



APPROVED BY THE TEXAS REAL ESTATE COMMISSION (TREC)



SELLER'S DISCLOSURE NOTICE

CONCERNING THE PROPERTY AT 1006 Shelley Avenue, Austin, Texas 78703

(Street Address and City)

THIS NOTICE IS A DISCLOSURE OF SELLER'S KNOWLEDGE OF THE CONDITION OF THE PROPERTY AS OF THE DATE SIGNED BY SELLER AND IS NOT A SUBSTITUTE FOR ANY INSPECTIONS OR WARRANTIES THE PURCHASER MAY WISH TO OBTAIN. IT IS NOT A WARRANTY OF ANY KIND BY SELLER OR SELLER'S AGENTS.

Seller [ ] is [x] is not occupying the Property. If unoccupied, how long since Seller has occupied the Property? 19 Days

1. The Property has the items checked below [Write Yes (Y), No (N), or Unknown (U)]:

- Y Range, Y Dishwasher, Y Washer/Dryer Hookups, N Security System, N TV Antenna, Y Ceiling Fan(s), Y Central A/C, Y Plumbing System, N Patio/Decking, N Pool, N Pool Equipment, N Fireplace(s) & Chimney (Wood Burning), Y Natural Gas Lines, N Liquid Propane Gas, U Fuel Gas Piping, N Garage, N Garage Door Opener(s), Water Heater: Y Gas, Water Supply: Y City, Roof Type: Shingles, Y Oven, N Trash Compactor, Y Window Screens, Y Fire Detection Equipment, Y Smoke Detector, U Impaired, U Carbon Monoxide Alarm, N Emergency Escape Ladder(s), U Cable TV Wiring, U Attic Fan(s), Y Central Heating, Y Septic System, N Outdoor Grill, N Sauna, N Pool Heater, N Microwave, Y Disposal, Y Rain Gutters, N Intercom System, Y Satellite Dish, Y Exhaust Fan(s), N Wall/Window Air Conditioning, U Public Sewer System, Y Fences, N Spa, N Hot Tub, Y Automatic Lawn Sprinkler System, Y Fireplace(s) & Chimney (Mock), Y Gas Fixtures, U LP Community (Captive), U LP on Property, U Black Iron Pipe, U Corrugated Stainless Steel Tubing, U Copper, N Not Attached, N Carport, N Control(s), Y Electric, N Well, N MUD, N Co-op, Age: Unknown (approx.)

Are you (Seller) aware of any of the above items that are not in working condition, that have known defects, or that are in need of repair? [ ] Yes [x] No [ ] Unknown. If yes, then describe. (Attach additional sheets if necessary):

[Empty text box for describing defects]

2. Does the property have working smoke detectors installed in accordance with the smoke detector requirements of Chapter 766, Health and Safety Code?\* [x] Yes [ ] No [ ] Unknown. If the answer to this question is no or unknown, explain (Attach additional sheets if necessary):

[Empty text box for explaining answer]



\* Chapter 766 of the Health and Safety Code requires one-family or two-family dwellings to have working smoke detectors installed in accordance with the requirements of the building code in effect in the area in which the dwelling is located, including performance, location, and power source requirements. If you do not know the building code requirements in effect in your area, you may check unknown above or contact your local building official for more information. A buyer may require a seller to install smoke detectors for the hearing impaired if: (1) the buyer or a member of the buyer's family who will reside in the dwelling is hearing impaired; (2) the buyer gives the seller written evidence of the hearing impairment from a licensed physician; and (3) within 10 days after the effective date, the buyer makes a written request for the seller to install smoke detectors for the hearing impaired and specifies the locations for the installation. The parties may agree who will bear the cost of installing the smoke detectors and which brand of smoke detectors to install.

3. Are you (Seller) aware of any known defects/malfunctions in any of the following? Write Yes (Y) if you are aware, write No (N)

if you are not aware.

- |                                                  |                             |                            |
|--------------------------------------------------|-----------------------------|----------------------------|
| <u>N</u> Interior Walls                          | <u>N</u> Ceilings           | <u>N</u> Floors            |
| <u>N</u> Exterior Walls                          | <u>N</u> Doors              | <u>Y</u> Windows           |
| <u>N</u> Roof                                    | <u>N</u> Foundation/Slab(s) | <u>N</u> Sidewalks         |
| <u>N</u> Walls/Fences                            | <u>N</u> Driveways          | <u>N</u> Intercom System   |
| <u>Y</u> Plumbing/Sewers/Septics                 | <u>N</u> Electrical Systems | <u>N</u> Lighting Fixtures |
| <u>N</u> Other Structural Components (Describe): |                             |                            |

If the answer to any of the above is yes, explain. (Attach additional sheets if necessary):

**(Windows) Some windows in the house are original to 1919 and are difficult to open and close.**  
**(Plumbing/Sewers/Septics) There is a crack in the sewer ventilation pipe that was repaired in 2025.**

4. Are you (Seller) aware of any of the following conditions? Write Yes (Y) if you are aware, write No (N) if you are not aware.

- |                                                             |                                             |
|-------------------------------------------------------------|---------------------------------------------|
| <u>N</u> Active Termites (includes wood destroying insects) | <u>N</u> Previous Structural or Roof Repair |
| <u>N</u> Termite or Wood Rot Damage Needing Repair          | <u>N</u> Hazardous or Toxic Waste           |
| <u>Y</u> Previous Termite Damage                            | <u>N</u> Asbestos Components                |
| <u>Y</u> Previous Termite Treatment                         | <u>N</u> Urea-formaldehyde Insulation       |
| <u>N</u> Improper Drainage                                  | <u>N</u> Radon Gas                          |
| <u>Y</u> Water Damage Not Due to a Flood Event              | <u>N</u> Lead Based Paint                   |
| <u>N</u> Landfill, Settling, Soil Movement, Fault Lines     | <u>N</u> Aluminum Wiring                    |
| <u>N</u> Single Blockable Main Drain in a Pool/Hot Tub/Spa* | <u>N</u> Previous Fires                     |
|                                                             | <u>N</u> Unplatted Easements                |
|                                                             | <u>N</u> Subsurface Structure or Pits       |
|                                                             | Previous Use of Premises for Manufacture of |
|                                                             | <u>N</u> Methamphetamine                    |

If the answer to any of the above is yes, explain. (Attach additional sheets if necessary):

**(Previous Termite Damage) There was termite damage to the frame around the front door of the guest house in 2025, which has been repaired. The guest house was then treated for termites. After a professional assessment, no evidence of termites was found in the main**



(Street Address and City)

house.

