



GOLD SHIELD INSPECTIONS

319-481-9272

office@goldshieldinspections.com

<https://www.goldshieldinspections.com>

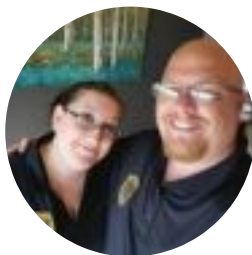


## INSPECTION REPORT

317 W Grand St  
Monticello, IA 52310

Kimberly Roush

05/13/2026



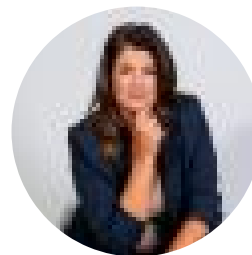
Inspector

**Brent Thumma**

InterNACHI - Resnet - SAVE - IAC2

319-481-9272

[office@goldshieldinspections.com](mailto:office@goldshieldinspections.com)



Agent

**Kim Roush**

Keller Williams Dubuque

515-205-7903

[kimroush@kw.com](mailto:kimroush@kw.com)

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# 1: INSPECTION DETAILS

## Information

### Occupancy

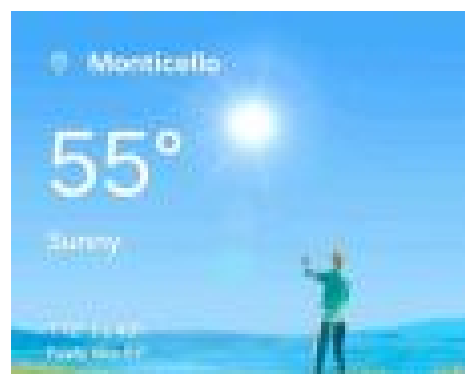
Occupied

### Home Faces

East

### Temperature during inspection

Below 65(F)=18(C)



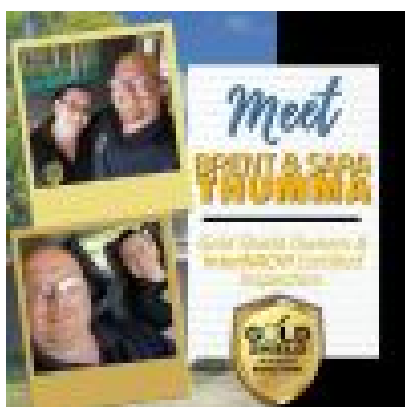
### Significant precipitation in last 3 days

Yes

### Type of building

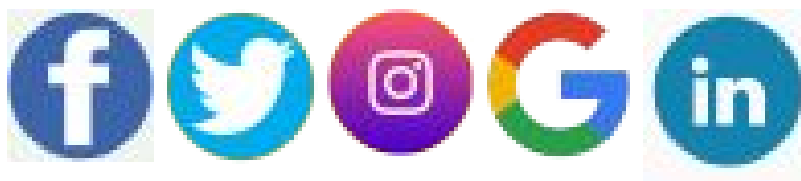
Single Family (2 story)

### Gold Shield Inspections



Brent & Sara Thumma  
 NACHI17110223 /  
 Anamosa, IA 52205  
[www.GoldShieldInspections.com](http://www.GoldShieldInspections.com)  
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## Inspection Report Definitions

### 1. Apparent Condition: Systems and components are rated as follows:

1. **INSPECTED (IN)** Indicates that the component is functionally consistent with its original purpose but may show signs of normal wear and tear, and deterioration.
2. **Limited Inspection (LI)** Indicates that the component or system was not fully available to be inspected. Only a partial inspection could be completed.
3. **MARGINAL (MA)** These items will fall under normal lower cost home maintenance items. Indicates the component could require maintenance or replacement within 5 years.
4. **MATERIAL DEFECT (MD)** is a specific issue with a system or component of a residential property that may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people. The fact that a system or component is near, at, or beyond the end of its normal, useful life is not, in itself, a material defect.
5. **SAFETY HAZARD (SH)** Denotes a condition that is unsafe and in need of prompt attention.

**2. Installed systems and components:** structural components, exterior, interior, roofing, plumbing, electrical, heating, central air-conditioning (weather permitting); insulation and ventilation.

**3. Readily accessible systems and components:** Only those systems and components where the inspector is not required to remove personal items, furniture, equipment, soil, snow, or other items which obstruct access or visibility.

**4. Any component not listed as being deficient in some manner is assumed to be satisfactory**

## Important Information / Limitations: Inspection Overview

Gold Shield Inspections strives to perform all inspections in substantial compliance with the Standards of Practice as set forth by InterNACHI. As such, we inspect the readily accessible, visually observable, installed systems and components of the home as designated in these Standards of Practice. When systems or components designated in the Standards of Practice were present but were not inspected, the reason(s) the item was not inspected will be stated. This inspection is neither technically exhaustive or quantitative.

There may be comments made in this report that exceed the required reporting of the InterNACHI Standards of Practice, these comments (if present) were made as a courtesy to give you as much information as possible about the home. Exceeding the Standards of Practice will only happen when I feel I have the experience, knowledge, or evidence to do so. There should be no expectation that the Standards of Practice will be exceeded throughout the inspection, and any comments made that do exceed the standards will be followed by a recommendation for further evaluation and repairs by applicable tradespeople.

This report contains observations of those systems and components that, in my professional judgement, were not functioning properly, significantly deficient, or unsafe. **All items in this report that were designated for repair, replacement, maintenance, or further evaluation should be investigated by qualified tradespeople within the clients contingency period**, to determine a total cost of said repairs and to learn of any additional problems that may be present during these evaluations that were not visible during a "visual only" Home Inspection.

This inspection is not equal to extended day-to-day exposure and will not reveal every concern or issue that may be present, but only those significant defects that were accessible and visible at the time of inspection. This inspection can not predict future conditions, or determine if latent or concealed defects are present. The statements made in this report reflect the conditions as **existing at the time of inspection only**, and expire at the completion of the inspection. The limit of liability of Gold Shield Inspections and its employees, officers, etc. does not extend beyond the day the inspection was performed. As time and differing weather conditions may reveal deficiencies that were not present at the time of inspection, including but not limited to: roof leaks, water infiltration into crawl spaces or basements, leaks beneath sinks, tubs, and toilets, water running at toilets, the walls, doors, and flooring, may be damaged during moving, etc. Refer to the Inspection agreement regarding the scope and limitations of this inspection.

This inspection is **NOT** intended to be considered as a **GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, regarding the operation, function, or future reliability of the home and its components. AND IT SHOULD NOT BE RELIED ON AS SUCH.** This report is only supplemental to the Sellers Disclosure and Pest (WDI) Inspection Report and should be used alongside these documents, along with quotes and advice from the tradespeople recommended in this report to gain a better understanding of the condition of the home and expected repair costs. Some risk is always involved when purchasing a property and unexpected repairs should be anticipated, as this is unfortunately, a part of home ownership. One Year Home Warranties are sometimes provided by the sellers, and are **highly recommended** as they may cover future repairs on major items and components of the home. If a warranty is not being provided by the seller(s), your Realtor can advise you of companies who offer them.

## Important Information / Limitations: Notice to Third Parties

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## Important Information / Limitations: Items Not Inspected and Other Limitations

**ITEMS NOT INSPECTED** - There are items that are not inspected in a home inspection such as, but not limited to; fences and gates, pools and spas, outbuildings or any other detached structure, refrigerators, washers / dryers, storm doors and storm windows, screens, window AC units, gas furnace heat exchangers, central vacuum systems, water softeners, alarm and intercom systems, and any item that is not a permanent attached component of the home. Also drop ceiling tiles are not removed, as they are easily damaged, and this is a non-invasive inspection. Subterranean systems are also excluded, such as but not limited to: sewer lines, septic tanks, water delivery systems, and underground fuel storage tanks.

Water and gas shut off valves are not operated under any circumstances. As well, any component or appliance that is unplugged or "shut off" is not turned on or connected for the sake of evaluation. I don't have knowledge of why a component may be shut down, and can't be liable for damages that may result from activating said components/appliances.

Also not reported on are the causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; The insurability of the structure or any of its items or components, Any component or system that was not observed; Calculate the strength, adequacy, design, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility.

## Important Information / Limitations: Thermal Imaging Information

**THERMAL IMAGING:** An infrared camera may be used for specific areas or visual problems, and should not be viewed as a full thermal scan of the entire home. Additional services are available at additional costs and would be supplemented by an additional agreement/addendum. Temperature readings displayed on thermal images in this report are included as a courtesy and should not be wholly relied upon as a home inspection is qualitative, not quantitative. These values can vary +/- 4% or more of displayed readings, and these values will display surface temperatures when air temperature readings would actually need to be conducted on some items which is beyond the scope of a home inspection. If a full thermal scan of the home is desired, please reach out to me schedule this service.

## Important Information / Limitations: Other Notes - Important Info

**INACCESSIBLE AREAS:** In the report, there may be specific references to areas and items that were inaccessible or only partly accessible. I can make no representations regarding conditions that may be present in these areas that were concealed or inaccessible for review. With access and an opportunity for inspection, reportable conditions or hidden damage may be found in these areas.

