space	X				X

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

### Information

#### General Overview and

#### Limitations of Garage Inspection: Garage Vehicle Door Type:

Single

#### General Overview and

#### Limitations of Garage Inspection: Number of Automatic Openers:

1

#### General Overview and

#### Limitations of Garage Inspection: Number of Vehicle Doors:

1

#### Garage Overhead Door: Photo Documentation



#### General Overview and Limitations of Garage Inspection: Vehicle Door Safety:

Installed and operating correctly

#### Adjust Auto Reverse Safety Feature

To decrease the amount of force required to reverse the direction of the garage door, turn the knob (or screw with a screwdriver) counterclockwise one quarter. To increase the amount of force, turn it clockwise. Re-test the auto-reverse function and repeat this process until your opener is properly adjusted.

#### Garage Overhead Door: Panel(s), Cosmetic Damage

Panel(s) on the garage door had several areas that were dented or scratched. Currently this condition is considered cosmetic and does not affect their operation.

## Garage Windows: Wooden Windows, Chipping/ Peeling Paint

Wooden windows on the garage have areas of paint that requires maintenance to ensure proper moisture deterioration.



## Limitations

General Overview and Limitations of Garage Inspection

### LIMITED INSPECTION, OCCUPANTS BELONGINGS

#### INTERIOR ROOMS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

General Overview and Limitations of Garage Inspection

### LIMITED INSPECTION, FINISHED INTERIOR

Limited Inspection on structural components behind finished areas such as walls and ceilings.

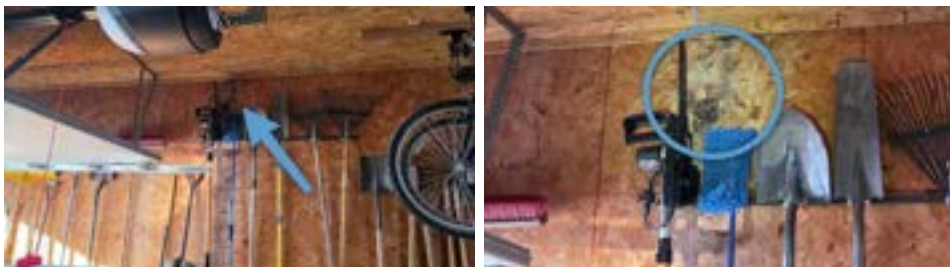
## Deficiency

### 4.5.1 Garage Walls and Ceilings

#### PREVIOUS MOISTURE DAMAGE

 Maintenance or Low Priority

Previous moisture damage on interior wall structure of garage. Currently, there is no heightened moisture content in the wall structure at these locations.

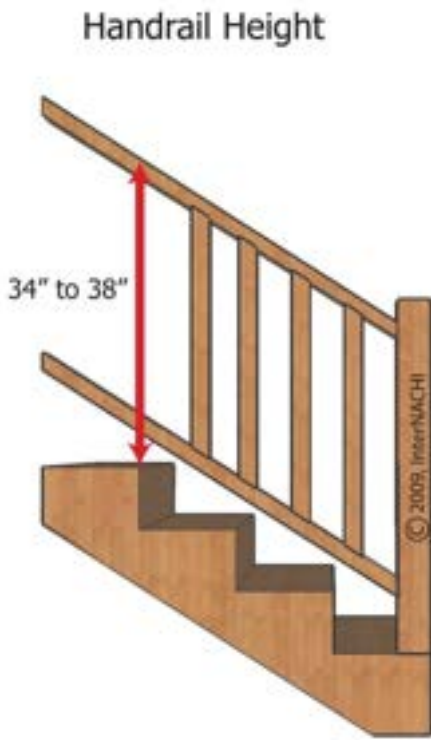


### 4.10.1 Garage, Stairs/Steps to Living Space

#### HANDRAIL, NOT INSTALLED

 Safety Concern

The steps leading to the door between the garage and the living space had no handrail installed. In order to comply with modern building practices which require a handrail at stairways with 4 or more risers, this stairway would need a handrail installed. The Inspector recommends that a handrail be installed by a qualified contractor that complies with modern building requirements.



## 5: ATTIC

		IN	LI	MA	MD	SC
5.1	General Overview and Limitations of Attic Inspection	X	X			
5.2	General Overview	X	X			
5.3	Roof Framing (from attic)	X	X	X		
5.4	Roof Sheathing (from Attic)	X	X			
5.5	Roof Structure Ventilation	X	X			
5.6	Attic Electrical	X	X			
5.7	Misc Attic Conditions (leakage, debris, etc.)	X	X			

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### Information

**General Overview and Limitations of Attic Inspection:**  
**Attic Inspected from:**  
 Inside the attic

**General Overview and Limitations of Attic Inspection:**  
**Insulation Type:**  
 Blown-in Cellulose, Vermiculite

**General Overview and Limitations of Attic Inspection:**  
**Roof Ventilation Type:**  
 No ventilation

**General Overview and Limitations of Attic Inspection:**  
**Location of Access:**  
 Walk up

**General Overview and Limitations of Attic Inspection:**  
**Roof Framing Type:**  
 Conventional Framing

**General Overview and Limitations of Attic Inspection:**  
**Average Insulation Depth:**  
 6-8 inches

**General Overview and Limitations of Attic Inspection:**  
**Roof Sheathing Material:**  
 Wood boards

### General Overview and Limitations of Attic Inspection: Photo Documentation



### Deficiency

5.3.1 Roof Framing (from attic)

 Maintenance or Low Priority

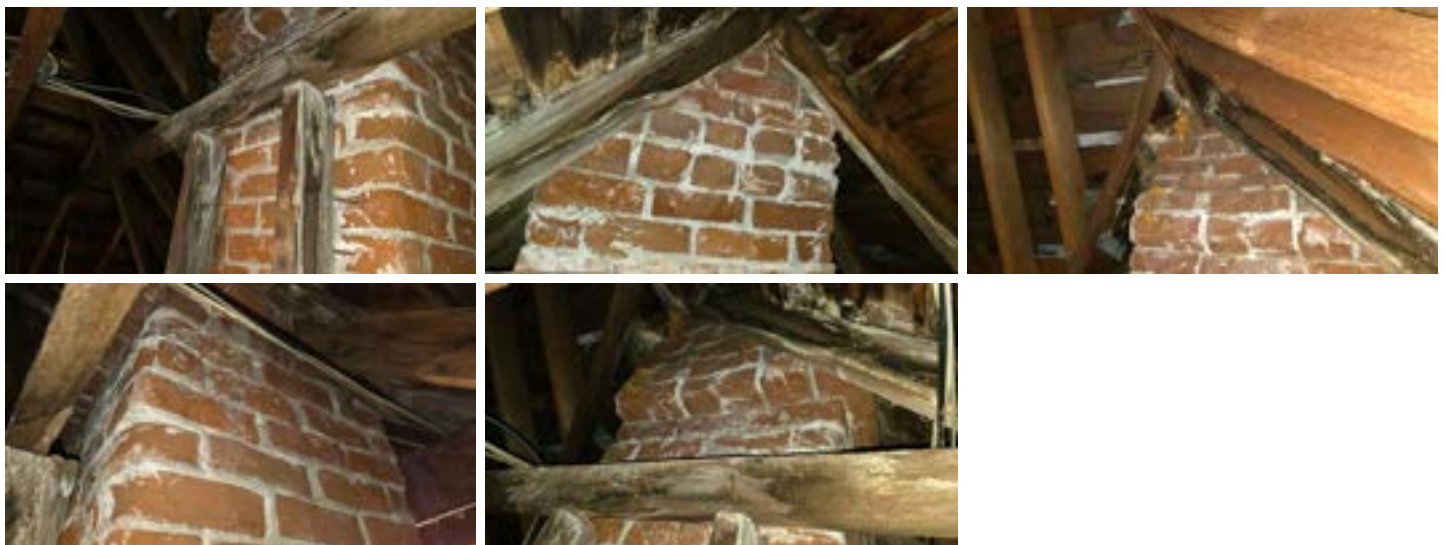
#### **ATTIC FRAMING, WOOD ROT OR DECAY**

Portions of the attic framing exhibit signs of wood rot or decay, potentially caused by prolonged exposure to moisture. Repairs or replacement of the affected framing members are recommended to prevent further deterioration.

Recommendation

Contact a qualified general contractor.