**(Previous Termite Treatment) Guest house was treated for termites in 2025.**

**(Water Damage Not Due to a Flood Event) There was a slow/small HVAC leak in 2024 above the utility room in the attic of the main house. Professional water remediation was performed and no evidence of permanent damage or mold was found.**

\* A single blockable main drain may cause a suction entrapment hazard for an individual.

5. Are you (Seller) aware of any item, equipment, or system in or on the Property that is in need of repair?  Yes (if you are aware)  No (if you are not aware). If yes, explain (attach additional sheets if necessary).

[Empty text box for explanation]

6. Are you (Seller) aware of any of the following conditions?\* Write Yes (Y) if you are aware, write No (N) if you are not aware.

N Present flood insurance coverage

N Previous flooding due to a failure or breach of a reservoir or a controlled or emergency release of water from a reservoir

N Previous water penetration into a structure on the property due to a natural flood event

Write Yes (Y) if you are aware, and check wholly or partly as applicable, write No (N) if you are not aware.

N Located  wholly  partly in a 100-year floodplain (Special Flood Hazard Area-Zone A, V, A99, AE, AO, AH, VE, or AR)

N Located  wholly  partly in a 500-year floodplain (Moderate Flood Hazard Area-Zone X (shaded))

N Located  wholly  partly in a floodway

N Located  wholly  partly in a flood pool

N Located  wholly  partly in a reservoir

If the answer to any of the above is yes, explain (attach additional sheets if necessary):

[Empty text box for explanation]

\*For the purposes of this notice:

"100-year floodplain" means any area of land that:

(A) Is identified on the flood insurance rate map as a special flood hazard area, which is designated as Zone A, V, A00, AE, AO, AH, VE, or AR on the map;

(B) Has a one percent annual chance of flooding, which is considered to be a high risk of flooding; and

(C) May include a regulatory floodway, flood pool, or reservoir.

"500-year floodplain" means any area of land that:

(A) Is identified on the flood insurance rate map as a moderate flood hazard area, which is designated on the map as Zone X (shaded); and

(B) Has a two-tenths of. One percent annual chance of flooding, which is considered to be a moderate risk of flooding.

"Flood pool" means the area adjacent to a reservoir that lies above the normal maximum operating level of the reservoir and that is subject to controlled inundation under the management of the United States Army Corps of Engineers.

"Flood insurance rate map" means the most recent flood hazard map published by the Federal Emergency Management Agency under the National Flood Insurance Act of 1968 (42 U.S.C Section 4001 et seq.).

"Floodway" means an area that is identified on the flood insurance rate map as regulatory floodway, which includes the channel of a river or other watercourse and the adjacent land areas that must be reserved for the discharge of a base flood, also referred to as a 100-year flood, without cumulatively increasing the water surface elevation of more than a designated height.

"Reservoir" means a water impoundment project operated by the United States Army Corps of Engineers that is intended to retain water or delay the runoff of water in a designated surface area of land.



7. Have you (Seller) ever filed a claim for flood damage to the property with any insurance provider, including the National Flood Insurance Program (NFIP)?\*  Yes  No. If yes, explain (attach additional sheets as necessary):

\* Homes in a high risk flood zones with mortgages from federally regulated or insured lenders are required to have flood insurance. Even when not required, the Federal Emergency Management Agency (FEMA) encourages homeowners in high risk, moderate risk, and low risk flood zones to purchase flood insurance that covers the structure(s) and the personal property within the structure(s).

8. Have you (Seller) ever received assistance from FEMA or the U.S. Small Business Administration (SBA) for flood damage to the property?  Yes  No. If yes, explain (attach additional sheets as necessary):

9. Are you (Seller) aware of any of the following? Write Yes (Y) if you are aware, write No (N) if you are not aware.

Room additions, structural modifications, or other alterations or repairs made without necessary permits or not in compliance with building codes in effect at that time.

Homeowners' Association or maintenance fees or assessments.

Any "common area" (facilities such as pools, tennis courts, walkways, or other areas) co-owned in undivided interest with others.

Any notices of violations of deed restrictions or governmental ordinances affecting the condition or used of the Property.

Any lawsuits directly or indirectly affecting the Property.

Any condition on the Property which materially affects the physical health or safety of an individual.

Any rainwater harvesting system located on the property that is larger than 500 gallons and that uses a public water supply as an auxiliary water source.

Any portion of the property that is located in a groundwater conservation district or a subsidence district.

If the answer to any of the above is yes, explain. (Attach additional sheets if necessary):

If the property is located in a coastal area that is seaward of the Gulf Intracoastal Waterway or within 1,000 feet of the mean high tide bordering the Gulf of Mexico, the property may be subject to the Open Beaches Act or the Dune Protection Act (Chapter 61 or 63, Natural Resources Code, respectively) and a beachfront construction certificate or dune protection permit maybe required for repairs or improvements. Contact the local government with ordinance authority over construction adjacent to public beaches for more information.

10. This property may be located near a military installation and may be affected by high noise or air installation compatible use zones or other operations. Information relating to high noise and compatible use zones is available in the most recent Air Installation Compatible Use Zone Study or Joint Land Use Study prepared for a military installation and may be accessed on the Internet website of the military installation and of the county and any municipality in which the military installation is located.



Seller's Disclosure Notice Concerning the Property at **1006 Shelley Avenue, Austin, Texas 78703**  
(Street Address and City)

*Joseph Emery*  
Signature of Seller

*2026-03-19*  
Date

Signature of Seller

Date

The undersigned purchaser hereby acknowledges receipt of the foregoing notice.