**QUALITATIVE vs QUANTITATIVE:** A home inspection is not quantitative, when multiple or similar parts of a system, item, or component are found to have a deficiency, the deficiency will be noted in a qualitative manner such as "multiple present" etc. A quantitative number of deficient parts, pieces, or items will not be given as the repairing contractor will need to evaluate and ascertain the full amount or extent of the deficiency or damage. This is not a technically exhaustive inspection.

**REPAIRS VERSUS UPGRADES:** I inspect homes to today's safety and building standards. Therefore some recommendations made in this report may have not been required when the home was constructed. Building standards change and are improved for the safety and benefit of the occupants of the home and any repairs and/or upgrades mentioned should be considered for safety, performance, and the longevity of the homes items and components. Although, I will address some recommended upgrades in the report, this should not be construed as a full listing of items that could potentially be upgraded. To learn of ALL the ways the home could be brought up to today's building and safety standards, full and exhaustive evaluations should be conducted by qualified tradespeople.

**COMPONENT LIFE EXPECTANCY:** Components may be listed as having no deficiencies at the time of inspection, but may fail at any time due to their age or lack of maintenance, that couldn't be determined by the inspector. A life expectancy chart is attached to your inspection page.

**PHOTOGRAPHS:** Several photos are included in your inspection report. These photos are for informational purposes only and do not attempt to show every instance or occurrence of a defect.

**TYPOGRAPHICAL ERRORS:** This report is proofread before sending it out, but typographical errors may be present. If any errors are noticed, please feel free to contact me for clarification.

**Please acknowledge to me once you have completed reading this report. At that time I will be happy to answer any questions you may have, or provide clarification. Non-acknowledgement implies that you understood all information contained in this report.**

## 2: ROOF SYSTEMS

		IN	LI	MA	MD	SC
2.1	General Overview and Limitations of Roof Inspection	X				
2.2	Roof Structure/Covering	X	X		X	
2.3	Roof penetration	X	X			
2.4	Roof Flashing	X	X		X	
2.5	Roof Drainage System	X		X		
2.6	Chimney at Roof	X			X	

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

### Information

**General Overview and Limitations of Roof Inspection: Inspection Method**

Ground, Ladder

**General Overview and Limitations of Roof Inspection: # of Layers**

1

**General Overview and Limitations of Roof Inspection: Primary roof-covering**

Architectural Fiberglass Asphalt Shingle, EPDM (rubber) Membrane, Metal panel

**General Overview and Limitations of Roof Inspection: Roof Style**

Combination



**Roof penetration: Photo documentation**



**General Overview and Limitations of Roof Inspection: Homeowner's Responsibility**

Your job as the homeowner is to monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

## General Overview and Limitations of Roof Inspection: Approximate Roof Covering Age

15-20

Your inspector will use a combination of experience, knowledge of roofing materials, and specific signs of wear and tear to approximate the age of an asphalt shingle roof. Here's how a professional would go about it:

1. **Type of Shingle**: Knowing the typical lifespan of various types of asphalt shingles can provide a starting point. For example:
  - **3-tab shingles**: Typically last 20-25 years.
  - **Architectural shingles**: Can last 30 years or more.
  - **Premium shingles**: Some can last up to 50 years.
2. **Shingle Condition**:
  - **Granule Loss**: A significant loss of the granular surface on the shingle can indicate age.
  - **Curling and Cupping**: The edges of older shingles often curl upwards or the middle may bubble up.
  - **Cracking**: As shingles age, they become more brittle and may develop cracks.
  - **Bald Spots**: Older shingles might have large areas where granules are missing.
  - **Edges**: Frayed or deteriorated edges can indicate significant wear and age.
3. **Pattern of Wear**: How the shingles are wearing can give clues. For instance, if only the shingles on one side of a roof or in one area are showing wear, it might be due to external factors like overhanging trees or poor ventilation, rather than age.
4. **Moss and Algae Growth**: While this can occur on newer roofs in damp climates or shaded areas, significant growth often indicates an older roof.
5. **Underlayment and Decking Condition**: If the professional has access to inspect the underlayment or decking, they can also get clues about the roof's age. Older roofs might have felt underlayment, while newer ones might use synthetic materials.
6. **Flashing and Sealants**: The condition of flashing around vents, chimneys, and other roof penetrations can give hints. Older, corroded, or damaged flashing may indicate an older roof. Sealants that are brittle, missing, or deteriorated can also be a sign of age.
7. **Past Repairs**: Multiple layers of shingles, mismatched shingles, or evidence of numerous patches can indicate an older roof or one that's had significant issues.

Given all the above factors, a seasoned professional can often give a reasonably accurate estimate of the age of an asphalt shingle roof through visual inspection. This is an estimate based off the inspectors experience.

### Roof Structure/Covering: Asphalt Shingle Disclaimer

Asphalt composition shingles come in a wide variety of types, brands, and models, each with manufacturer-specific installation requirements that may differ, even among shingles with a similar appearance. Additionally, critical components such as underlayment cannot be visually confirmed once the shingles are installed, and fasteners cannot be inspected without disturbing the adhesive strips that are essential for wind resistance. Due to these limitations, the Inspector disclaims responsibility for verifying proper installation of asphalt shingles.

### Roof Structure/Covering: Asphalt Shingle, Moderate Granule Loss

Moderate uniform granule loss commensurate with the age of the roof was observed at the time of inspection.

### Roof Structure/Covering: Asphalt Shingle, Black Staining, Algae

Asphalt composition shingles covering the roof of this home had black staining visible consistent with staining caused by algae growth. Algae growth is caused by long-term moisture on shingles. The Inspector recommends keeping the roof free of debris in the future. This staining may be lightened by the use of special cleaners

### Roof Structure/Covering: Asphalt Shingle, Moderate Moss Growth

Moderate moss growth observed on shingles at the time of inspection. Moss can shorten the life span of a shingled roof and result in costly repairs both structural and cosmetic that would not be necessary if the roof were maintained properly and kept clear of moss. One way to keep a roof free of moss is by installing zinc or copper flashing along the peak. As rain washes down the roof, some of the metal dissolves and kills the moss. Another option is brushing or brooming off the moss if the growth is not too bad. You can also apply moss-killing chemicals in liquid, granule or powder form that are available in home stores or online. This can reduce the effectiveness and ability to shed water of current roof covering.

## Roof Structure/Covering: Keep Tree Overhang Off Roofing Material

Tree branches overhanging the roof can drop limbs and other debris which can damage roof coverings, greatly reducing their durability and overall lifespan. Fallen leaves clog gutters and downspouts and trap moisture against the roof, which can lead to leaks, mold, and deterioration.

## Roof Structure/Covering: Asphalt Shingle, Architectural Midlife

"Mid-life" on an architectural shingle roof refers to the period during which the roof has reached approximately half of its expected lifespan. Architectural shingles, also known as laminated or dimensional shingles, are a popular roofing material known for their durability, aesthetic appeal, and longer lifespan compared to traditional 3-tab shingles. Typically, architectural shingles have a lifespan of 25 to 35 years, depending on factors such as the quality of materials, installation, climate, and maintenance.

During the mid-life phase, which usually occurs around 12 to 18 years after installation, the shingles may still be in relatively good condition, but some signs of aging and wear may begin to appear. This is a crucial stage in the roof's lifecycle, as it presents an opportunity for homeowners to assess the roof's overall condition and address any issues before they lead to more significant damage.

Key indicators that a roof is reaching its mid-life stage include:

1. **Granule loss:** Granules on the shingle surface protect the asphalt layer from UV radiation and help maintain the roof's aesthetic appeal. Over time, granules may begin to wear away, exposing the underlying asphalt to the elements.
2. **Curling or cupping shingles:** As shingles age, they may start to curl or cup at the edges, which can lead to potential water intrusion and damage.
3. **Minor cracking:** Small cracks may begin to form on the shingle surface as a result of temperature fluctuations and weathering. While not a significant concern in the mid-life stage, these cracks may worsen over time, potentially leading to leaks or other issues.
4. **Fading or discoloration:** Exposure to sunlight, weather, and other environmental factors can cause the color of shingles to fade or become discolored over time.

During the mid-life phase, homeowners should consider scheduling regular roof inspections and maintenance to ensure the longevity of their architectural shingle roof. Addressing any issues promptly can help prevent more extensive damage and prolong the roof's overall lifespan.

### Roof penetration: Homeowner's Responsibility

Your job is to monitor the flashing around the plumbing vent pipes that pass through the roof surface. Sometimes they deteriorate and cause a roof leak.

Be sure that the plumbing vent pipes do not get covered, either by debris, a toy, or snow.

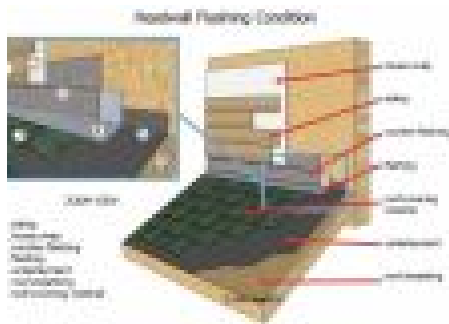


### Roof Flashing: Eaves and Gables

I looked for flashing installed at the eaves (near the gutter edge) and at the gables (the diagonal edge of the roof). There should be metal drip flashing material installed in these locations. The flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.

### Roof Flashing: Wall Intersections

I looked for flashing where the roof covering meets a wall or siding material. There should be step and counter flashing installed in these locations. This is not an exhaustive inspection of all flashing areas.