**5.3.1 REPAIRED**



# 6: KITCHEN

		IN	LI	MA	MD	SC
6.1	General Overview and Limitations of Kitchen Inspection	X	X			
6.2	Kitchen Electrical	X	X			X
6.3	Cabinets	X	X			
6.4	Kitchen Plumbing / Sink	X	X	X		
6.5	Garbage Disposal	X				
6.6	Dishwasher	X	X			
6.7	Range	X				
6.8	Range Hood or Built in Microwave	X				
6.9	Refrigerator	X	X			

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## Information

**General Overview and Limitations of Kitchen Inspection: Floor Covering Materials**  
Tile

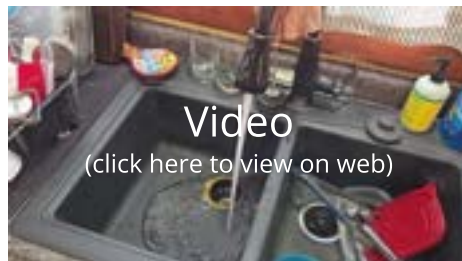
**General Overview and Limitations of Kitchen Inspection: Walls and Ceilings**  
Drywall

**General Overview and Limitations of Kitchen Inspection: Exhaust Type**  
Vented to Garage

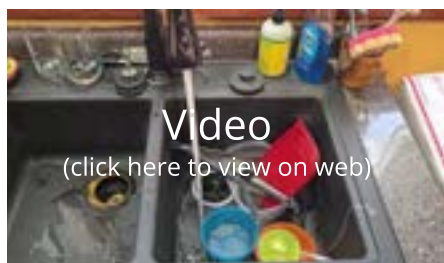
**General Overview and Limitations of Kitchen Inspection: Stove Hook Ups**  
Gas

**Kitchen Plumbing / Sink: Video Documentation**

**Garbage Disposal: Photo documentation**



**Garbage Disposal: Video Documentation**



**Kitchen Plumbing / Sink: Photo documentation**



**Dishwasher: Photo documentation**



**Range: Photo documentation**



**Range Hood or Built in Microwave: Photo documentation**



### Refrigerator: Photo documentation



## Limitations

General Overview and Limitations of Kitchen Inspection

### LIMITED INSPECTION, OCCUPANT BELONGINGS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

Dishwasher

### LIMITED INSPECTION, DISHWASHER CONTAINED OCCUPANTS ITEMS

Gold Shield Inspections is unable to run a dishwasher that contains occupants belongings. The dishwasher was not fully inspected at the time of the inspection.

## Deficiency

6.2.1 Kitchen Electrical

### KITCHEN RECEPTACLE, MISSING OR NON-FUNCTIONING GFCI PROTECTION

 Safety Concern

6.2.1 ? will be repaired before close

Outlets near the sink, countertops, or other wet areas lacked Ground Fault Circuit Interrupter (GFCI) protection, or the GFCI outlets were not functioning correctly when tested. GFCI protection is required for safety in areas with water exposure. Recommend upgrading or repairing the outlets by a licensed electrician to ensure compliance with safety standards.

Recommendation

Contact a qualified electrical contractor.



1st Floor Kitchen Outlets No GFCI Protections

#### 6.4.1 Kitchen Plumbing / Sink

### KITCHEN SINK, OUTDATED S-TRAP



Maintenance or Low Priority

An S-trap configuration was observed beneath the sink. S-traps are plumbing traps that create an "S" shape in the drainpipe. While this design may effectively hold water to block sewer gases temporarily, it is prone to siphoning. This occurs when water in the trap is drawn out during drainage, leaving the trap dry and allowing sewer gases to enter the home.

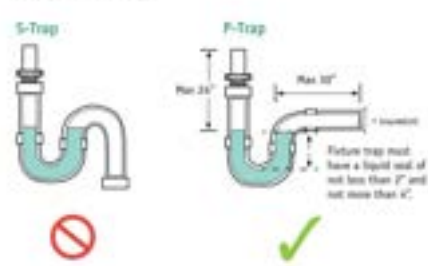
The potential for sewer gases to enter the living space presents health and safety concerns due to unpleasant odors and possible exposure to harmful substances.

It is recommended to have the S-trap replaced with a properly installed P-trap, which is less prone to siphoning and more effective in maintaining a water seal. A licensed plumber should be consulted to evaluate the installation and ensure compliance with modern plumbing standards.

Recommendation

Contact a qualified plumbing contractor.

#### S-Trap vs. P-Trap



1st Floor Kitchen Sink

#### 6.4.2 Kitchen Plumbing / Sink

### KITCHEN SINK, IMPROPER AIR GAP OR HIGH LOOP FOR DISHWASHER DRAIN



Maintenance or Low Priority

The dishwasher drain lacked an air gap or high loop, which can lead to cross-contamination of the water supply. Recommend correcting the configuration to comply with plumbing safety standards.

Recommendation

Contact a qualified plumbing contractor.



1st Floor Kitchen

## 7: BATHROOMS

		IN	LI	MA	MD	SC
7.1	General Overview and Limitations of Bathroom Inspection	X	X			
7.2	Bathroom Ventilation	X			X	
7.3	Bathroom Electrical	X	X			X
7.4	Bathroom Sink	X	X	X		
7.5	Bathroom Toilet	X	X	X		
7.6	Bathroom Tub/Shower	X		X		

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### Information

#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Cabinets:**  
Solid Wood, Pedestal

#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Toilet Type:**  
Low-volume flush (1.6 gal. [6 litres] or less)

#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Exhaust:**  
None, Fan with light, Fan/Heat/Light

#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Floor:**  
Tile

#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Bathtub:**  
Bathtub with shower, Shower only

#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Sink:**  
Sink in a cabinet, Pedestal sink, Wall-hung sink

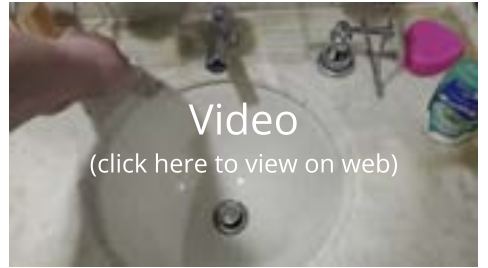
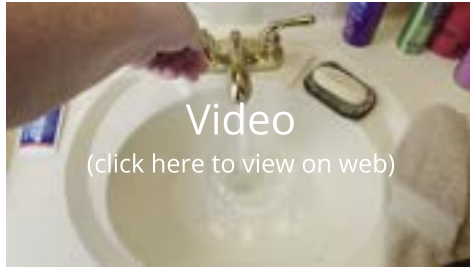
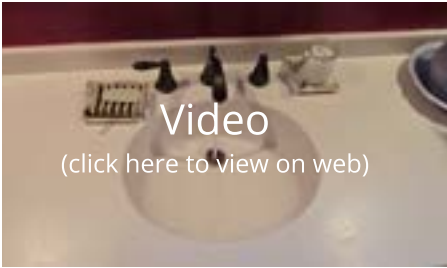
#### General Overview and Limitations of Bathroom

**Inspection: Bathroom Shower:**  
Walk-in, Fiberglass enclosure

### Bathroom Sink: Photo Documentation



### Bathroom Sink: Video Documentation



### Bathroom Toilet: Photo Documentation



### Bathroom Tub/Shower: Photo Documentation



### Limitations

General Overview and Limitations of Bathroom Inspection

#### LIMITED INSPECTION, OCCUPANTS BELONGINGS

INTERIOR ROOMS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

### Deficiency

7.2.1 Bathroom Ventilation

 Material Defect

#### BATHROOM VENTILATION, EXHAUST FAN NOT PROPERLY VENTED

UPSTAIRS BATHROOMS ARE VENTED TO ATTIC

The exhaust fan vented directly into the attic, crawlspace, or another interior area rather than outside the home. This can lead to moisture accumulation and potential biological growth in those areas. Recommend rerouting the exhaust to terminate outdoors to ensure proper moisture removal.

Recommendation

Contact a qualified professional.

7.2.1 Repaired

7.3.1 Bathroom Electrical

 Safety Concern

#### BATHROOM RECEPTACLE, MISSING OR NON-FUNCTIONING GFCI PROTECTION

Outlets near the sink, countertops, or other wet areas lacked Ground Fault Circuit Interrupter (GFCI) protection, or the GFCI outlets were not functioning correctly when tested. GFCI protection is required for safety in areas with water exposure. Recommend upgrading or repairing the outlets by a licensed electrician to ensure compliance with safety standards.



1st Floor Bathroom Outlet No GFCI Protection

7.3.1 ? to be repaired before close.

## Recommendation

Contact a qualified electrical contractor.

## 7.4.1 Bathroom Sink

 Maintenance or Low Priority

### BATHROOM, SINK WATER SUPPLY, NOT CONNECTED

The bathroom sink water supply lines were observed to be disconnected and not supplying water to the fixture at the time of inspection. This condition may be the result of prior repairs, incomplete installation, or intentional shutoff; however, it prevents the sink from functioning as intended and limits the ability to fully evaluate the fixture and related plumbing components. An unconnected water supply can also lead to leaks or water damage if the lines are inadvertently turned on or improperly capped. Recommend connection and verification of the water supply by a qualified plumber, followed by proper testing to ensure normal operation and to confirm there are no leaks present.



Basement Bathroom Sink

**REMOVED**

## Recommendation

Contact a qualified professional.

## 7.5.1 Bathroom Toilet

 Maintenance or Low Priority

### BATHROOM TOILET, LOOSE CONNECTION TO FLOOR

The toilet was observed to be loose or wobbly when tested. A loose toilet can compromise the wax seal and lead to leaks. Recommend securing the toilet to the floor and inspecting the seal for damage.