Signature of Purchaser

Date

Signature of Purchaser

Date



This form was prepared by the Texas Real Estate Commission in accordance with Texas Property Code § 5.008(b) and is to be used in conjunction with a contract for the sale of real property entered into on or after September 1, 2023. Texas Real Estate Commission, P.O. Box 12188, Austin, TX 78711-2188, 512-936-3000 (<http://www.trec.texas.gov>) TREC NO. 55-0. This form replaces OP-H.





### UPDATE TO SELLER'S DISCLOSURE NOTICE

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#### UPDATE TO THE SELLER'S DISCLOSURE NOTICE CONCERNING THE PROPERTY AT

1006 Shelley Ave

TX

Austin

78703

Seller is aware of the following new information regarding the condition of the Property. Section(s) \_\_\_\_\_ are changed to read (cite specific sections and copy the applicable language in the sections verbatim, making any necessary changes):

Left downstairs pocket door is not functioning correctly.

This Update to the Seller's Disclosure Notice was completed by Seller as of the date signed. No person, including the broker(s), has instructed or influenced Seller to provide inaccurate information or to omit any material information. The brokers have relied on this information as true and correct and have no reason to believe it to be false or inaccurate.

Seller acknowledges that the statements in this form are true to the best of Seller's belief.

Buyer acknowledges receipt of this form.

*Joseph Emery*

04/30/2026

Signature of Seller Date

Signature of Buyer Date

Printed Name: Joseph Emery

Printed Name: \_\_\_\_\_

Signature of Seller Date

Signature of Buyer Date

Printed Name: -

Printed Name: \_\_\_\_\_



### UPDATE TO SELLER'S DISCLOSURE NOTICE

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#### UPDATE TO THE SELLER'S DISCLOSURE NOTICE CONCERNING THE PROPERTY AT

1006 Shelley Ave TX Austin TX 78703

Seller is aware of the following new information regarding the condition of the Property. Section(s) \_\_\_\_\_ are changed to read (*cite specific sections and copy the applicable language in the sections verbatim, making any necessary changes*):

Fixable foundation issues have been discovered. A structural engineer from Tucker Engineering recommended re-shimming some piers and replacing one porch pier. In the words of the structural engineer: "No excessive movements, deflections or any other evidence which would indicate a structural problem with the roof or wall framing of this house were observed." We have included an estimate based on the structural engineer's recommendations and two estimates for more extensive work from foundation companies.

Buyers on the first contract for this home requested roof and back house HVAC be replaced, no inspector documentation was provided.

This Update to the Seller's Disclosure Notice was completed by Seller as of the date signed. No person, including the broker(s), has instructed or influenced Seller to provide inaccurate information or to omit any material information. The brokers have relied on this information as true and correct and have no reason to believe it to be false or inaccurate.

Seller acknowledges that the statements in this form are true to the best of Seller's belief.

Buyer acknowledges receipt of this form.

*Joseph Emery*

05/27/2026

Signature of Seller \_\_\_\_\_ Date

Signature of Buyer \_\_\_\_\_ Date

Printed Name: Joseph Emery

Printed Name: -

Signature of Seller \_\_\_\_\_ Date

Signature of Buyer \_\_\_\_\_ Date

Printed Name: -

Printed Name: -

1006 Shelley – Engineering Foundation Evaluation Provided by Seller





From

Tucker Engineering, Inc.  
1311 Chisholm Trail, Ste 303  
Round Rock, Texas 78681  
Registration F-8611

To

Erin Dunnigan

Regarding

Reference Number 43070  
Issued May 22, 2026  
Inspected May 19, 2026  
1006 Shelley Avenue  
Austin, Texas 78703

# Structural Inspection Report

## Type of Structure

This is a two-story, wood frame, single family house with horizontally lapped siding around the exterior. The foundation is a pier and beam on cedar trunks. The roof structure is conventionally framed in gable and hip configurations and is covered with asphalt shingles. The lot is fairly level.

## Observations

### Foundation

The pier and beam foundation / floor system was constructed with 2x10 joists at 24 inches on-center, spanning front to rear underneath the main rooms. The central hallway is supported by 2x6 joists, spanning left to right. The joists were supported by 4x6 beams which were themselves supported by a combination of cedar tree trunks and grouted cinderblock piers located at roughly 5-foot on-center. The components of the foundation were generally in good condition.

There was a dry-stacked cinderblock pier at the front-right corner of the porch which was precariously stacked.

Damages were observed around the house as follows:

1. Interior
  - a. Foyer
    - i. A 1/32-inch sheetrock crack above the opening to the office.

- b. Office
  - i. The door is out of plumb.
  - ii. Multiple hairline sheet rock cracks in the ceiling.

Measurements were taken inside the house as shown in the enclosed diagram. It was determined that the foundation had significant humps and dips throughout. Cross sections of the foundation were analyzed as shown in the enclosed diagrams. The utility was originally constructed as exterior space with a slope built into the floor and was excluded from the elevation readings.

The soil on this lot was expansive clay.

## Drainage

The drainage patterns around the house appeared to be satisfactory.

## Superstructure

No excessive movements, deflections or any other evidence which would indicate a structural problem with the roof or wall framing of this house were observed.

## Conclusions and Recommendations

### Foundation

The foundation has experienced movements with deflections and damages as previously described. The magnitudes of the deformations are somewhat beyond allowable tolerances. However, the foundation is structurally intact and the house is safe and livable.

The beams and floor systems may be lifted off the existing piers and fixed in a more level position.

I recommend that the dry-stacked cinderblock pier be replaced with a new spread footing constructed as shown in the enclosed details. I also recommend that the beams be positively anchored to the grouted cinderblock piers as shown in the enclosed details.

The central Texas area has clay soil, which shrinks and swells with variations in the moisture content. This phenomenon can cause foundations to move and cracks to occur. Periodic adjustments will be necessary to maintain a level condition.

The cedar tree trunk piers have been supporting the structure for over 100 years and still appear to be in generally good condition. However, they will continue to rot from the bottom and slowly sink into the ground. The cedar trunks should be inspected periodically and reinforced with new concrete footings as necessary.

## Drainage

No remedial work necessary.

It was dry during the time of the inspection and pooling of water and/or flow of water, which is not apparent at this time, may occur during heavy rains.