### Roof Drainage System: Homeowner's Responsibility

Your job is to monitor the gutters and be sure that they function during and after a rainstorm. Look for loose parts, sagging gutter ends, and water leaks. The rain water should be diverted at least 4'-6' away from the house foundation/slab.

### Chimney at Roof: Flue Inspection Disclaimer

Accurate inspection of the chimney flue lies beyond the scope of the General Home Inspection. Although the Inspector may make comments on the condition of the portion of the flue readily visible from the roof, a full, accurate evaluation of the flue condition would require the services of a specialist. Because the accumulation of flammable materials in the flue as a natural result of the wood-burning process is a potential fire hazard, the inspector recommends that before the expiration of your Inspection Objection Deadline you have the flue inspected by a specialist.

## Limitations

General Overview and Limitations of Roof Inspection

### LIMITED ROOF INSPECTION, STEEP SLOPE

The roof inspection was limited due to the steep slope, which restricted safe access to the surface. A visual inspection was conducted from the ground, accessible vantage points, or with the aid of binoculars. While efforts were made to assess visible areas, detailed evaluation of the roof's condition and components may require inspection by a qualified roofing professional equipped to safely access steep-sloped roofs.

Roof Flashing

### DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

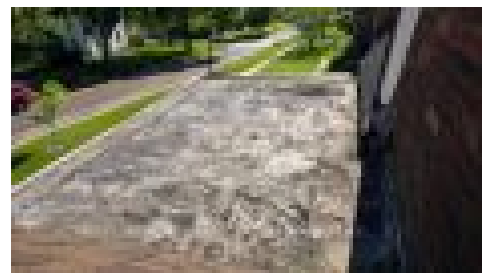
## Deficiency

2.2.1 Roof Structure/Covering

### ROOF, FLAT ROOF COATING, DETERIORATED AND MISSING



The flat roof surface showed significant deterioration and areas where the protective roof coating is worn, deteriorated, or missing. Protective coatings on this style of roof help shield the roofing materials from ultraviolet exposure, moisture intrusion, and premature surface deterioration. As coatings deteriorate over time, the roof membrane becomes more susceptible to cracking, accelerated wear, ponding-related damage, and active leaks. The roof surface also showed general weathering and aging consistent with prolonged exposure. Recommend evaluation and repair by a qualified roofing contractor, including recoating or replacement of damaged roofing materials as needed to help extend the service life of the roof and reduce the potential for moisture intrusion.



Recommendation

Contact a qualified roofing professional.

2.4.1 Roof Flashing

### SIDEWALL, IMPROPER FLASHING

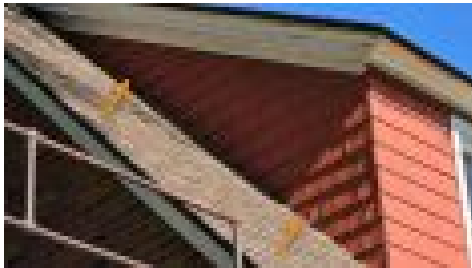
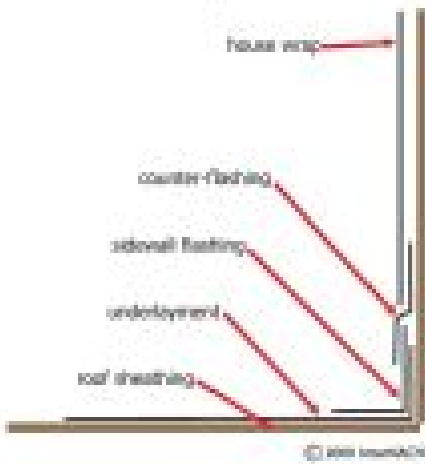


Sidewall-flashing was improperly installed at one or more areas of the roof and may allow moisture intrusion resulting in damage to home contents or materials. Moisture intrusion of the wall structure can damage home materials and encourage the growth of mold. Long term moisture intrusion can cause structural damage from wood decay.

Recommendation

Contact a qualified roofing professional.

### Sidewall Flashing Detail



### 2.5.1 Roof Drainage System

 Maintenance or Low Priority

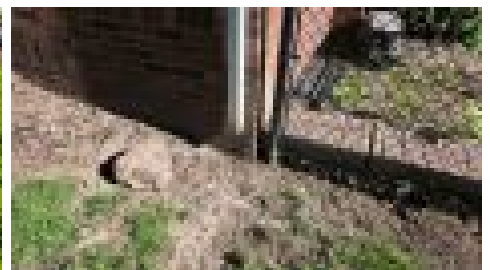
### **DRAINAGE SYSTEM HEALTH**

All downspouts should extend a minimum of 4-6' from the foundation or slab. Discharging near the foundation can affect the ability of the soil to support the weight of the structure above and can cause damage related to soil/foundation movement. Adding extensions can be a cheap way to avoid moisture issues in the future.

Also watch for downspouts that discharge along walkways or driveways. These areas can cause extra moisture to be pushed below the surface which can cause cracking and displacement. In Iowa our winters can also cause these discharge locations to freeze over and be a fall hazard.

Recommendation

Recommended DIY Project



### 2.5.2 Roof Drainage System

#### **DOWNSPOUT, NOT INSTALLED**



Maintenance or Low Priority

No downspout was installed at the time of the Inspection. This allows water to flow directly along the siding from the discharge of the gutter. Overtime this can force water behind the siding into the wall structure causing damage as well as possible biological growth. Recommend installation of downspout so water is routed off and away from the home.



Recommendation

Contact a qualified gutter contractor

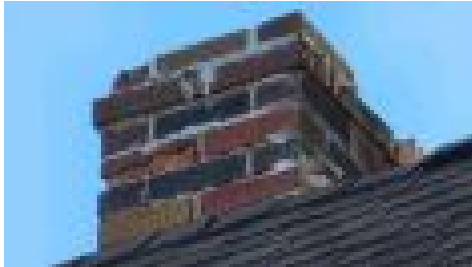
### 2.6.1 Chimney at Roof

#### **BRICK AND MORTAR, SEVER DETERIORATION**



Material Defect

The brick chimney had severely deteriorated brick and mortar. This can result in a reduction of structural integrity. Recommend tuck point repairs on mortar to ensure stability.



# 3: EXTERIOR

		IN	LI	MA	MD	SC
3.1	General Overview and Limitations of Exterior Inspection	X				
3.2	Driveway	X			X	
3.3	Walkways	X				
3.4	Exterior Doors	X				
3.5	Exterior of Windows	X		X	X	
3.6	Exterior Stairs	X				
3.7	Exterior Electrical	X				X
3.8	Exterior Plumbing	X				
3.9	Deck, Balcony, Bridge and Porch	X	X		X	
3.10	Dryer vent	X				
3.11	General Grounds	X		X		
3.12	Soffits Fascia and Trim	X		X	X	
3.13	Wood Siding	X			X	
3.14	Retaining walls	X				
3.15	Brick exterior	X			X	
3.16	Radon Mitigation	X				

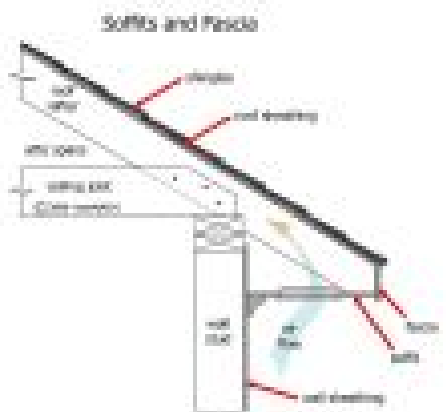
IN = Inspected LI = Limited Inspection MA = Marginal MD = Material Defect SC = Safety Concern

## Information

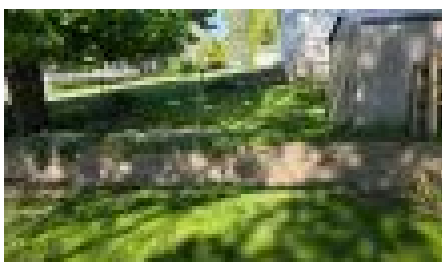
**General Overview and Limitations of Exterior Inspection: Exterior Doors:**  
Solid wood

**General Overview and Limitations of Exterior Inspection: Exterior wall-covering Material**  
Brick

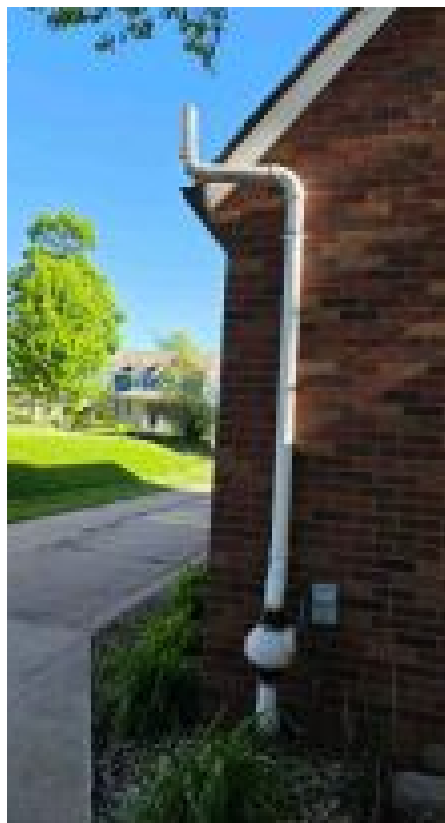
**Soffits Fascia and Trim: Soffits and Fascia**



**Retaining walls: Photo documentation**



## Radon Mitigation: Active Radon Mitigation



### General Overview and Limitations of Exterior Inspection: Homeowner's Responsibility

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

### Driveway: Driveway Sealant

Maintenance on joints found in the driveway. Sealants eventually dry, shrink and crack, creating an avenue for water to enter the soil under the driveway. Saturation of soil under the driveway can create a variety of problems depending on soil type. The Inspector recommends that the sealant at this joint be maintained as necessary to prevent water entry.