1st Floor Bathroom Toilet

## Recommendation

Contact a qualified plumbing contractor.

**FIXED**

## 7.5.2 Bathroom Toilet

 Maintenance or Low Priority

### BATHROOM TOILET WATER SUPPLY SHUT OFF

The water supply to the bathroom toilet was shut off at the time of inspection, preventing verification of proper operation and functionality. This condition may indicate a leak, a defective fill valve, or another unresolved plumbing issue that required the water to be turned off. A nonfunctional toilet is considered a critical concern, as it limits the use of essential plumbing facilities. I recommend further evaluation by a licensed plumbing contractor to determine the cause of the shut-off, restore the water supply, and make any necessary repairs to ensure the toilet operates safely and reliably.



Basement Bathroom Toilet

## Recommendation

Contact a qualified professional.

## 7.6.1 Bathroom Tub/Shower

 Maintenance or Low Priority

### BATHROOM TUB/SHOWER, LEAKING FAUCETS OR SHOWERHEADS

Water was observed dripping from the faucet or showerhead after being turned off, indicating worn seals, washers, or cartridges. Leaks waste water and may increase utility costs. Recommend repairing or replacing the affected components to prevent further water waste.

Recommendation

Contact a qualified plumbing contractor.



Master Bathroom

## 8: INTERIOR

		IN	LI	MA	MD	SC
8.1	General Overview and Limitations of Interior Inspection	X	X			
8.2	Thermostat	X				
8.3	Interior Floors	X		X		X
8.4	Interior Ceilings and Walls	X				
8.5	Interior Doors	X		X		
8.6	Interior Stairs	X				
8.7	Interior Windows	X	X	X		
8.8	Interior Electrical	X		X		X
8.9	Doorbells/Detectors/Fans	X				
8.10	Laundry Room	X				
8.11	Fireplace	X	X		X	

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### Information

#### General Overview and Limitations of Interior Inspection: Floor Covering Materials

Wood

#### General Overview and Limitations of Interior Inspection: Window Glazing

Single-pane, Double-pane

#### General Overview and Limitations of Interior Inspection: # of Bedrooms

5

#### General Overview and Limitations of Interior Inspection: Interior Doors

Solid Wood

#### General Overview and Limitations of Interior Inspection: Window Material

Wood, Vinyl

#### General Overview and Limitations of Interior Inspection: # of Bathrooms

2, .5

#### General Overview and Limitations of Interior Inspection: Walls and Ceilings

Drywall, Lath and Plaster

#### General Overview and Limitations of Interior Inspection: Window Operation

Casement, Single-hung, Double-hung

#### Thermostat: Photo Documentation



#### Laundry Room: Washer/Dryer Hook-up Photo

Washer and dryer hookups location.

## General Overview and Limitations of Interior Inspection: Air Quality

Gold Shield Inspections recommends Air Sampling for all residential properties. A home inspection is a visual inspection of the condition of your property. To ensure the air quality and ensure no hidden issues with toxins that can be produced by hidden mold inside walls, ductwork and structural components. We offer air sampling and quick turn around on all samples. Let us know if you would like more information.

## Interior Floors: Interior Introduction

Inspection of the property interior does not include testing for mold, radon, asbestos, lead paint, or other environmental hazards unless specifically requested as an ancillary inspection. Inspection of the property interior typically includes:

- interior wall, floor and ceiling coverings and surfaces;
- doors and windows: condition, hardware, and operation;
- interior trim: baseboard, casing, molding, etc.;
- permanently-installed furniture, countertops, shelving, and cabinets; and
- ceiling and whole-house fans.

## Fireplace: Photo Documentation



## Limitations

General Overview and Limitations of Interior Inspection

### LIMITED INSPECTION, OCCUPANTS BELONGINGS

#### INTERIOR ROOMS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings. Due to the possibility of owners personal documentation we are unable to offer our 360 degree images of each room.

Fireplace

### LIMITED INSPECTION, GAS SHUT-OFF TO FIREPLACE

The fireplace inspection was limited because the gas supply to the unit was turned off at the time of the inspection. As a result, the operation and performance of the gas fireplace could not be evaluated. Recommend confirming the functionality of the unit once the gas supply is restored and consulting a qualified fireplace technician if issues arise.



1st Floor Livingroom FirePlace

## Deficiency

8.3.1 Interior Floors

 Maintenance or Low Priority

**INTERIOR FLOORING TILE CRACKED OR DAMAGED**

Interior floor tiles were observed to be cracked or damaged. This type of deterioration is often caused by normal wear and tear, impact damage, or movement in the underlying subfloor or slab. Damaged tiles can create tripping hazards, allow moisture to penetrate beneath the flooring, and may lead to further loosening or breakage over time. Recommend replacement of the affected tiles and evaluation of the underlying surface to ensure it is stable and properly supported before repairs are completed.

Recommendation

Contact a qualified professional.



1st Floor Livingroom Around FirePlace

1st Floor Kitchen Floor

8.3.2 Interior Floors

 Safety Concern

**INTERIOR FLOOR, IMPROPERLY INSTALLED FLOORING TRANSITIONS**

The transition between different flooring materials is not securely attached, damaged, creating a potential tripping hazard and/or an uneven surface. This issue can arise due to improper installation techniques, the use of inadequate adhesives, or movement in the subfloor over time. Loose or misaligned transitions not only detract from the aesthetic appeal but can also lead to premature wear on flooring edges. It is recommended to secure the transition properly with appropriate fasteners or adhesives and ensure it provides a smooth and stable connection between the different flooring materials.

Recommendation

Contact a qualified flooring contractor



1st Floor Livingroom To Dining Room Floor

1st Floor Dining Room To Kitchen and Bathroom

8.5.1 Interior Doors

 Maintenance or Low Priority

**INTERIOR DOOR, DOES NOT CLOSE OR LATCH PROPERLY**

The door was misaligned or the latch mechanism was faulty, preventing it from closing or latching securely. Recommend adjusting the hinges, strike plate, or latch mechanism to ensure proper operation.

Recommendation

Contact a qualified door repair/installation contractor.

Repaired; now latches



1st Floor Dining Room To Hall Door Can't Latch

8.7.1 Interior Windows

 Maintenance or Low Priority

**GENERAL WINDOW, EXCESSIVE WEAR ON BALANCES OR SPRINGS**

Balances or springs that fail can cause windows to drop unexpectedly, posing a safety hazard. Recommend replacing these mechanisms to restore proper operation.

Recommendation

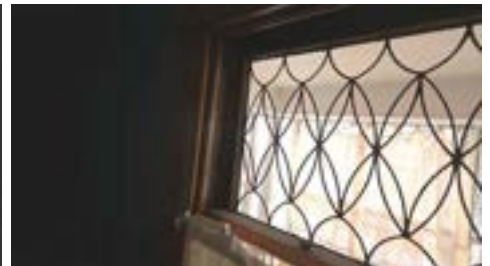
Contact a qualified window repair/installation contractor.



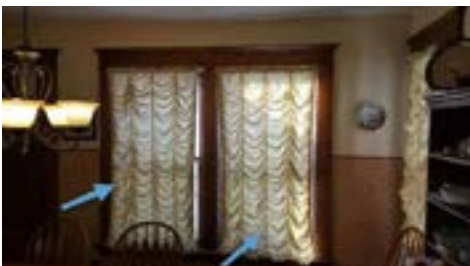
1st Floor Livingroom Window Damaged and Missing Balances



1st Floor Livingroom Window Damaged Balances



1st Floor Livingroom Window Missing Balances



1st Floor Dining Room Windows Lower Sash Wont Stay Up When Opened

8.8.1 Interior Electrical

 Safety Concern

**INTERIOR SWITCHES OR OUTLETS, MISSING OR DAMAGED COVER PLATES**

Cover plates protect users from accidental contact with live wires and prevent debris from entering electrical boxes. Missing plates increase the risk of shocks or short circuits. Recommend installing cover plates over all exposed switches to ensure safety.

Recommendation

Contact a qualified professional.

8.8.1 ? will be repaired before close.



Basement Room Outlet



2nd Floor Hall

8.8.2 Interior Electrical

 Maintenance or Low Priority

**INTERIOR OUTLETS, OPEN GROUND**

An outlet with an open ground lacks a proper ground connection, which is critical for safely redirecting excess current in case of a fault. This issue can increase the risk of electrical shock and is common in older homes. Recommend upgrading or repairing the outlet to include a proper ground wire.

Recommendation

Contact a qualified professional.

8.8.3 Interior Electrical

 Safety Concern

**INTERIOR WIRING, MISSING JUNCTION BOX COVER**

The junction box is missing its cover, leaving electrical wires exposed. This condition poses a safety hazard as it increases the risk of accidental contact, electrical shocks, and potential arcing, which can lead to fire hazards. Junction box covers are essential for containing wiring connections and preventing dust, debris, or unintended contact with live electrical components. Recommend installing a proper cover on the junction box to enhance safety and ensure compliance with electrical safety standards. A qualified electrician should address this issue promptly.