## Superstructure

No remedial work necessary.





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I certify that I (or my representative) made this inspection and have no interest, present or prospective, in this property or anyone involved with this property. I warrant that I (or my representative) visually inspected the components of this property as addressed in this report in a diligent manner and have honestly reported the findings of existing conditions and have made recommendations based on my experience and opinion. Neither Tucker Engineering nor I express or imply any guarantee of specific future structural performance with the limited scope of this inspection; rather, this is my best effort to interpret my observations and develop an opinion as to structural significance. There may be rotten or termite damaged wood that is not visible without destructive investigation. The conditions of the various components of this property described in this report are true as of the date of inspection. Changes may occur in this property after the inspection date, which could make null and void the contents of this report. No other warranty, either expressed or implied, is hereby made.

  
Matthew Solum, P.E.  
Structural Engineer

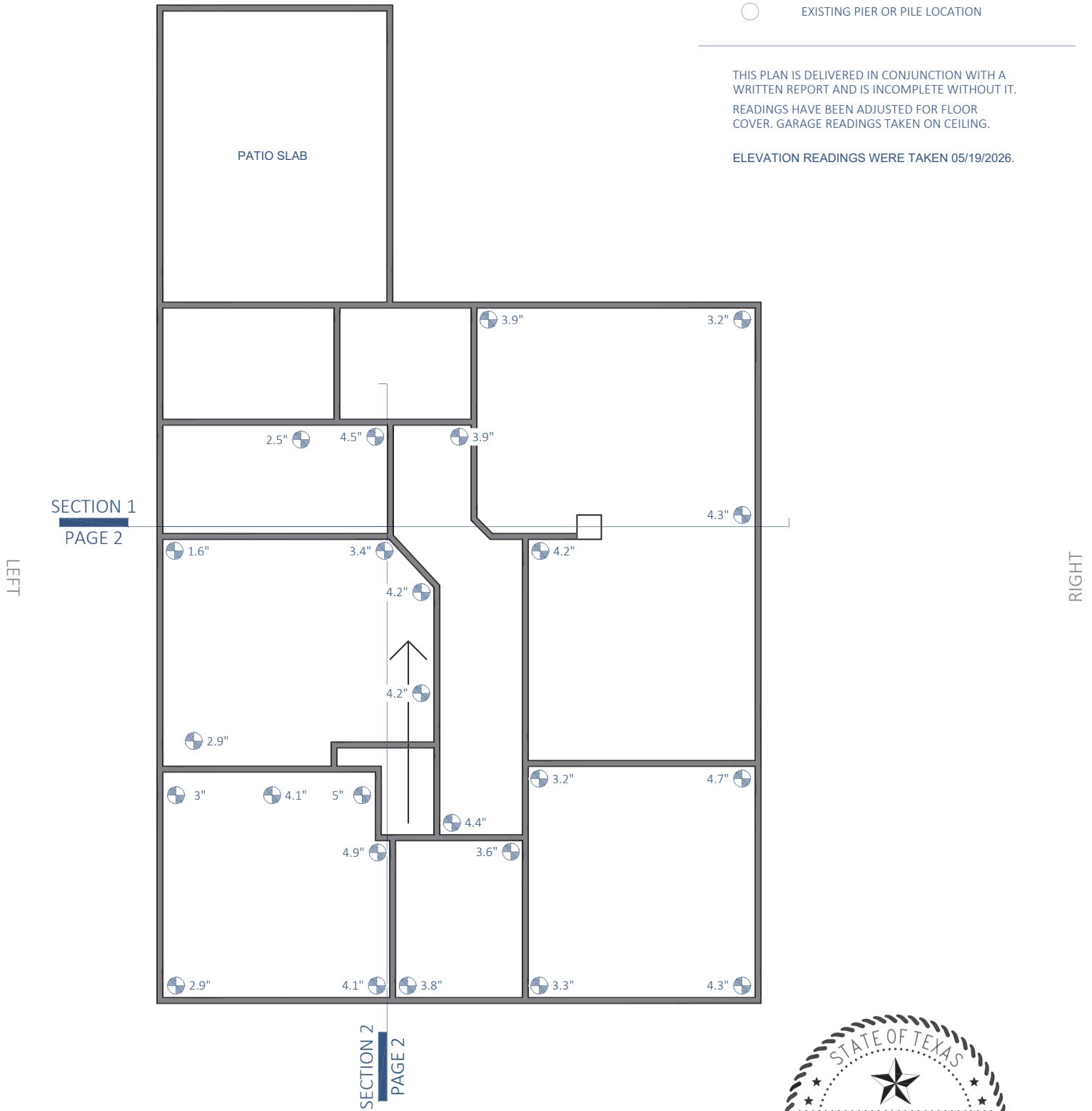


REAR

-  SPOT ELEVATION MEASUREMENT (IN.)
-  DIRECTION OF WALL LEAN
-  PROPOSED PIER OR PILE LOCATION
-  EXISTING PIER OR PILE LOCATION

THIS PLAN IS DELIVERED IN CONJUNCTION WITH A WRITTEN REPORT AND IS INCOMPLETE WITHOUT IT. READINGS HAVE BEEN ADJUSTED FOR FLOOR COVER. GARAGE READINGS TAKEN ON CEILING.

ELEVATION READINGS WERE TAKEN 05/19/2026.



