

- Legend**
- Wooden deck
 - Concrete walkway with 2 steps
 - Wire fence
 - metal frame wire gate
 - metal posts cement footings
 - intermediate metal posts

Reference a 5' public utility easement along all lot lines as described and recorded in Volume 266, Page 369, Hays County Deed Records, Volume 1996, Page 717, and Volume 4028, Page 563, Hays County Official Public Records

Reference building setback lines of 25' along the front and 7.5' along the side property lines as described and recorded in Volume 266, Page 369, Hays County Deed Records, Volume 1996, Page 717, and Volume 4028, Page 563, Hays County Official Public Records

- = 1/2" iron pin found unless otherwise noted
- PUE = public utility easement
- BL = building setback line
- (XXXX) = recorded data 'cells'
- = wood fence

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Subject property does not lie within a Special Flood Hazard Area as determined from FIRM Hazard Map, Community Panel No. 480321 0217 F, dated September 2, 2008

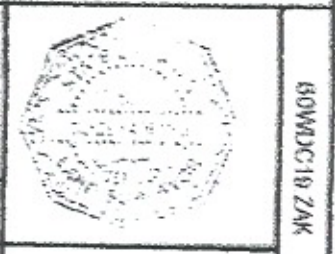
LEGAL DESCRIPTION: All of Lot 60, WOODCREEK, SECTION 19, a subdivision in Hays County, Texas, according to the map or plat thereof recorded in Volume 1, Page 289, Plat Records of Hays County, Texas.

ADDRESS: 11 Rhapsody Lane, Wimberley, Texas 78676

CLIENT: John Arena and Sheila Arena	TITLE COMPANY: Gracy Title Company w
G.F. No.: 70007	

I hereby certify that this plat represents a survey made upon the ground under my supervision, on March 18, 2010 and June 22, 2011, and there are no visible or apparent encroachments upon this property, except as shown hereon.

Cade Barroso
 Cade Barroso, R.P.L.S. #5404, State of Texas



EAGLE LAND SURVEYING
 (512) 847-1079
 P.O. Box 2264 Wimberley, TX, 78676

Scale: 1" = 30'
Date: June 22, 2011

Job No. 11-079 cb

60WDC19 ZAK