Recommendation

Contact a qualified electrical contractor.



Basement back shop

8.8.3 ? to be repaired before close

8.9.1 Doorbells/Detectors/Fans

 Safety Concern

**SMOKE DETECTOR INSTALL MORE**

### NFPA Information

The Inspector recommends installing a smoke detector to provide improved fire protection for common areas. Generally-accepted current safety standards recommend smoke detectors be installed in the following locations:

1. In the immediate vicinity of the bedrooms
2. In all bedrooms
3. In each story of a dwelling unit, including basements and cellars, but not including crawl spaces and uninhabitable attics.
4. In units of 1,200 square feet or more, automatic fire detectors, in the form of smoke detectors shall be provided for each 1,200 square feet of area or part thereof. Any smoke detector located within 20 feet of a kitchen or bathroom containing a tub or shower must be a photoelectric type. The 1996 edition of the National Fire Protection Association (NFPA) 72 gives further guidance on the placement of smoke detectors, when required. Here are some examples from Chapter 2 of NFPA 72:
5. Smoke detectors in a bedroom with a ceiling sloped greater than one foot in eight feet horizontally should be located on the high side of the ceiling.
6. Smoke detectors should not be located within three (3) feet of a door to a bathroom containing a tub or a shower or the supply registers of a forced air HVAC system. Smoke detectors can be located on the ceiling with the side of the detector greater than four (4) inches from the wall or on the wall of a bedroom with the top of the detector located four (4) to twelve (12) inches down from the ceiling. All smoke detectors should be installed in accordance with the manufacturer's recommendation and be UL listed.

Recommendation

Recommended DIY Project



### 8.9.2 Doorbells/Detectors/Fans

#### CO DETECTOR NEEDED



### NFPA Information

The Inspector recommends installing a carbon monoxide detector. Carbon monoxide is an odorless, colorless, tasteless, toxic gas that is a product of the combustion process. Combustion appliances such as gas furnaces and heaters can introduce dangerously high levels of carbon monoxide onto the indoor air if combustion components need adjustment. Carbon monoxide detectors monitor indoor air and sound an alarm if dangerously high levels of carbon monoxide are detected. They are inexpensive and available at most hardware and home improvement stores. The Inspector recommends installation by a qualified contractor.

Recommendation

Recommended DIY Project

CO detectors on all levels



8.11.1 Fireplace

**GENERAL FIREPLACE, CRACKED OR DAMAGED FIREBOX**

Material Defect

Cracks or damage were observed in the firebox, which may allow heat, flames, or smoke to escape into surrounding areas, increasing the risk of fire. This condition may also indicate underlying structural issues or excessive wear. Recommend repair by a qualified fireplace technician to ensure the firebox is safe and functional.



1st Floor Livingroom FirePlace

Recommendation

Contact a qualified fireplace contractor.

8.11.1 fireplace is not usable.

# 9: PLUMBING

		IN	LI	MA	MD	SC
9.1	General Overview and Limitations of Plumbing Inspection	X	X			
9.2	Water Supply and Distribution	X	X	X		
9.3	Sewage and DWV Systems	X	X			
9.4	Visible Gas Piping System	X	X			
9.5	Water Heater	X		X		
9.6	Sump Pump					
9.7	Water Softener		X			
9.8	Radon Mitigation	X				

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

### General Overview and Limitations of Plumbing

**Inspection: Sewage System Type:**  
Public

### General Overview and Limitations of Plumbing

**Inspection: Drain Waste and Vent Pipe Materials:**  
Cast Iron, Polyvinyl Chloride (PVC)

### General Overview and Limitations of Plumbing

**Inspection: Water Supply Pipe:**  
1/2-inch

### General Overview and Limitations of Plumbing

**Inspection: Water Distribution Pipes:**  
1/2-inch and 3/4-inch copper, 1/2 and 3/4-inch galvanized steel

### General Overview and Limitations of Plumbing

**Inspection: Water main shut off**

### Water Heater: Water Heater Fuel Type

Natural Gas



### Water Heater: Water Heater Manufacturer

Ruud

### Water Heater: Water Heater Manufacturer Date

2003

### Water Heater: Water Heater Tank Capacity

40 gallons

### Water Heater: Photo documentation



## Radon Mitigation: Overview: Active Radon Mitigation System for Crawlspace, Basements, and Slab Homes

### What is an Active Radon Mitigation System?

An active radon mitigation system is designed to reduce radon gas levels in homes, including those with crawlspaces, basements, or slab foundations. Radon is a naturally occurring radioactive gas linked to health risks like lung cancer. The system uses a fan to draw radon gas from beneath the home and vent it safely outdoors.

### Key Components of an Active Radon Mitigation System

1.

#### Radon Suction Points:

- Basement: A hole is cored through the slab to access the soil beneath, where radon gas is collected and vented.
- Crawlspace: A sealed vapor barrier is installed over the exposed soil, with a suction point beneath to extract radon gas.
- Slab Home: Similar to a basement system, a suction point is installed by drilling into the slab to reach the sub-slab soil.

2.

#### Ventilation Piping:

PVC piping routes radon gas from the suction point(s) to above the roofline for safe outdoor discharge.

3.

#### Radon Fan:

An inline fan creates a vacuum to continuously draw radon gas from beneath the home and vent it outside. The fan is typically installed outside the living space, such as in an attic or exterior location.

4.

#### System Monitor:

A pressure gauge (manometer) on the vent pipe allows homeowners to verify the system is functioning properly.

### How It Works:

- Crawlspace: The radon fan pulls gas from under the sealed vapor barrier, keeping radon from entering the home.
- Basements and Slabs: The fan draws radon from beneath the slab and vents it outdoors, maintaining a lower pressure under the slab to prevent radon infiltration.

### Maintenance Tips:

1. Monitor System Performance: Regularly check the manometer or monitoring device to confirm the system is working.
2. Inspect Vapor Barriers (Crawlspaces): Ensure the barrier is intact with no tears or gaps.
3. Test Radon Levels Periodically: Retest radon levels every 2–3 years to ensure the system is maintaining safe levels.
4. Radon Fan Replacement: Fans typically last 5–10 years and should be replaced as needed.

### Why It's Important:

An active radon mitigation system reduces radon levels to safer levels (below 4.0 pCi/L, as recommended by the EPA), protecting occupants from potential health risks. Regular monitoring and maintenance ensure continued system effectiveness.



## Limitations

General Overview and Limitations of Plumbing Inspection

### LIMITED INSPECTION, FINISHED AREAS

The inspection of plumbing items, included behind walls, ceilings, and floors, was limited due to the presence of finished surfaces such as drywall, paneling, or flooring materials. These finishes restrict access to the underlying plumbing elements, making it impossible to assess their condition fully. This limitation prevents a thorough evaluation of potential issues.

Water Softener

### LIMITED INSPECTION DUE TO WATER SOFTENER OUTSIDE SOP

The water softener was not inspected as its evaluation falls outside the scope of our inspection and the InterNACHI Standards of Practice. Functionality, maintenance status, and overall condition of the unit were not assessed. Recommend consulting a qualified water treatment specialist for a full evaluation of the water softener system.



## Deficiency

9.2.1 Water Supply and Distribution

### CORRODED PIPES



Signs of corrosion were noted on the supply lines, particularly at joints or fittings. Corrosion weakens the pipes and increases the risk of leaks or bursts. Recommend replacing corroded sections with durable materials, such as copper or PEX.

Recommendation

Contact a qualified plumbing contractor.



#### 9.5.1 Water Heater

### **PAST EQUIPMENT DESIGN LIFE**

 Maintenance or Low Priority

The water heater appeared to be nearing or exceeding its typical lifespan of 10–15 years. Aging units are more prone to leaks, inefficiency, and failure. Recommend monitoring performance and planning for replacement.

Recommendation

Contact a qualified plumbing contractor.

# 10: STRUCTURE

		IN	LI	MA	MD	SC
10.1	General Overview and Limitations of Structural Component Inspection	X	X			
10.2	Wall Structure	X	X			
10.3	Framed Floor Structure and supports	X	X			
10.4	Foundation	X	X	X		
10.5	Slab	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

### General Overview and Limitations of Structural Component Inspection: Home Structural Design

Balloon Framing

### General Overview and Limitations of Structural Component Inspection: Foundation Method/Materials

Mortared stone foundation walls,  
Clay block

### General Overview and Limitations of Structural Component Inspection: Exterior Wall Structures

Conventional 2x4 Wood Frame

### General Overview and Limitations of Structural Component Inspection: Main Floor Structure

Wooden boards over wood joists

### General Overview and Limitations of Structural Component Inspection: Foundation Configuration

Partially-finished basement

### General Overview and Limitations of Structural Component Inspection: Main Floor Structure- Intermediate Support

Mortared Brick wall, Clay Block Walls

### General Overview and Limitations of Structural Component Inspection: Homeowner's Responsibility

One of the most common problems in a house is a wet basement or foundation. You should monitor the walls and floors for signs of water penetration, such as dampness, water stains, peeling paint, efflorescence, and rust on exposed metal parts. In a finished basement, look for rotted or warped wood paneling and doors, loose floor tiles, and mildew stains. It may come through the walls or cracks in the floor, or from backed-up floor drains, leaky plumbing lines, or a clogged air-conditioner condensate line.