FRONT



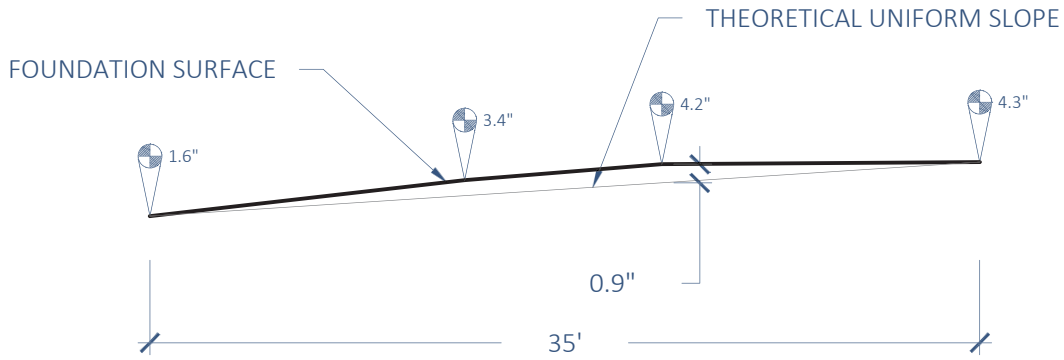
1006 Shelley Ave, Austin, TX 78703

Elevation Readings

Page: 1

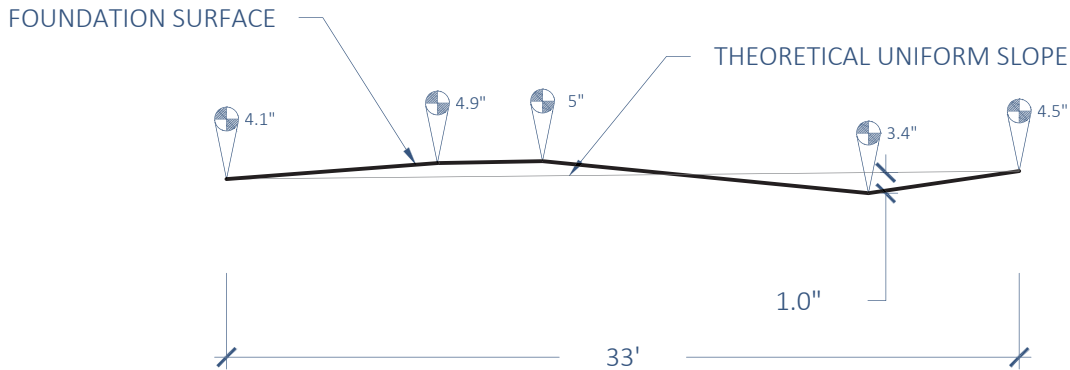
Scale: 1/8" = 1'-0"

Date Issued: 5/21/2026



# 1 FOUNDATION CROSS SECTION

SCALE: 1/8" = 1'-0"  
 NOTES: MEASURED UNIFORM SLOPE: 2.7"  
 ALLOWABLE UNIFORM SLOPE (1%): 4.2"  
 MEASURED BENDING DEFLECTION: 0.9"  
 ALLOWABLE BENDING DEFLECTION (L/360): 1.2"

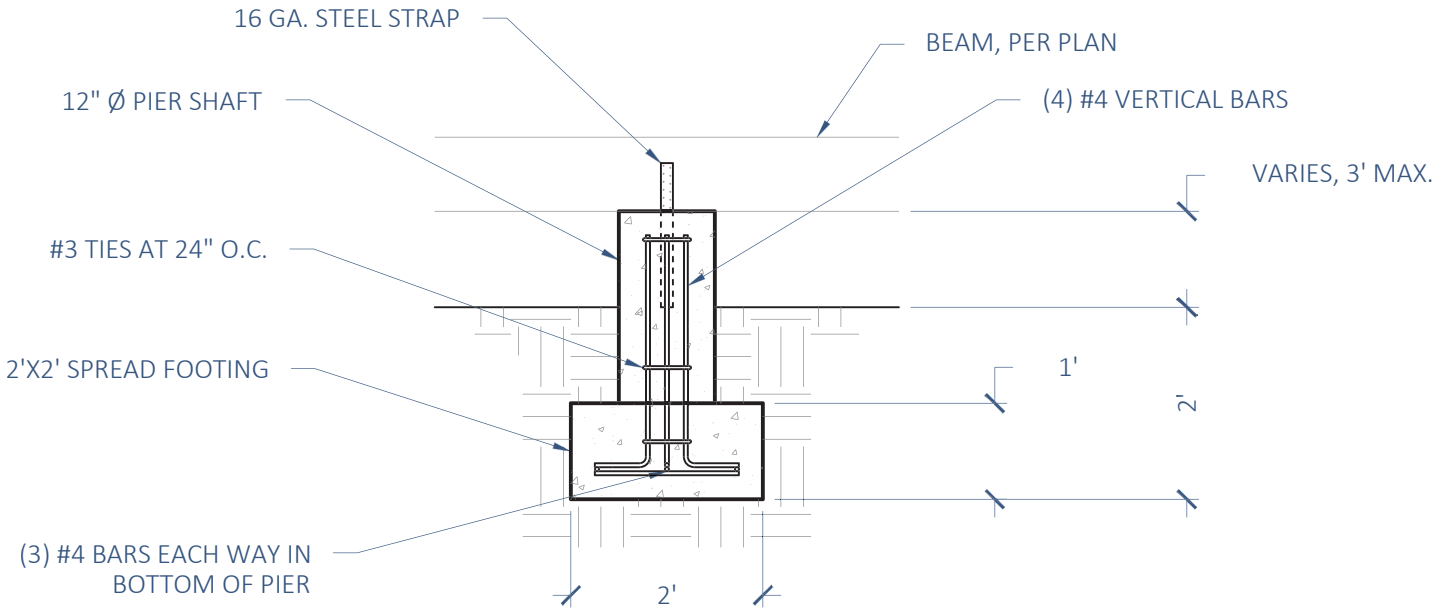


# 2 FOUNDATION CROSS SECTION

SCALE: 1/8" = 1'-0"  
 NOTES: MEASURED UNIFORM SLOPE: 0.4"  
 ALLOWABLE UNIFORM SLOPE (1%): 4.0"  
 MEASURED BENDING DEFLECTION: 1.0"  
 ALLOWABLE BENDING DEFLECTION (L/360): 1.1"