### Driveway: Common Cracks

Common cracks (1/4-inch or less) were visible in the driveway at the time of the inspection. Cracks exceeding inch should be filled with an appropriate sealant to avoid continued damage to the driveway surface from freezing moisture.

### Walkways: Common Cracks

Common cracks (1/4 inch or less) were visible in the sidewalk at the time of the inspection. Cracks exceeding inch should be patched with an appropriate sealant to avoid continued damage to the walkway surface from freezing moisture.

### Walkways: Maintain Walk/Wall Joint Sealant

The joint at which concrete walkways met the exterior walls was protected by a sealant. Sealants eventually dry, shrink and crack, creating an avenue for water to enter the soil next to the home foundation. Saturation of soil near the foundation can create a variety of problems depending on soil type. The Inspector recommends that the sealant at this joint be maintained as necessary to prevent water entry.

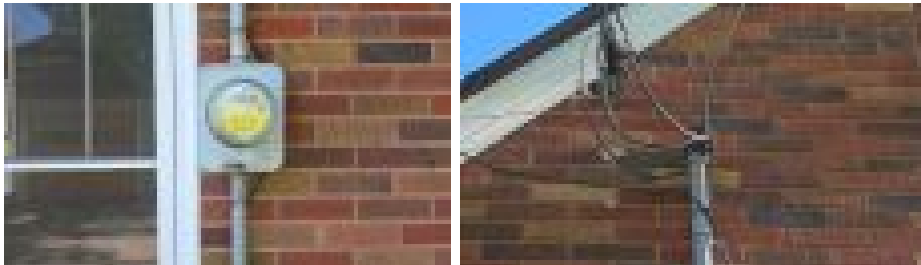
### Exterior of Windows: Window Maintenance for Homeowner

Inspect and repair window gaps: Make sure that there are no gaps between your trim and exterior siding or any other area along your windows and doors. You may need to apply new caulk or remove and replace the caulk along these lines. This should be checked yearly to ensure proper sealant.

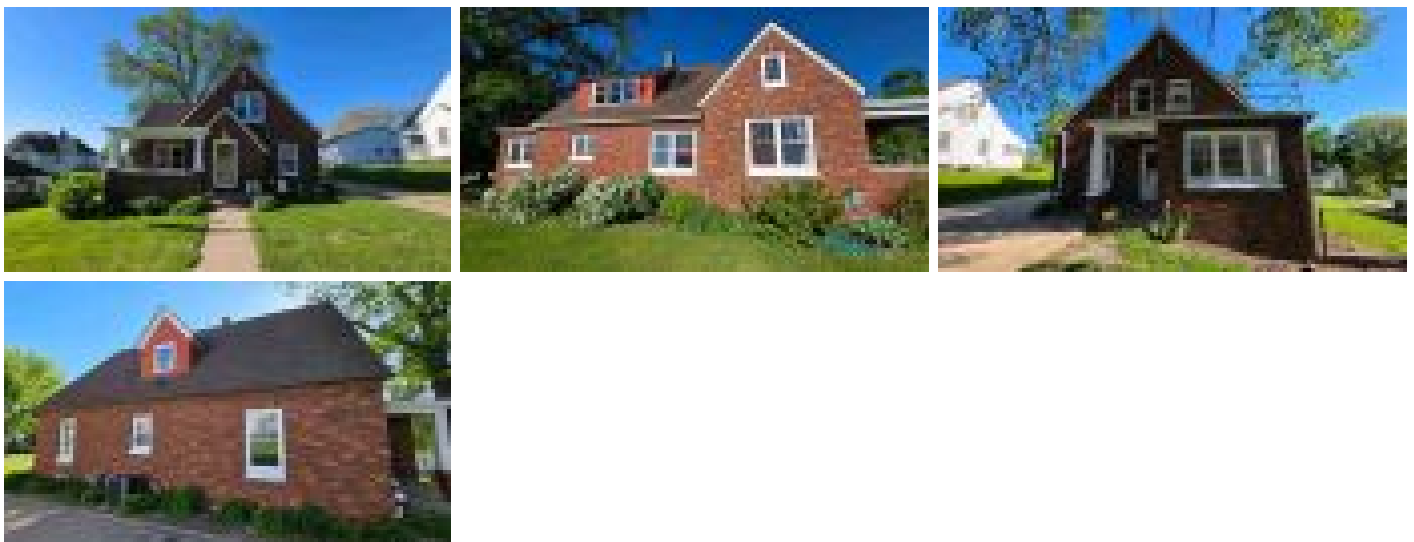
### Exterior of Windows: Window Sealant

Window sealant should be removed and replaced every 5 years as part of a normal home maintenance plan.

### Exterior Electrical: Photo Documentation



### General Grounds: Photo documentation



## Limitations

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Deck, Balcony, Bridge and Porch

### **LIMITED INSPECTION, DUE TO BARRIER OR LOW CLEARANCE UNDER DECK**

The deck inspection was limited due to a barrier or low clearance that restricted access to the attachment point to the home and the structure beneath the deck. As a result, the condition of the ledger board, support posts, beams, and other critical structural components could not be fully evaluated. Recommend removing obstructions or consulting a qualified contractor for a more thorough inspection to confirm the deck's stability and safety.

## Deficiency

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## 3.2.1 Driveway

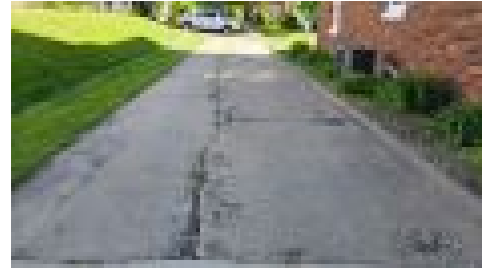
**DRIVEWAY, UNEVEN OR SUNKEN SECTIONS**

Material Defect

Uneven or sunken sections of the driveway were observed, which may pose tripping hazards and allow water pooling. Settlement or poor subgrade preparation are common causes. Recommend leveling the affected areas, such as through mudjacking or slab replacement.

## Recommendation

Contact a qualified concrete contractor.

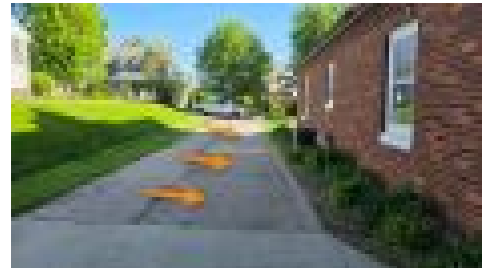


## 3.2.2 Driveway

**DRIVEWAY, NEGATIVE GRADE**

Material Defect

Driveway has a negative grade towards foundation of home. This can lead to moisture entry and damage.



## 3.5.1 Exterior of Windows

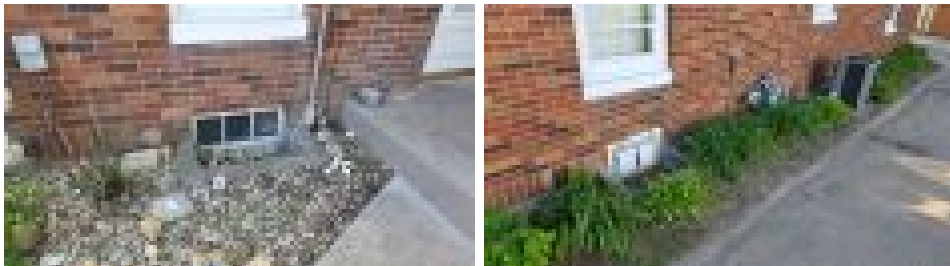
**WINDOW WELL COVERS**

Maintenance or Low Priority

Recommend installation of window well covers to keep moisture and debris out of window wells.

## Recommendation

Recommended DIY Project



## 3.5.2 Exterior of Windows

**WINDOW, POSSIBLE LEAD PAINT**

Maintenance or Low Priority

Lead based paint was in use until approximately 1978. According to the Federal Department of Housing and Urban Development, a lead hazard can be present in a house of this age. This can only be confirmed by laboratory analysis. For further testing and information contact the Environmental Protection Agency (E.P.A.) for more information and guidance, and a list of testing labs in your area

## 3.5.3 Exterior of Windows

**WINDOW, SILL DETERIORATION**

Material Defect

Window sills show signs of significant deterioration. Moisture damage to the sill has caused it to become spongy and will no longer hold sealant. Recommend replacement to ensure no moisture entry into the wall structure.

## Recommendation

Contact a qualified window repair/installation contractor.