## Limitations

General Overview and Limitations of Structural Component Inspection

### LIMITED INSPECTION, STRUCTURAL COMPONENTS BEHIND FINISHED SURFACES

The inspection of structural components, including walls, ceilings, and floors, was limited due to the presence of finished surfaces such as drywall, paneling, or flooring materials. These finishes restrict access to the underlying structural elements, making it impossible to assess their condition fully. This limitation prevents a thorough evaluation of potential issues such as hidden framing damage, water intrusion, pest activity, or improper modifications.

While no visible signs of structural concerns were observed at the time of the inspection, it is important to note that hidden defects may exist behind these finished surfaces. If concerns arise in the future, or if renovations are planned that involve removing these finishes, further evaluation by a qualified professional is recommended to assess the condition of the concealed structural components.

## General Overview and Limitations of Structural Component Inspection

### LIMITED INSPECTION, OCCUPANT BELONGINGS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

## Deficiency

### 10.4.1 Foundation



Maintenance or Low Priority

### FOUNDATION, EXCESSIVE EFFLORESCENCE

Excessive efflorescence was observed on the foundation wall. Efflorescence appears as a white, powdery substance caused by moisture traveling through the wall and depositing salts on the surface. While it is typically not a structural issue, it indicates moisture infiltration, which can contribute to other problems such as weakening of mortar or concrete, potential biological growth, and long-term deterioration of the foundation.

Recommendations:

1. Identify and address the source of moisture causing the efflorescence. This may involve improving exterior drainage, repairing downspouts, or addressing leaks in the foundation.
2. Remove the efflorescence using a dry brush or mild cleaning solution. Avoid using excessive water during cleaning, as this can worsen the moisture problem.
3. Consider applying a waterproofing sealant or membrane to the interior or exterior of the foundation to prevent further moisture penetration.
4. Monitor the area for recurring moisture issues and take corrective actions as needed.

Consultation with a waterproofing or foundation specialist is recommended to assess the extent of moisture infiltration and determine appropriate long-term solutions.

Recommendation

Contact a qualified waterproofing contractor



### 10.4.2 Foundation



Maintenance or Low Priority

### STONE FOUNDATION, TUCK POINTING

Stone foundation mortar decay was observed at the time of inspection. Recommend tuck point mortar repair to ensure ongoing stability of Foundation.



repaired ^

Repaired ^

# 11: ELECTRICAL

		IN	LI	MA	MD	SC
11.1	General Overview and Limitations of Electrical Component Inspection	X				
11.2	Service Panel Cabinet	X				
11.3	Service Grounding System	X				

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

**General Overview and Limitations of Electrical Component Inspection: Location**  
Basement

**General Overview and Limitations of Electrical Component Inspection: Service Disconnect Location:**  
At Service Panel

**General Overview and Limitations of Electrical Component Inspection: Service Panel Ampacity:**  
200 amps

**General Overview and Limitations of Electrical Component Inspection: Distribution Pipe Bonding:**  
Pipes were bonded

**General Overview and Limitations of Electrical Component Inspection: Service Panel Type:**  
Load Center

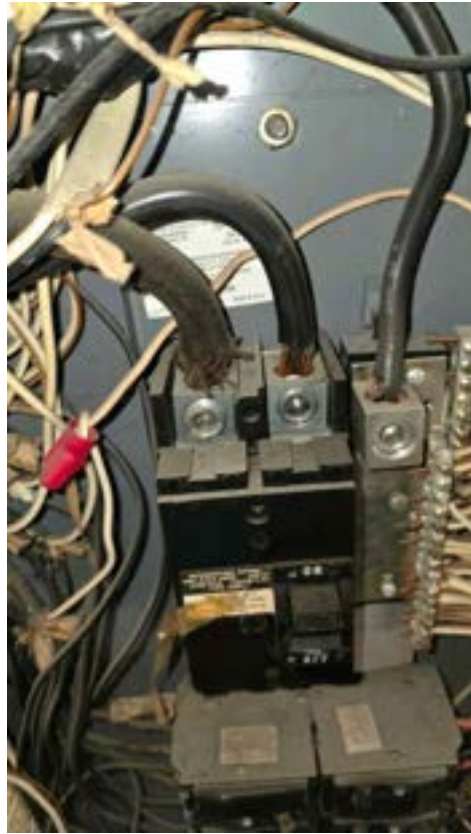
**General Overview and Limitations of Electrical Component Inspection: Service Panel Manufacturer:**  
Square D

**General Overview and Limitations of Electrical Component Inspection: Electrical Service Conductors:**  
Overhead service

**General Overview and Limitations of Electrical Component Inspection: Service Disconnect Type:**  
Breaker

**General Overview and Limitations of Electrical Component Inspection: Type of Branch Wiring:**  
Vinyl-coated, Solid Copper, Stranded Copper

### Service Panel Cabinet: Photo documentation





### Service Panel Cabinet: Development of Power Needs in Residential Homes

The list below is intended to be no more than a rough rule of thumb covering the average unimproved electrical supply over the last century, and would cover the average 1,500- to 2,000-square-foot home.

- 1900s to 1930s: 30-amp supply
- 1930s to 1950s: 60-amp supply
- 1950s to 1970s: 100-amp supply
- 1970s to 1980s: 150-amp supply
- 1980s to 2000s: 200-amp supply

Obviously, larger and more expensive homes have always required more power than the norm, and it is not unusual now to see 400+-amp services in high-end homes.

### Service Grounding System : Bonding of Components

The purpose of bonding is to ensure the electrical continuity of the fault current path, provide the capacity and ability to conduct safely any fault current likely to be imposed, and to aid in the operation of the over-current protection device.

The panel enclosures need to be bonded to the grounding system. But there is also a very long list of other components that need to be connected to ground, since they have the potential to become energized to electrical faults. These components include:

- interior water piping;
- water heaters;
- around water meters;
- gas lines;
- electrical enclosures;
- electrical raceways;
- electric outlets or junction boxes;
- CSST gas piping (manufacturer's compliance); and
- telephone and cable TV systems.

# 12: HVAC

		IN	LI	MA	MD	SC
12.1	General Overview and Limitations of HVAC Inspection	X				
12.2	Ductwork	X	X	X		
12.3	Central Air Conditioner	X	X	X		
12.4	Furnace	X		X		
12.5	Combustion Air	X				
12.6	Combustion Gas Vent (Chimney)	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

### General Overview and Limitations of HVAC Inspection:

#### Air Filter Location:

Behind sliding panel at furnace,  
Behind return air registers

### General Overview and Limitations of HVAC Inspection:

#### Air Filter Size

14x20x1, 20X25X1

### General Overview and Limitations of HVAC Inspection:

#### Cooling System Brand:

Ruud

### General Overview and Limitations of HVAC Inspection:

#### Cooling System Date

1980s

### General Overview and Limitations of HVAC Inspection:

#### Heating System Brand:

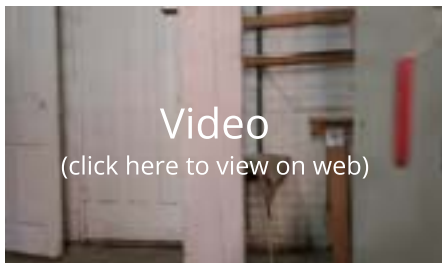
Ruud

### General Overview and Limitations of HVAC Inspection:

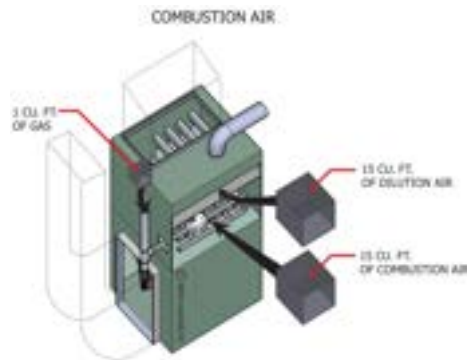
#### Heating System Date

1980s

### Furnace: HVAC running video



### Combustion Air: Combustion Air, Standard Furnace



Combustion Air

### General Overview and Limitations of HVAC Inspection: Homeowner's Responsibility

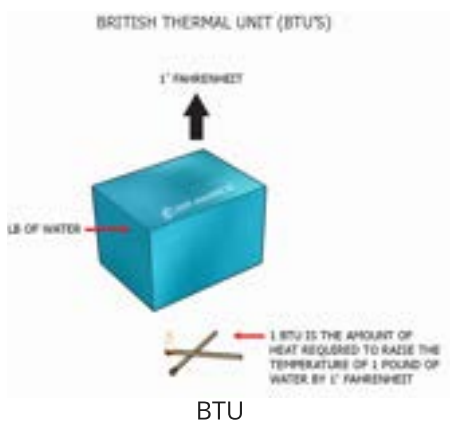
Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

We highly recommend yearly maintenance inspections on all HVAC equipment. This has the ability to extend the life of the equipment and ensure proper functionality. These inspections are very cost effective and should be part of your yearly maintenance plan. Contact a local HVAC company and set up your yearly inspection today.