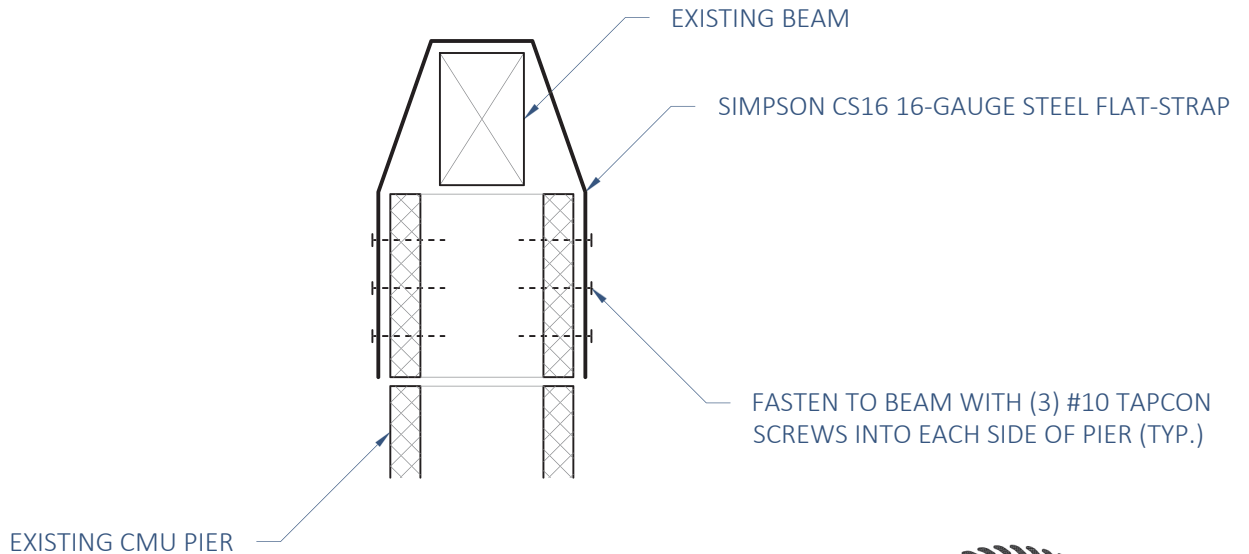
1006 Shelley Ave, Austin, TX 78703  
 Foundation Cross Sections



# 1 SPREAD FOOTING / PIER DETAIL

SCALE: NOT TO SCALE

NOTES: THESE PIERS IN CLAY SOIL MAY EXPERIENCE MOVEMENT DUE TO MOISTURE CHANGES RESULTING IN CRACKS AND STICKING DOORS. ADJUSTMENTS MAY NEED TO BE MADE PERIODICALLY.



# 2 RETROFIT STRAP DETAIL

SCALE: NOT TO SCALE

NOTES:



1006 Shelley Ave, Austin, TX 78703

Supplemental Details

Page: 3

Scale: 1/8" = 1'-0"

Date Issued: 5/21/2026

# 1006 Shelley – Bat Foundation Quote for Repairs Recommended by Engineer



# Bats Foundation Repair

[www.batsfoundationrepair.com/](http://www.batsfoundationrepair.com/)

[\(512\) 584-6557](tel:5125846557)

18414 N Heatherwilde Blvd (512) 584-6557

Pflugerville , Texas 78660



**Date** 05-23-2026

**Site Address** 1006 Shelley Avenue, Austin, TX 78703

## Client Details

Erin Dunnigan

[\(512\) 919-0653](tel:5129190653)

[erin@teamprice.com](mailto:erin@teamprice.com)

1006 Shelley Avenue

Austin, , TX 78703

## Sales Representative

Calvin Burnett

[calvin@batsfoundationrepair.com](mailto:calvin@batsfoundationrepair.com)

## Product List

Description	Quantity	Amount
Reshim Charge	1,736.66 sq ft	\$7,597.89
Engineered Block & Pad	1	\$375.00
Engineer Certification Engineer Certification	1	\$695.00
	Subtotal	\$8,667.89
	<b>Total</b>	<b>\$8,667.89</b>

## Payment

**Deposit** \$4,333.94

**Balance** \$4,333.95

Payment Terms:

Payment Upon Completion

- This proposal may be withdrawn by Bats Foundation Repairs, LLC if not accepted within thirty (30) days of the above date.
- Customer is aware that proper maintenance, Gutters and Drainage, is required through the life of the structure. Customer understands and agrees that Bats Foundation Repair, LLC shall not be responsible for any damage caused by any lack of proper maintenance on the premises.
- Bats Foundation Repair has inspected the structure and determined the scope of repairs based on the structure being built to code. We are not responsible for structures that are not built to code.
- Customer understands final payment is paid to foreman with check or cash. If paying with credit card an additional 3% will be added and payment will be taken over the phone with the office.

Engineer Report (if included) will be provided to client  
after final payment has been received.

### Additional Information

Did you add the Engineer Certification product?

Yes

Type of Foundation:

Pier and Beam - Reshim

Yes



Reshim comes with a one year warranty for adjustments. Warranty is transferable. See warranty obligations.