## 3.5.4 Exterior of Windows

### EXTERIOR, WINDOW SILL, MOISTURE DAMAGE



Maintenance or Low Priority

The exterior wooden window sill showed signs of moisture damage and deterioration. Visible deterioration, peeling materials, softening wood, and weather-related wear were noted at the sill area. This condition is commonly caused by prolonged exposure to moisture, inadequate sealing or painting, improper drainage, or age-related deterioration of the exterior wood components. If not corrected, continued moisture intrusion can lead to additional wood rot, damage to surrounding exterior materials, and potential pest intrusion. Recommend repair or replacement of the damaged window sill materials and sealing or painting of exposed wood surfaces to help prevent further deterioration.



## Recommendation

Contact a qualified professional.

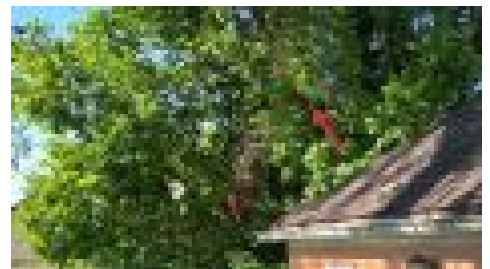
## 3.7.1 Exterior Electrical

### SERVICE ENTRANCE, TREE LIMBS IN CONTACT WITH SERVICE ENTRANCE LINES



Safety Concern

Tree limbs in direct contact with the service entrance lines pose a significant safety hazard. Movement from wind or storms can cause the branches to abrade the insulation on the wires, potentially leading to exposed conductors, electrical arcing, or power outages. Additionally, heavy limbs may place stress on the service drop, causing damage to the connection points at the home. It is recommended to have the tree limbs professionally trimmed to maintain a safe clearance around the service entrance lines and prevent potential electrical hazards.



## Recommendation

Contact your local utility company

## 3.9.1 Deck, Balcony, Bridge and Porch

### EXTERIOR, PORCH COLUMN, MOISTURE DAMAGE AND DETERIORATION



Material Defect

The exterior porch column shows significant moisture damage and wood deterioration at the lower section of the column assembly. The wood trim and column materials are separating, swollen, and deteriorated, which is commonly caused by prolonged moisture exposure from water intrusion, improper flashing, inadequate sealing, or repeated wetting at the base of the column. Deteriorated structural wood components can continue to weaken over time and may eventually affect the column's ability to properly support porch loads if left uncorrected. Recommend further evaluation and repair by a qualified contractor, including removal of damaged materials, correction of moisture entry points, and replacement of any compromised structural components.

Recommendation

Contact a qualified professional.



### 3.11.1 General Grounds

#### **VEGETATION TO CLOSE TO STRUCTURE**

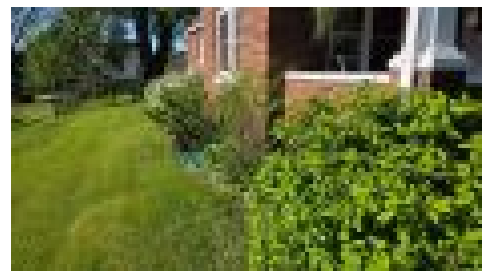


Maintenance or Low Priority

Bushes, plants, vegetation too close to home recommend at least 3 to 5 inches of clearance between home and vegetation as vegetation can promote moisture, and provide entry to wood destroying organisms to enter the home structure.

Recommendation

Contact a qualified professional.



### 3.12.1 Soffits Facia and Trim

#### **FACIA, MINOR DAMAGE**

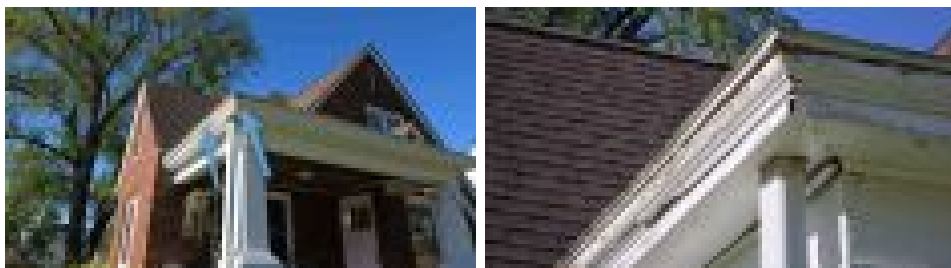


Maintenance or Low Priority

Fascia covering had minor damaged at the time of the inspection. These areas should be repaired to prevent moisture entry into the roof structure.

Recommendation

Contact a qualified professional.



### 3.12.2 Soffits Facia and Trim

#### **FACIA, SEVERE DETERIORATION**

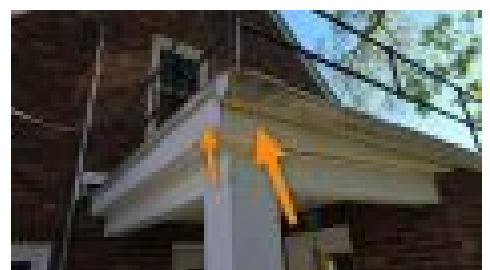


Material Defect

Area shown below has become severely deteriorated and no longer protects the structure. Recommend replacement to ensure moisture can not enter the roof structure.

Recommendation

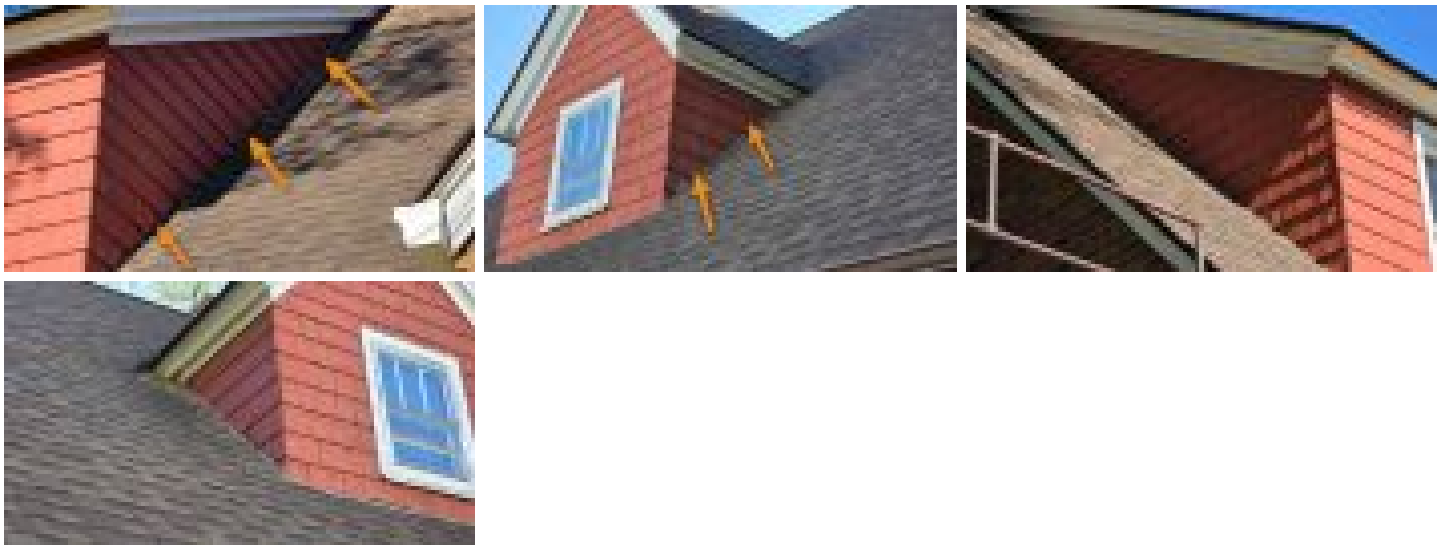
Contact a qualified professional.



## 3.13.1 Wood Siding

**EXTERIOR, WOOD SIDING IN CONTACT WITH ASPHALT SHINGLES**

The wood siding is in direct contact with the asphalt roofing shingles, a condition that can lead to accelerated material deterioration and moisture intrusion. Wood materials should be kept properly elevated above roof surfaces to prevent water wicking, saturation, and decay. When siding materials terminate directly on the roof covering without an adequate clearance or flashing detail, they are subjected to constant moisture exposure from runoff and debris accumulation, which can result in rot, mold, or structural compromise of the siding and sheathing underneath. This installation practice also limits the ability of the roof surface to shed water properly. Recommend evaluation and correction by a qualified contractor to establish the necessary clearance and install proper flashing if needed, helping to ensure the longevity and effectiveness of both the siding and roofing system.



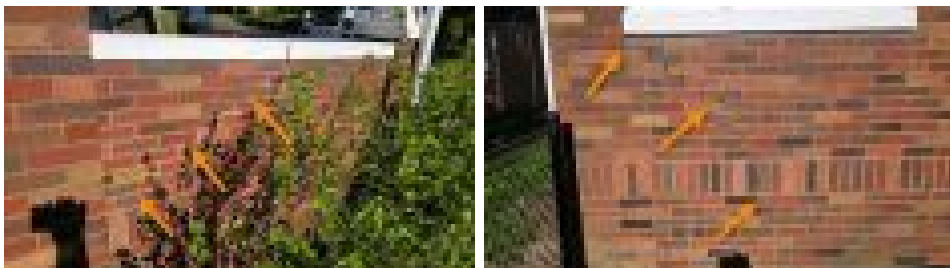
## 3.15.1 Brick exterior

**BRICK WALL, STEP CRACKING**

Step cracks follow the mortar joints in a stair-step pattern and often indicate differential settlement of the foundation or movement in the structure. They are common at the corners of windows and doors, where the wall experiences stress. Monitoring for widening or displacement is recommended, and significant movement may require evaluation by a masonry professional.