### General Overview and Limitations of HVAC Inspection: BTU's (British Thermal Unit)

In heating and cooling we use the term BTU which is the amount of heat required to raise the temperature of 1 pound of water by 1 degree fahrenheit.

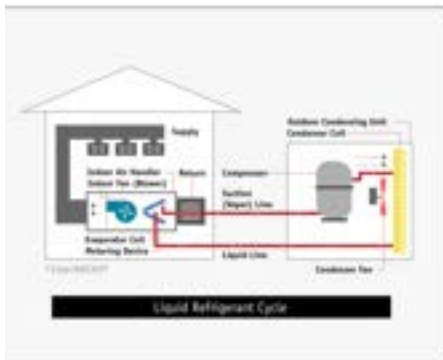


### Central Air Conditioner: Photo documentation



## Central Air Conditioner: A/C, Split System Components

A split air conditioning system is a common residential cooling setup consisting of two main units: an indoor unit and an outdoor unit. The outdoor unit contains the compressor, condenser coil, and fan, which work together to release heat from the home. The indoor unit houses the evaporator coil and air handler, which absorb heat from the indoor air and circulate cooled air through the home. Refrigerant lines connect the two units, transferring heat between them. A thermostat controls the system, regulating cooling cycles. Regular maintenance, such as changing filters and cleaning coils, helps keep the system efficient and prolongs its lifespan.



air conditioning system

## Central Air Conditioner: Recommended Yearly Maintenance

Yearly HVAC maintenance is key to efficiency, reliability, and longevity. Neglecting it can lead to higher energy costs, poor performance, and unexpected breakdowns.

Benefits of Regular Maintenance:

- Energy Efficiency: Clean filters, coils, and fans improve performance and lower utility bills.
- Longer Lifespan: Prevents excessive wear, reducing costly replacements.
- Better Air Quality: Replacing filters and cleaning components reduces allergens and pollutants.
- Fewer Breakdowns: Early detection of issues prevents major failures and emergency repairs.
- Warranty Protection: Many manufacturers require routine maintenance to keep warranties valid.
- Consistent Comfort: Ensures reliable heating and cooling year-round.
- Eco-Friendly: Efficient systems use less energy and reduce environmental impact.

What Maintenance Includes:

- Cleaning coils, filters, and ducts.
- Testing system performance and refrigerant levels.
- Lubricating moving parts and tightening connections.
- Clearing condensation drains to prevent water damage.

Recommendation:

Schedule HVAC maintenance annually—spring for cooling systems and fall for heating—to maximize performance and prevent costly repairs. Investing in routine service ensures comfort, efficiency, and long-term savings.

The below listed company has been proven to keep their technicians exceptionally trained as well as they hold all the needed insurance and bonding. We believe they provide a great service consistently to their clients in East Central Iowa.



319-208-2159

## Furnace: Photo documentation



## Furnace: Disclaim Heat Exchanger

The heat exchanger within the furnace was not disassembled, inspected, or pressure tested during this home inspection. A standard home inspection is a visual and functional evaluation and does not include invasive or technically exhaustive testing of HVAC components. Detecting defects such as cracks or holes in the heat exchanger requires specialized equipment and procedures, which are beyond the scope of this inspection.

Heat exchanger damage, if present, may pose safety risks, including the potential for carbon monoxide (CO) leakage. To mitigate these risks, it is recommended that:

- The heat exchanger be further evaluated by a licensed HVAC technician, especially if the furnace is older, has not been serviced recently, or exhibits signs of improper operation.
- Carbon monoxide detectors be installed in key areas of the home, such as near sleeping areas and on each level of the home, to monitor for CO and alert occupants to dangerous conditions.
- The furnace and HVAC system receive regular professional maintenance to ensure safe and efficient operation.

Taking these preventative measures helps to protect the safety and well-being of the home's occupants and ensures that the HVAC system operates as intended.

## Furnace: Recommend Yearly Maintenance

Yearly HVAC maintenance is key to efficiency, reliability, and longevity. Neglecting it can lead to higher energy costs, poor performance, and unexpected breakdowns.

Benefits of Regular Maintenance:

- **Energy Efficiency:** Clean filters, coils, and fans improve performance and lower utility bills.
- **Longer Lifespan:** Prevents excessive wear, reducing costly replacements.
- **Better Air Quality:** Replacing filters and cleaning components reduces allergens and pollutants.
- **Fewer Breakdowns:** Early detection of issues prevents major failures and emergency repairs.
- **Warranty Protection:** Many manufacturers require routine maintenance to keep warranties valid.
- **Consistent Comfort:** Ensures reliable heating and cooling year-round.
- **Eco-Friendly:** Efficient systems use less energy and reduce environmental impact.

What Maintenance Includes:

- Cleaning coils, filters, and ducts.
- Testing system performance and refrigerant levels.
- Lubricating moving parts and tightening connections.
- Clearing condensation drains to prevent water damage.

Recommendation:

Schedule HVAC maintenance annually—spring for cooling systems and fall for heating—to maximize performance and prevent costly repairs. Investing in routine service ensures comfort, efficiency, and long-term savings.

The below listed company has been proven to keep their technicians exceptionally trained as well as they hold all the needed insurance and bonding. We believe they provide a great service consistently to their clients in East Central Iowa.



**319-208-2159**

## Limitations

Ductwork

### **LIMITED INSPECTION, DUCTWORK**

During a standard residential home inspection we observe all duct work that is visible. We are unable to fully inspect any ductwork that is behind finished ceilings, walls and floors. These areas are not accessible without specialized equipment and should be considered not inspected.

Central Air Conditioner

### **LIMITED INSPECTION, TEMP BELOW 65**

Limited inspection on the central air conditioning system. The central air conditioning system was not tested during the inspection due to outdoor temperatures being below 65°F. Operating an air conditioning system in cooler weather can potentially cause damage to the compressor, as the system is designed to function optimally under warmer conditions. Running the system when it is too cold may result in improper lubrication of the compressor and can lead to system failure.

For accurate testing and evaluation of the air conditioning system, it is recommended to operate the system only when outdoor temperatures are consistently above 65°F for at least 24 hours. If further evaluation is needed, testing should be conducted under appropriate conditions by a qualified HVAC technician.



## Deficiency

### 12.2.1 Ductwork

#### **DUCTWORK, RECOMMEND CLEANING**



Maintenance or Low Priority

Visible accumulation of dust, debris, or potential biological growth inside the ductwork was observed. Contaminated ductwork can negatively impact indoor air quality and may exacerbate respiratory conditions for occupants. Cleaning the ductwork by a certified HVAC professional is recommended to improve air quality and system hygiene. Additionally, installing or maintaining air filters can help reduce future contamination.

- pets
- occupants with allergies or asthma
- cigarette or cigar smoke
- water contamination or damage to the home or HVAC system
- home renovation or remodeling projects

Some occupants are more sensitive to these contaminants than others. Allergy and asthma sufferers, as well as young children and the elderly tend to be more susceptible to the types of poor indoor air quality that air duct cleaning can help address.

NADCA's rule of thumb for consumers is that if your air ducts look dirty, they probably are, and that dirty HVAC systems should be inspected by a reputable, certified HVAC professional. Below are some other reasons homeowners choose to have their air ducts cleaned.

Recommend that all new home owners contact a qualified HVAC duct cleaning service.

Recommendation

Contact a qualified professional.

### 12.2.2 Ductwork

#### **DUCTWORK, POSSIBLE ASBESTOS**



Maintenance or Low Priority

The ductwork in the home was observed to have material that may potentially contain asbestos. Asbestos was commonly used in insulation and duct sealing materials in older homes due to its heat resistance and durability. However, asbestos is a hazardous material that can pose serious health risks if disturbed, as airborne asbestos fibers can be inhaled and lead to respiratory illnesses, including asbestosis, lung cancer, or mesothelioma.

It is important to avoid disturbing the material until its composition has been verified. Testing by a licensed asbestos professional is strongly recommended to determine if the material contains asbestos. If asbestos is confirmed, remediation or encapsulation should be performed by a qualified contractor in accordance with local regulations and safety guidelines.

In the meantime, occupants should refrain from disturbing the ductwork or performing any DIY repairs in this area to prevent the potential release of asbestos fibers. Ensuring the material is safely managed will protect the home's indoor air quality and the health of its occupants.

#### Recommendation

Contact a qualified professional.