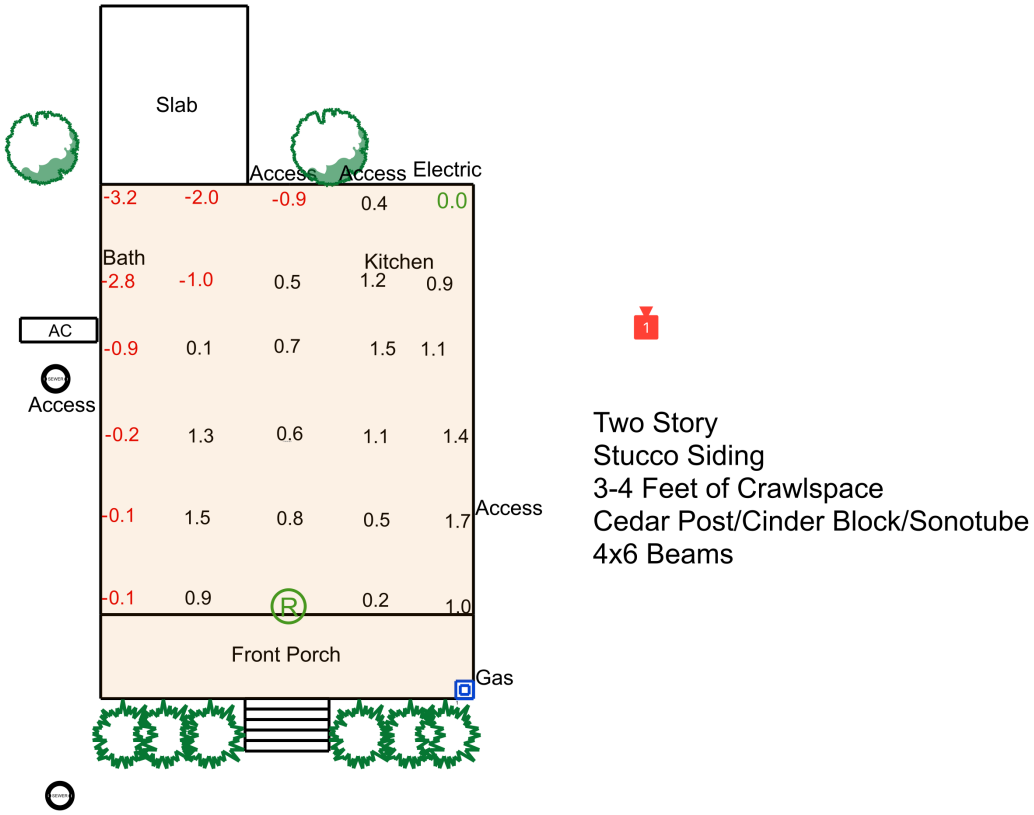
# FOUNDATION REPAIR

Erin Dunnigan  
 1006 Shelley Avenue  
 Austin, TX, 78703  
 erin@teamprice.com  
 (512) 919-0653  
 May 23, 2026

## Based on Tucker Engineering Report

Legend	
 Engineered Block & Pad	 Reshim Charge

Use straps to attach any existing blocks to beams



Additional Joist replacement charged at \$35/foot if needed  
 Additional Beam replacement charged at \$40/foot if needed  
 Sonotube Pier \$650 each if needed  
 Engineered Block and Pad \$375 each if needed

 Reshim Charge	1,736.66 sq ft	 Engineered Block & Pad	1
-------------------------------------------------------------------------------------------------	----------------	------------------------------------------------------------------------------------------------------------	---



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1006 Shelley – Foundation Inspection Pages Provided by Buyer 1





Damage to joist observed

There are piers not in contact with beams. This may be corrected with metal levelling shims. Consult with qualified foundation contractor for completing work.



Left rear corner



Poorly supported beam(front right corner)

There are multiple areas observed in the crawlspace on the foundation structure with varying degrees of damage from water and/or wood destroying insects. These may affect foundation performance. Further evaluation for repairs is needed by a licensed engineer or foundation contractor.



It appears a beam has been added for additional support-beam may have been positioned incorrectly(layed flat- 4" dimension supporting joist). Have a foundation contractor review for any recommended repair or improvement.



1006 Shelley – Bruecher Foundation Quote Provided by Buyer 1





# QUOTE

April 29, 2026

Bruecher Foundation Services INC.  
 12132 Pecan St. Austin TX 78727  
 hello@bruecherfoundation.com

Submitted to: [REDACTED]  
 Job Location: **1006 Shelley Ave Austin TX 78703**

Bruecher Foundation was founded upon the principle belief that honesty, integrity and hard work build and establish a strong rapport for our business. After 30 years of experience, we still believe that "word of mouth" is our best advertising. We thank you for giving us the opportunity to submit the following bid to repair the foundation of the subject property.

**(For pier and beam structures- IF NEEDED) Additional beam repair @ \$40.00 per foot. Additional joist repair @ \$85.00 each.)**

FOUNDATION BID DESCRIPTION	
Install 34 12" spread footing piers	\$21,250.00
6 10" spread footing piers under porch	\$3,150.00
Remove & replace underpin with open/close vents	\$7,850.00
Replace 75' of beam	\$3,375.00
Replace joists around bathroom	\$350.00
Post-repair engineer's report	\$650.00
<b>Transferable 5-Year Warranty</b>	
CREDIT CARD PRICING	\$38,090.00
CASH/CHECK DISCOUNT PRICING	\$36,625.00

Elevations were taken using zip level PRO-2000 High Precision Altimeter. The elevations were recorded in a tenth of an inch where the engineering standard allows a deviation of one inch across a surface of thirty linear feet.

Some damage may occur to walls, floors, concrete surfaces, pipes during the leveling process. The more areas you lift, the greater the possibility that cosmetic and/or plumbing damage can occur. Repair to this damage is not included in the original proposal. The objective of the proposal is to raise the foundation to original elevations and limit future settlement of the foundation.