## Recommendation

Contact a qualified masonry professional.



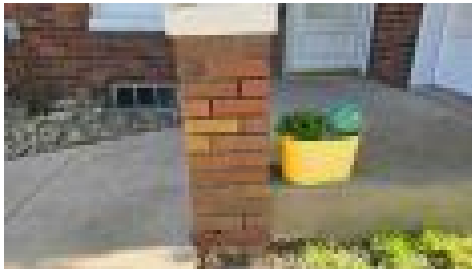
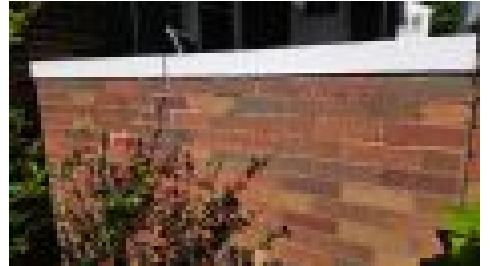
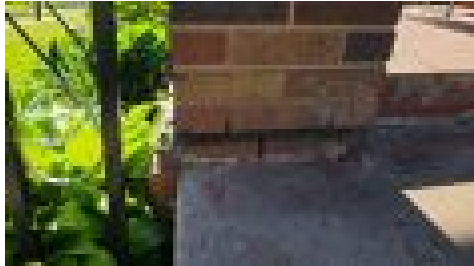
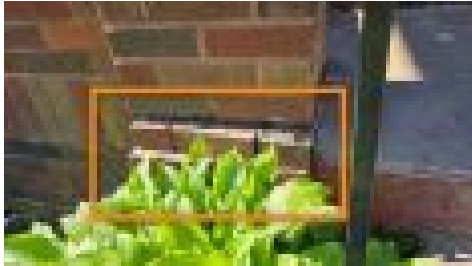
## 3.15.2 Brick exterior

**BRICK WALL, DETERIORATED OR MISSING MORTAR JOINTS**

Mortar between bricks can degrade over time due to weathering, improper mortar mix, or freeze-thaw cycles. Repointing (tuckpointing) is necessary when mortar deterioration is observed to maintain structural integrity.

## Recommendation

Contact a qualified masonry professional.



# 4: GARAGE

		IN	LI	MA	MD	SC
4.1	General Overview and Limitations of Garage Inspection	X	X			
4.2	Garage Overhead Door	X		X		X
4.3	Garage Occupant Doors	X				X
4.4	Garage Floors	X	X	X		
4.5	Garage Walls and Ceilings	X	X			
4.6	Garage Windows	X				
4.7	Garage Electrical	X				X
4.8	Garage Structural	X	X			
4.9	Garage Stairs/Steps to Living Space	X				X
4.10	Garage Roof Drainage System	X		X		
4.11	Garage Roof	X		X		
4.12	Garage Exterior Walls	X			X	
4.13	Garage General Grounds	X				

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

### General Overview and Limitations of Garage Inspection:

#### Garage Vehicle Door Type:

Single

### General Overview and Limitations of Garage Inspection:

#### Number of Automatic Openers:

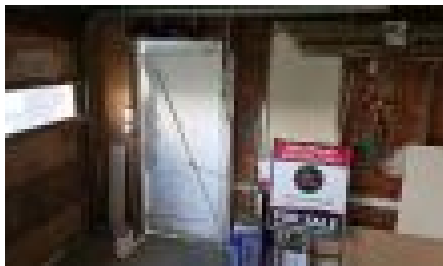
1

### General Overview and Limitations of Garage Inspection:

#### Number of Vehicle Doors:

2

#### Garage Occupant Doors: Photo Documentation



#### Garage Floors: Photo documentation



### General Overview and Limitations of Garage Inspection: Vehicle Door Safety:

No photosensors installed, Manual door only

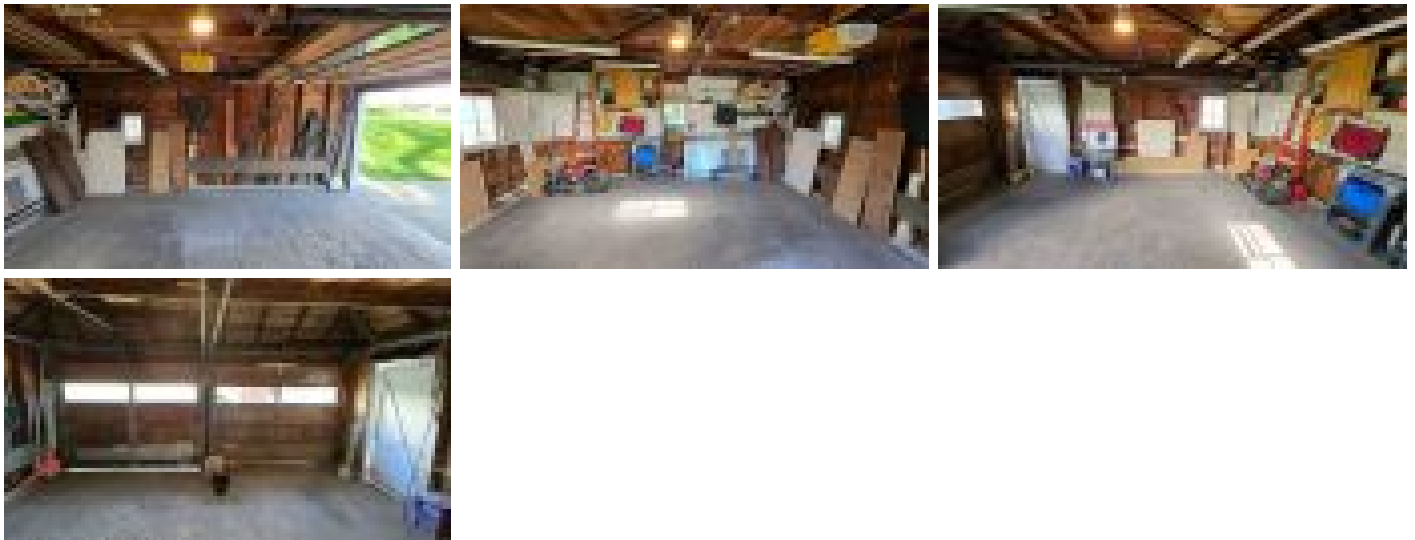
#### Adjust Auto Reverse Safety Feature

To decrease the amount of force required to reverse the direction of the garage door, turn the knob (or screw with a screwdriver) counterclockwise one quarter. To increase the amount of force, turn it clockwise. Re-test the auto-reverse function and repeat this process until your opener is properly adjusted.

### Garage Overhead Door: Photo Documentation



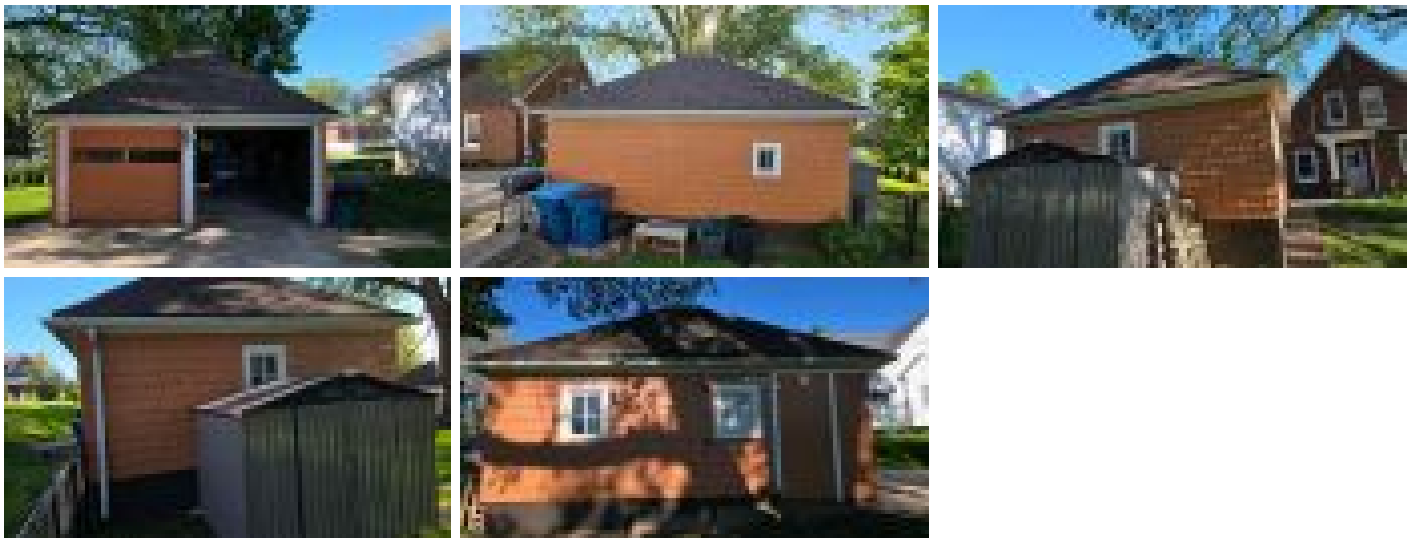
### Garage Walls and Ceilings: Photo documentation



### Garage Roof: Tree overhang

Tree overhang over asphalt shingles will lower the lifespan of the roof covering.