#### 12.2.3 Ductwork



### **HVAC DUCTWORK, LOW POINT, HEAVY CORROSION PRESENT**

Heavy corrosion was observed along the low point of the HVAC ductwork. This type of deterioration is commonly caused by prolonged moisture exposure, which may result from condensation forming on cooler duct surfaces, inadequate insulation, high indoor humidity levels, or previous water intrusion in the surrounding area. Over time, corrosion can weaken the metal, create air leaks, and reduce system efficiency. Recommend having a qualified HVAC contractor evaluate the affected duct sections, identify the source of moisture, and complete any necessary repairs or replacement to prevent further deterioration and maintain proper system performance.



#### Recommendation

Contact a qualified professional.

#### 12.2.4 Ductwork



### **HVAC HUMIDIFIER INOPERABLE AND ABANDONED**

During the inspection, a duct-mounted whole-house humidifier was observed to be no longer operable and appears to have been out of service for an extended period of time. The unit shows signs of disuse and no longer provides any functional benefit to the HVAC system. Abandoned humidifiers can allow unsealed openings in the ductwork, which may contribute to air leakage, reduced system efficiency, and potential moisture or debris entry. Recommend removal of the inoperable humidifier and proper patching and sealing of the ductwork opening by a qualified HVAC professional to restore the integrity of the system and prevent future issues.

#### Recommendation

Contact a qualified HVAC professional.



### 12.3.1 Central Air Conditioner



#### **A/C, BEYOND AVERAGE DESIGN LIFE OF 15 YEARS**

This A/C unit was beyond its average design life of 15 years. The Inspector recommends yearly service by a qualified HVAC technician to ensure that it is in the best possible working condition. Yearly maintenance can extend the life of the components. Unless otherwise noted the unit was operating and in good condition at the time of the inspection.

An air conditioning (A/C) unit is considered to be past its design life when it has exceeded the expected operational lifespan typically determined by the manufacturer. Most residential A/C units are designed to last 10 to 15 years under normal operating conditions and with regular maintenance. However, this lifespan can vary based on factors such as usage, climate, and maintenance practices.

When an A/C unit is past its design life, it often means:

1. **Decreased Efficiency:** Over time, components wear down, reducing the unit's ability to cool efficiently. This can lead to higher energy consumption and increased utility costs.
2. **Frequent Repairs:** Older units are more prone to breakdowns, requiring frequent and costly repairs as parts become worn or fail completely.
3. **Outdated Technology:** Newer A/C units often have improved energy efficiency and environmental features, such as higher SEER (Seasonal Energy Efficiency Ratio) ratings and eco-friendly refrigerants. Older systems may lack these advancements.
4. **Increased Risk of Failure:** Aging systems are at a higher risk of complete failure, particularly during peak usage periods, such as hot summer months.
5. **Refrigerant Issues:** Many older units rely on refrigerants like R-22 (Freon), which have been phased out due to environmental concerns. Servicing these systems can be expensive or impossible if the refrigerant is no longer available.

Recommendations:

- **Proactive Replacement:** Replacing an A/C unit before it fails can prevent unexpected breakdowns and ensure continued comfort. Modern systems often provide significant energy savings and may qualify for rebates or incentives.
- **Professional Evaluation:** A licensed HVAC technician can assess the system's condition, determine its remaining useful life, and recommend whether repair or replacement is the best option.

While an A/C unit past its design life may still function, its performance, reliability, and efficiency are likely to decline, making replacement a practical and cost-effective solution in the long term.

Recommendation

Contact a qualified HVAC professional.

### 12.3.2 Central Air Conditioner



#### **A/C, UNIT NOT LEVEL**

The condenser unit was not sitting level on its pad. An unlevel unit can cause strain on internal components, such as the compressor, leading to premature wear and possible failure. Adjusting or leveling the pad is recommended to protect the system.

Recommendation

Contact a qualified HVAC professional.

## 12.4.1 Furnace



Maintenance or Low Priority

**FURNACE, EQUIPMENT DESIGN LIFE**

The furnace was observed to be beyond its typical design life, which is generally 15-20 years for most residential systems. While the furnace may still be operational, components can become less reliable and efficient over time, leading to increased energy consumption and a higher likelihood of breakdowns. Aging furnaces may also lack modern safety and energy-efficient features found in newer models.

Key concerns for older furnaces include:

- **Reduced Efficiency:** Older systems may operate at a significantly lower efficiency compared to modern furnaces, increasing heating costs.
- **Component Wear:** Critical components such as the heat exchanger, blower motor, and burners may be at risk of failure.
- **Safety Risks:** Older heat exchangers are more prone to cracks or corrosion, which could potentially lead to carbon monoxide leakage.

Recommendations:

- A licensed HVAC technician should evaluate the furnace to assess its condition and determine whether repairs or replacement are warranted.
- If replacement is necessary, consider upgrading to a high-efficiency furnace with modern safety and performance features, which may also qualify for energy rebates or incentives.
- Installing carbon monoxide detectors near the furnace and sleeping areas is strongly advised to ensure occupant safety.

Proactively addressing an aging furnace can help improve energy efficiency, enhance comfort, and reduce the risk of unexpected system failure.

# 13: GOLD SHIELD INSPECTIONS INFO

		IN	LI	MA	MD	SC
13.1	Energy Report	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

### Energy Report: Black Hills Energy Report



### Scope of Inspections: Standards of Practice

#### 1. Definitions and Scope

1.1. A home inspection is a non-invasive, visual examination of the accessible areas of a residential property (as delineated below), performed for a fee, which is designed to identify defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. The scope of work may be modified by the Client and Inspector prior to the inspection process.

- 1. The home inspection is based on the observations made on the date of the inspection, and not a prediction of future conditions.
- 2. The home inspection will not reveal every issue that exists or ever could exist, but only those material defects/safety concerns observed on the date of the inspection.

1.3. A home inspection report shall identify, in written format, defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. Inspection reports may include additional comments and recommendations.

#### InterNACHI Standards of Practice

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# STANDARDS OF PRACTICE

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## Inspection Details

Gold Shield Inspections follows InterNACHI Standards of Practice

### Roof Systems

#### 3.1. Roof

I. The inspector shall inspect from ground level or the eaves:

- A. the roof-covering materials;
- B. the gutters;
- C. the downspouts;
- D. the vents, flashing, skylights, chimney, and other roof penetrations; and
- E. the general structure of the roof from the readily accessible panels, doors or stairs.

II. The inspector shall describe:

- A. the type of roof-covering materials.

III. The inspector shall report as in need of correction:

- A. observed indications of active roof leaks.

IV. The inspector is not required to:

- A. walk on any roof surface.
- B. predict the service life expectancy.
- C. inspect underground downspout diverter drainage pipes.
- D. remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces.
- E. move insulation.
- F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments.
- G. walk on any roof areas that appear, in the inspectors opinion, to be unsafe.
- H. walk on any roof areas if doing so might, in the inspectors opinion, cause damage.
- I. perform a water test.
- J. warrant or certify the roof.
- K. confirm proper fastening or installation of any

roof-covering material.

## Exterior

### 3.2. Exterior

#### I. The inspector shall inspect:

- A. the exterior wall-covering materials, flashing and trim;
- B. all exterior doors;
- C. adjacent walkways and driveways;
- D. stairs, steps, stoops, stairways and ramps;
- E. porches, patios, decks, balconies and carports;
- F. railings, guards and handrails;
- G. the eaves, soffits and fascia;
- H. a representative number of windows; and

I. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

#### II. The inspector shall describe:

- A. the type of exterior wall-covering materials.

#### III. The inspector shall report as in need of correction:

- A. any improper spacing between intermediate balusters, spindles and rails.

#### IV. The inspector is not required to:

- A. inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting.
- B. inspect items that are not visible or readily accessible from the ground, including window and door flashing.
- C. inspect or identify geological, geotechnical, hydrological or soil conditions.
- D. inspect recreational facilities or playground equipment.
- E. inspect seawalls, breakwalls or docks.
- F. inspect erosion-control or earth-stabilization measures.
- G. inspect for safety-type glass.
- H. inspect underground utilities.
- I. inspect underground items.
- J. inspect wells or springs.
- K. inspect solar, wind or geothermal systems.
- L. inspect swimming pools or spas.
- M. inspect wastewater treatment systems, septic systems or cesspools.
- N. inspect irrigation or sprinkler systems.
- O. inspect drainfields or dry wells.
- P. determine the integrity of multiple-pane window glazing or thermal window seals.

## Garage

Gold Shield Inspections follows InterNACHI Standards of Practice

## Attic

### 3.9. Attic, Insulation & Ventilation

#### I. The inspector shall inspect:

- A. insulation in unfinished spaces, including attics, crawlspaces and foundation areas;
- B. ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and
- C. mechanical exhaust systems in the kitchen, bathrooms and laundry area.