We look forward to helping you maintain the life and value of your structure,

William H. Bruecher IV

# BRUECHER FOUNDATION

12132 Pecan St.  
AUSTIN, TX 78727  
(512) 335-8867

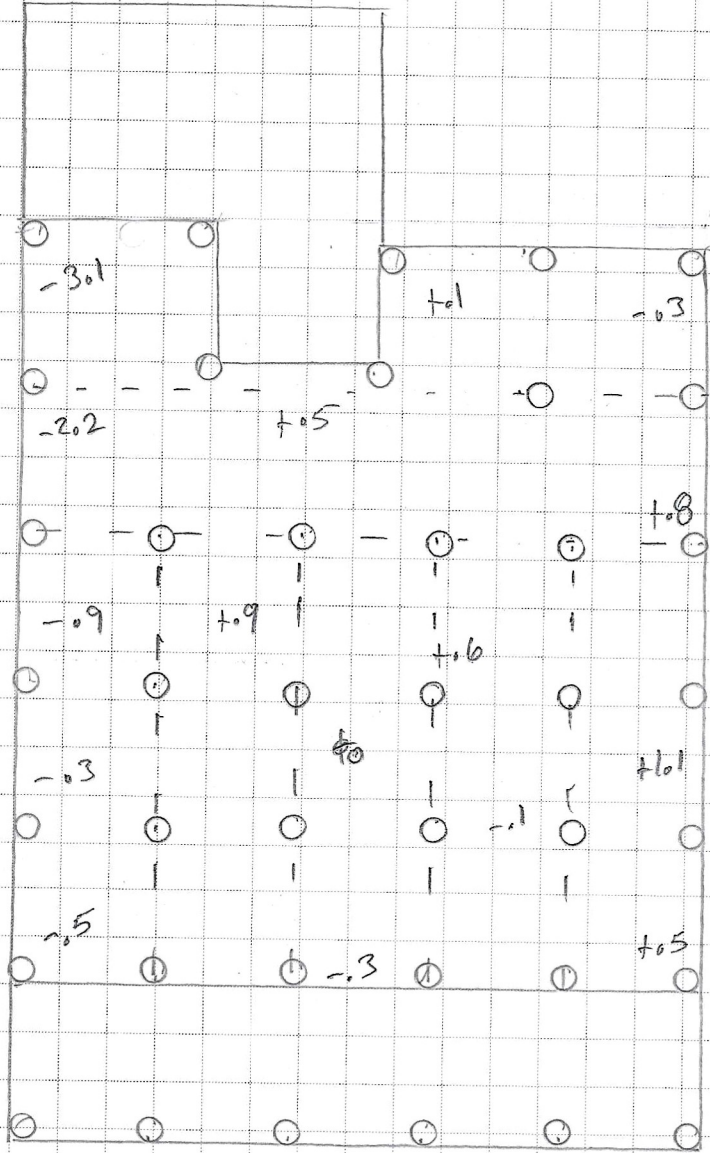
JOB 1006 Shelley Ave

SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_

CALCULATED BY WAB IV DATE 4/29/26

CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_

SCALE 1" = 10'



○ Spread Footing Pier

⊕ Point of Reference

1006 Shelley – Bat Foundation Repair Quote Recommended Per Their Technician



# Bats Foundation Repair

[www.batsfoundationrepair.com/](http://www.batsfoundationrepair.com/)

[\(512\) 584-6557](tel:(512)584-6557)

18414 N Heatherwilde Blvd (512) 584-6557

Pflugerville, Texas 78660



**Date** 05-23-2026

**Site Address** 1006 Shelley Avenue, Austin, TX 78703

## Client Details

Erin Dunnigan

[\(512\) 919-0653](tel:(512)919-0653)

[erin@teamprice.com](mailto:erin@teamprice.com)

1006 Shelley Avenue

Austin, TX 78703

## Sales Representative

Calvin Burnett

[calvin@batsfoundationrepair.com](mailto:calvin@batsfoundationrepair.com)

## Product List

Description	Quantity	Amount
Sonotube Pier	56	\$36,400.00
Structural Beam	53.61 ft	\$2,144.40
Engineer Certification Engineer Certification	1	\$695.00
	Subtotal	\$39,239.40
	<b>Total</b>	<b>\$39,239.40</b>

## Payment

**Deposit** \$19,619.70

**Balance** \$19,619.70

Payment Terms:

Payment Upon Completion

- This proposal may be withdrawn by Bats Foundation Repairs, LLC if not accepted within thirty (30) days of the above date.
- Customer is aware that proper maintenance, Gutters and Drainage, is required through the life of the structure. Customer understands and agrees that Bats Foundation Repair, LLC shall not be responsible for any damage caused by any lack of proper maintenance on the premises.
- Bats Foundation Repair has inspected the structure and determined the scope of repairs based on the structure being built to code. We are not responsible for structures that are not built to code.
- Customer understands final payment is paid to foreman with check or cash. If paying with credit card an additional 3% will be added and payment will be taken over the phone with the office.

Engineer Report (if included) will be provided to client  
after final payment has been received.

### Additional Information

Did you add the Engineer Certification product?

Yes

Type of Foundation:

Pier and Beam - Sonotube Piers

Yes

Sonotube Piers come with a 3 year warranty for adjustments.

Warranty is transferable.

See warranty obligations

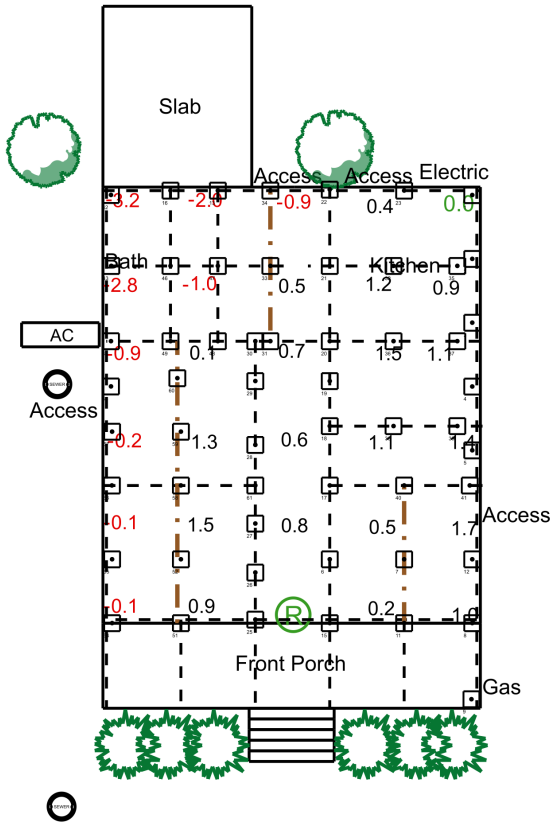


# FOUNDATION REPAIR

Erin Dunnigan  
1006 Shelley Avenue  
Austin, TX, 78703  
erin@teamprice.com  
(512) 919-0653  
May 23, 2026

## Lift to Limits of Structure

Legend	
	Sonotube Pier
	Structural Beam



Two Story  
Stucco Siding  
3-4 Feet of Crawlspace  
Cedar Post/Cinder Block/Sonotube  
4x6 Beams

Additional Joist replacement charged at \$35/foot if needed  
Additional Beam replacement charged at \$40/foot if needed  
Sonotube Pier \$650 each if needed  
Engineered Block and Pad \$375 each if needed

Sonotube Pier  
#SEQ#

56

Structural Beam

53.61 ft



1 - 1



1 - 2



1 - 3



1 - 4



1 - 5



1 - 6



1 - 7



1 - 8



1 - 9



1 - 10



1 - 11



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1 - 54