### Garage General Grounds: Photo Documentation



## Limitations

General Overview and Limitations of Garage Inspection

**LIMITED INSPECTION, OCCUPANTS BELONGINGS**

INTERIOR ROOMS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

## Deficiency

### 4.2.1 Garage Overhead Door



#### **GARAGE DOOR, PHOTOELECTRIC SENSORS, NOT INSTALLED**

##### LEFT GARAGE DOOR FROM INSIDE

The overhead garage door was not equipped with a photoelectric sensor. Photoelectric sensors are devices installed to prevent injury by raising the vehicle door if the sensor detects a person on a position in which they may be injured by the descending door. Installation of photo sensors in new homes has been required by generally-accepted safety standards since 1993. The Inspector recommends installation of a photo sensor by a qualified contractor or technician for safety reasons.

##### Recommendation

Contact a qualified garage door contractor.



### 4.2.2 Garage Overhead Door



#### **GARAGE, MOISTURE-DAMAGED WOOD OVERHEAD DOOR**

The wood overhead garage door exhibits moderate moisture damage, including visible swelling, softening, and areas of surface deterioration. This type of damage is typically caused by prolonged exposure to moisture, which may result from inadequate sealing, poor drainage, or repeated contact with snow and rain. If left unaddressed, the damage may worsen over time, leading to operational issues, further structural weakening of the door panels, and potential safety concerns. Recommend repair or replacement of the affected sections, and consider applying a weather-resistant sealant or finish to protect the door from future moisture exposure. Evaluation by a qualified contractor is advised.

##### Recommendation

Contact a qualified professional.



On Bottom Of Garage Left Door On The Inside

### 4.2.3 Garage Overhead Door



#### **GARAGE OVERHEAD DOOR BOTTOM SEAL GAPS**



Garage Left Door From Inside

The garage overhead door does not fully seal along the bottom when in the closed position. Visible gaps were observed between the bottom weather seal and the floor surface, which can allow air infiltration, moisture intrusion, debris, and pests to enter the garage. This condition is commonly caused by a worn or deteriorated bottom seal, uneven or settled concrete floor slab, misalignment of the door tracks, or improper door adjustment.

While this may not present an immediate safety hazard, continued gaps can contribute to energy loss, water intrusion during rain or snow events, and potential deterioration of interior components over time. Recommend adjustment of the door assembly and/or replacement of the bottom weather seal as needed to ensure a proper seal against the floor surface.

Recommendation

Contact a qualified garage door contractor.

#### 4.2.4 Garage Overhead Door

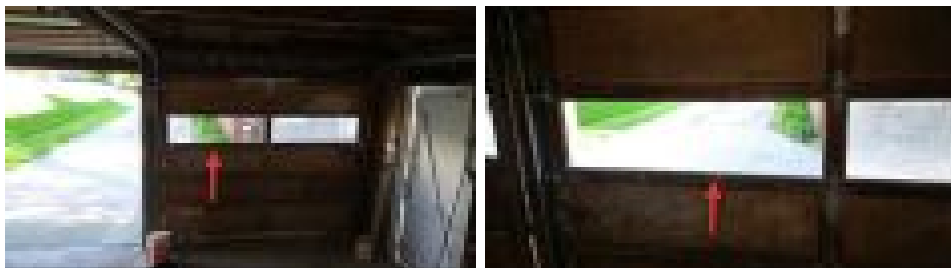
 Safety Concern

### **GARAGE, OVERHEAD DOOR, MISSING GLASS PANEL**

The garage overhead door is missing a glass panel. This condition leaves an opening in the door assembly that can allow water intrusion, pest entry, increased air leakage, and reduced security of the garage area. Missing panels can also affect the structural integrity and balance of the overhead door over time, especially during operation. Recommend replacement of the missing glass panel and evaluation of the surrounding frame components for any related damage or looseness.

Recommendation

Contact a qualified professional.



Garage Right Door Missing Glass Panel

#### 4.3.1 Garage Occupant Doors

 Safety Concern

### **EXTERIOR DOOR LACKS INTERIOR LOCK**

GARAGE

The spring-loaded exterior door from the garage to the outside cannot be locked from the interior. This creates a security vulnerability, as occupants cannot prevent unauthorized entry from outside. The door should be retrofitted with an interior locking mechanism, such as a deadbolt or keyed lock, to provide proper security control.

Recommendation

Contact a qualified door repair/installation contractor.



4.4.1 Garage Floors

**GARAGE FLOOR, SPALLING OR SURFACE DETERIORATION**

 Maintenance or Low Priority

The garage floor surface shows signs of spalling or flaking, often caused by freeze-thaw cycles or improper concrete finishing. This can compromise the durability of the floor and should be addressed to prevent further damage. Surface repairs or sealing may be necessary.

Recommendation

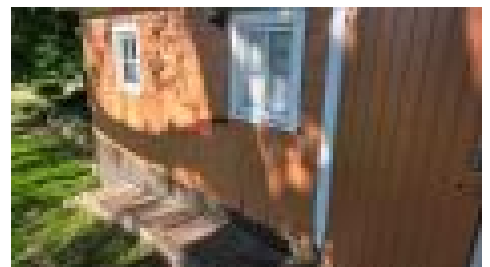
Contact a qualified concrete contractor.



4.7.1 Garage Electrical

**GARAGE RECEPTACLE, OPEN GROUND**

 Safety Concern



Garage Exterior Outlet

**Observation:**

One or more garage receptacles lack a proper ground connection, resulting in an open ground condition.

**Expected Standard at a Residential Property:**

- Grounding ensures that fault currents have a safe path to earth, preventing shocks and protecting devices.
- Grounded outlets must have a functional ground wire securely connected to the grounding system of the home.

**Safety Concerns:**

- Shock Hazard: Open grounds increase the risk of electrical shock, particularly in wet or outdoor environments.
- Equipment Protection: Surge protection devices and grounded equipment may not function properly without a ground.
- Code Noncompliance: Modern electrical codes require proper grounding for safety and equipment protection.

**Recommendation:**

- Have a licensed electrician repair or retrofit the wiring to provide a functional ground connection.
- If grounding cannot be achieved (e.g., in older two-wire systems), consider upgrading the system or installing GFCI protection as a safety measure.

**Recommendation**

Contact a qualified electrical contractor.

## 4.7.2 Garage Electrical

**GARAGE RECEPTACLE, LOOSE**

The garage receptacle was not secured properly. This can lead to safety issues and should be corrected.

**Recommendation**

Contact a qualified electrical contractor.



Garage Outlet Loose

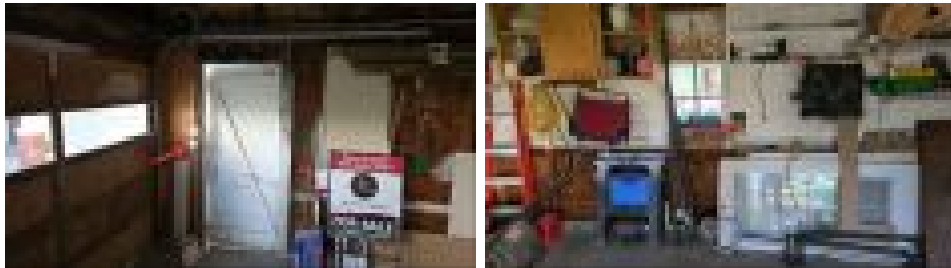
## 4.7.3 Garage Electrical

**GARAGE, ELECTRICAL OUTLETS, MISSING GFCI PROTECTION**

The electrical outlets in the garage were not equipped with GFCI (Ground-Fault Circuit Interrupter) protection at the time of inspection. Garage areas are more susceptible to moisture exposure and grounded surfaces, which increases the risk of electrical shock when using standard outlets without proper protection. GFCI protection is an important safety feature designed to quickly shut off power when a ground fault is detected. Recommend evaluation and installation of proper GFCI protection by a qualified electrical contractor to improve safety.

Recommendation

Contact a qualified professional.

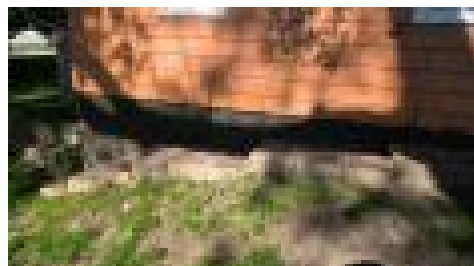
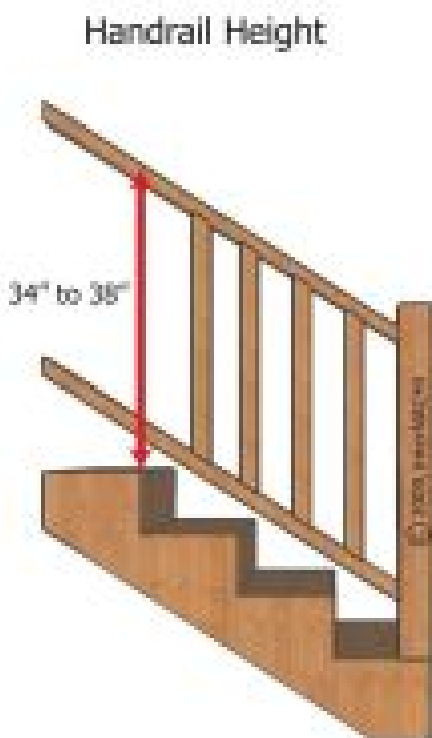


4.9.1 Garage Stairs/Steps to Living Space

 Safety Concern

**HANDRAIL, NOT INSTALLED**

The steps leading to the door between the garage and the living space had no handrail installed. In order to comply with modern building practices which require a handrail at stairways with 4 or more risers, this stairway would need a handrail installed. The Inspector recommends that a handrail be installed by a qualified contractor that complies with modern building requirements.