#### II. The inspector shall describe:

- A. the type of insulation observed; and

- B. the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.
- III. The inspector shall report as in need of correction:
  - A. the general absence of insulation or ventilation in unfinished spaces.
- IV. The inspector is not required to:
  - A. enter the attic or any unfinished spaces that are not readily accessible, or where entry could cause damage or, in the inspector's opinion, pose a safety hazard.
  - B. move, touch or disturb insulation.
  - C. move, touch or disturb vapor retarders.
  - D. break or otherwise damage the surface finish or weather seal on or around access panels or covers.
  - E. identify the composition or R-value of insulation material.
  - F. activate thermostatically operated fans.
  - G. determine the types of materials used in insulation or wrapping of pipes, ducts, jackets, boilers or wiring.
  - H. determine the adequacy of ventilation.

## **Kitchen**

[Gold Shield Inspections follows InterNACHI Standards of Practice](#)

## **Bathrooms**

[Gold Shield Inspections follows InterNACHI Standards of Practice](#)

## **Interior**

### 3.10. Doors, Windows & Interior

- I. The inspector shall inspect:
  - A. a representative number of doors and windows by opening and closing them;
  - B. floors, walls and ceilings;
  - C. stairs, steps, landings, stairways and ramps;
  - D. railings, guards and handrails; and
  - E. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.
- II. The inspector shall describe:
  - A. a garage vehicle door as manually-operated or installed with a garage door opener.
- III. The inspector shall report as in need of correction:
  - A. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
  - B. photo-electric safety sensors that did not operate properly; and
  - C. any window that was obviously fogged or displayed other evidence of broken seals.
- IV. The inspector is not required to:
  - A. inspect paint, wallpaper, window treatments or finish treatments.
  - B. inspect floor coverings or carpeting.
  - C. inspect central vacuum systems.
  - D. inspect for safety glazing.
  - E. inspect security systems or components.
  - F. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
  - G. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
  - H. move suspended-ceiling tiles.
  - I. inspect or move any household appliances.
  - J. inspect or operate equipment housed in the

garage, except as otherwise noted.

K. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.

L. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.

M. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.

N. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.

O. inspect microwave ovens or test leakage from microwave ovens.

P. operate or examine any sauna, steamgenerating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.

Q. inspect elevators.

R. inspect remote controls.

S. inspect appliances.

T. inspect items not permanently installed.

U. discover firewall compromises.

V. inspect pools, spas or fountains.

W. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.

X. determine the structural integrity or leakage of pools or spas.

## Plumbing

### 3.6. Plumbing

I. The inspector shall inspect:

A. the main water supply shut-off valve;

B. the main fuel supply shut-off valve;

C. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;

D. interior water supply, including all fixtures and faucets, by running the water;

E. all toilets for proper operation by flushing;

F. all sinks, tubs and showers for functional drainage;

G. the drain, waste and vent system; and

H. drainage sump pumps with accessible floats.

II. The inspector shall describe:

A. whether the water supply is public or private based upon observed evidence;

B. the location of the main water supply shut-off valve;

C. the location of the main fuel supply shut-off valve;

D. the location of any observed fuel-storage system; and

E. the capacity of the water heating equipment, if labeled.

III. The inspector shall report as in need of correction:

A. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;

B. deficiencies in the installation of hot and cold water faucets;

C. mechanical drain stops that were missing or did not operate if installed in sinks, lavatories and tubs; and

D. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

IV. The inspector is not required to:

- A. light or ignite pilot flames.
- B. measure the capacity, temperature, age, life expectancy or adequacy of the water heater.
- C. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems.
- D. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply.
- E. determine the water quality, potability or reliability of the water supply or source.
- F. open sealed plumbing access panels.
- G. inspect clothes washing machines or their connections.
- H. operate any valve.
- I. test shower pans, tub and shower surrounds or enclosures for leakage or functional overflow protection.
- J. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping.
- K. determine the effectiveness of anti-siphon, backflow prevention or drain-stop devices.
- L. determine whether there are sufficient cleanouts for effective cleaning of drains.
- M. evaluate fuel storage tanks or supply systems.
- N. inspect wastewater treatment systems.
- O. inspect water treatment systems or water filters.
- P. inspect water storage tanks, pressure pumps, or bladder tanks.
- Q. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.
- R. evaluate or determine the adequacy of combustion air.
- S. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves.
- T. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation.
- U. determine the existence or condition of polybutylene plumbing.
- V. inspect or test for gas or fuel leaks, or indications thereof.

## Structure

### 3.3. Basement, Foundation, Crawlspace & Structure

#### I. The inspector shall inspect:

- A. the foundation;
- B. the basement;
- C. the crawlspace; and
- D. structural components.

#### II. The inspector shall describe:

- A. the type of foundation; and
- B. the location of the access to the under-floor space.

#### III. The inspector shall report as in need of correction:

- A. observed indications of wood in contact with or near soil;
- B. observed indications of active water penetration;
- C. observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and
- D. any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern.

- IV. The inspector is not required to:
- A. enter any crawlspace that is not readily accessible, or where entry could cause damage or pose a hazard to him/herself.
  - B. move stored items or debris.
  - C. operate sump pumps with inaccessible floats.
  - D. identify the size, spacing, span or location or determine the adequacy of foundation bolting, bracing, joists, joist spans or support systems.
  - E. provide any engineering or architectural service.
  - F. report on the adequacy of any structural system or component.

## Electrical

### 3.7. Electrical

- I. The inspector shall inspect:
- A. the service drop;
  - B. the overhead service conductors and attachment point;
  - C. the service head, gooseneck and drip loops;
  - D. the service mast, service conduit and raceway;
  - E. the electric meter and base;
  - F. service-entrance conductors;
  - G. the main service disconnect;
  - H. panelboards and over-current protection devices (circuit breakers and fuses);
  - I. service grounding and bonding;
  - J. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
  - K. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
  - L. smoke and carbon-monoxide detectors.
- II. The inspector shall describe:
- A. the main service disconnect's amperage rating, if labeled; and
  - B. the type of wiring observed.
- III. The inspector shall report as in need of correction:
- A. deficiencies in the integrity of the serviceentrance conductors insulation, drip loop, and vertical clearances from grade and roofs;
  - B. any unused circuit-breaker panel opening that was not filled;
  - C. the presence of solid conductor aluminum branch-circuit wiring, if readily visible;
  - D. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and
  - E. the absence of smoke detectors.
- IV. The inspector is not required to:
- A. insert any tool, probe or device into the main panelboard, sub-panels, distribution panelboards, or electrical fixtures.
  - B. operate electrical systems that are shut down.
  - C. remove panelboard cabinet covers or dead fronts.
  - D. operate or re-set over-current protection devices or overload devices.
  - E. operate or test smoke or carbon-monoxide detectors or alarms
  - F. inspect, operate or test any security, fire or alarms systems or components, or other warning or signaling systems.
  - G. measure or determine the amperage or voltage of the main service equipment, if not visibly

labeled.

H. inspect ancillary wiring or remote-control devices.

I. activate any electrical systems or branch circuits that are not energized.

J. inspect low-voltage systems, electrical de-icing tapes, swimming pool wiring, or any timecontrolled devices.

K. verify the service ground.

L. inspect private or emergency electrical supply sources, including, but not limited to: generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility.

M. inspect spark or lightning arrestors.

N. inspect or test de-icing equipment.

O. conduct voltage-drop calculations.

P. determine the accuracy of labeling.

Q. inspect exterior lighting.

## HVAC

### 3.4. Heating

I. The inspector shall inspect:

A. the heating system, using normal operating controls.

II. The inspector shall describe:

A. the location of the thermostat for the heating system;

B. the energy source; and

C. the heating method.

III. The inspector shall report as in need of correction:

A. any heating system that did not operate; and

B. if the heating system was deemed inaccessible.

IV. The inspector is not required to:

A. inspect or evaluate the interior of flues or chimneys, fire chambers, heat exchangers, combustion air systems, fresh-air intakes, humidifiers, dehumidifiers, electronic air filters, geothermal systems, or solar heating systems.

B. inspect fuel tanks or underground or concealed fuel supply systems.

C. determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system.

D. light or ignite pilot flames.

E. activate heating, heat pump systems, or other heating systems when ambient temperatures or other circumstances are not conducive to safe operation or may damage the equipment.

F. override electronic thermostats.

G. evaluate fuel quality.

H. verify thermostat calibration, heat anticipation, or automatic setbacks, timers, programs or clocks.

### 3.5. Cooling

I. The inspector shall inspect:

A. the cooling system, using normal operating controls.

II. The inspector shall describe:

A. the location of the thermostat for the cooling system; and

B. the cooling method.

III. The inspector shall report as in need of correction:

A. any cooling system that did not operate; and

B. if the cooling system was deemed inaccessible.

IV. The inspector is not required to:

A. determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system.

B. inspect portable window units, through-wall units, or electronic air filters.

C. operate equipment or systems if the exterior temperature is below 65 Fahrenheit, or when

other circumstances are not conducive to safe operation or may damage the equipment.

D. inspect or determine thermostat calibration, cooling anticipation, or automatic setbacks or clocks.

E. examine electrical current, coolant fluids or gases, or coolant leakage.