4.10.1 Garage Roof Drainage System

 Maintenance or Low Priority

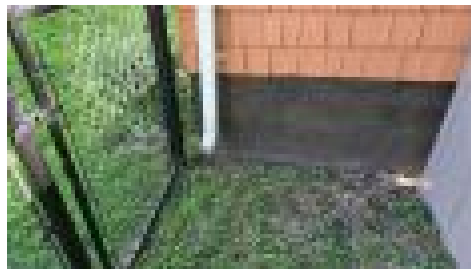
**DRAINAGE SYSTEM HEALTH**

All downspouts should extend a minimum of 4-6' from the foundation or slab. Discharging near the foundation can affect the ability of the soil to support the weight of the structure above and can cause damage related to soil/foundation movement. Adding extensions can be a cheap way to avoid moisture issues in the future.

Also watch for downspouts that discharge along walkways or driveways. These areas can cause extra moisture to be pushed below the surface which can cause cracking and displacement. In Iowa our winters can also cause these discharge locations to freeze over and be a fall hazard.

Recommendation

Recommended DIY Project



Back Of Garage

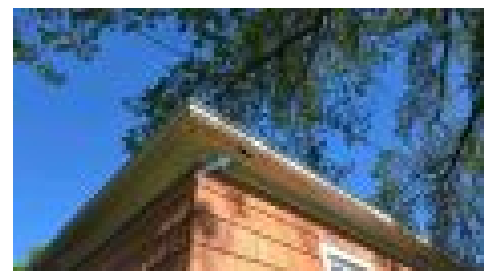
#### 4.10.2 Garage Roof Drainage System



Maintenance or Low Priority

### **DOWNSPOUT, NOT INSTALLED**

No downspout was installed at the time of the Inspection. This allows water to flow directly along the siding from the discharge of the gutter. Overtime this can force water behind the siding into the wall structure causing damage as well as possible biological growth. Recommend installation of downspout so water is routed off and away from the home.



Garage Left Side Of Garage

Recommendation

Contact a qualified gutter contractor

#### 4.11.1 Garage Roof



Maintenance or Low Priority

### **GARAGE ROOF, SIGNIFICANT MOSS GROWTH**

Severe moss growth observed on shingles at the time of inspection. Sections shown in pictures should be expected to fail if not replaced.

Moss can shorten the life span of a shingled roof and result in costly repairs both structural and cosmetic that would not be necessary if the roof were maintained properly and kept clear of moss.

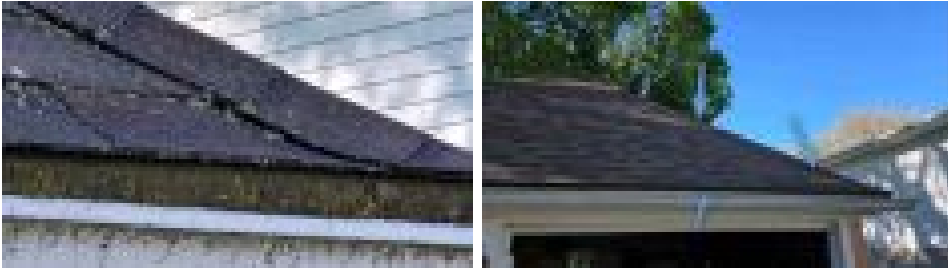
One way to keep a roof free of moss is by installing zinc or copper flashing along the peak. As rain washes down the roof, some of the metal dissolves and kills the moss.

Another option is brushing or brooming off the moss if the growth is not too bad. You can also apply moss-killing chemicals in liquid, granule or powder form that are available in home stores or online.

This can reduce the effectiveness and ability to shed water of current roof covering.

Recommendation

Contact a qualified roofing professional.



#### 4.12.1 Garage Exterior Walls

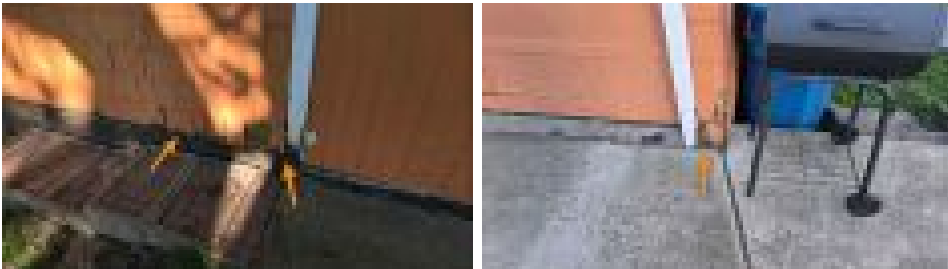


### **EXTERIOR, WOOD SHAKE SIDING, MOISTURE DAMAGE**

The exterior wood shake siding showed signs of moisture damage and deterioration. Areas of the wood shakes appeared weathered, deteriorated, and moisture affected, which is commonly caused by prolonged exposure to moisture, inadequate maintenance, improper drainage, or age-related wear. Continued moisture intrusion into wood siding materials can lead to ongoing deterioration, loose or damaged shakes, and possible damage to underlying wall components. Recommend repair or replacement of damaged wood shake materials and evaluation of exterior drainage and sealing methods to help prevent further moisture-related deterioration.

#### Recommendation

Contact a qualified siding specialist.



# 5: ATTIC

		IN	LI	MA	MD	SC
5.1	General Overview and Limitations of Attic Inspection	X	X			
5.2	General Overview	X	X			
5.3	Roof Framing (from attic)	X	X			
5.4	Roof Sheathing (from Attic)	X	X			
5.5	Roof Structure Ventilation	X	X			
5.6	Attic Electrical	X	X			
5.7	Misc Attic Conditions (leakage, debris, etc.)	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

**General Overview and Limitations of Attic Inspection:**  
**Attic Inspected from:**  
 Inside the attic, No entry vaulted

**General Overview and Limitations of Attic Inspection:**  
**Location of Access:**  
 Half door

**General Overview and Limitations of Attic Inspection:**  
**Average Insulation Depth:**  
 Less than 6 inches

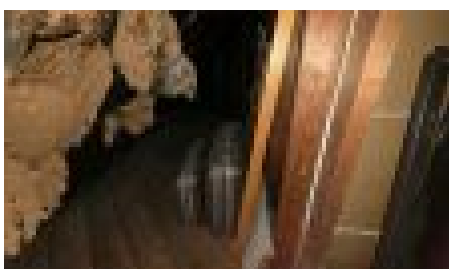
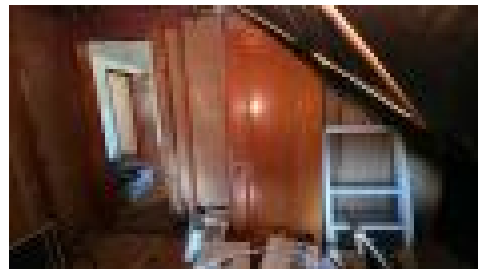
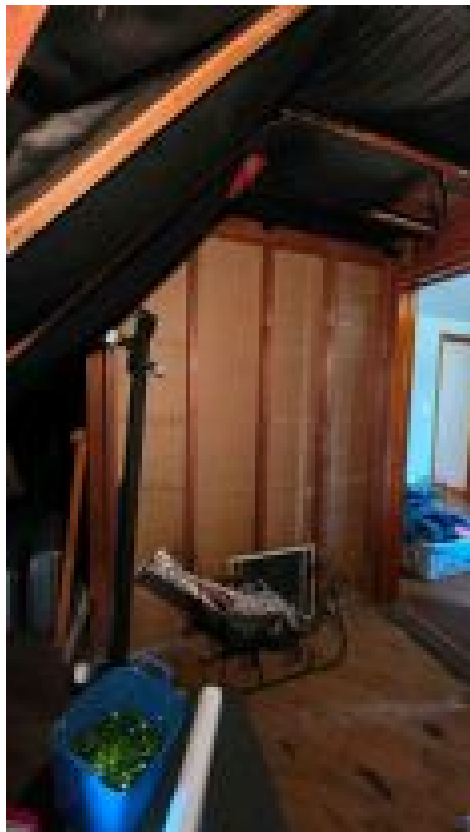
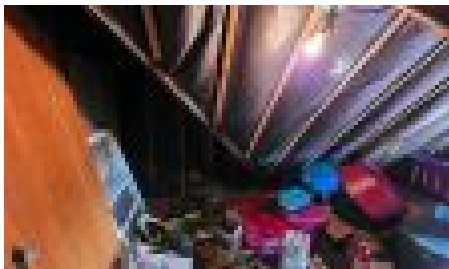
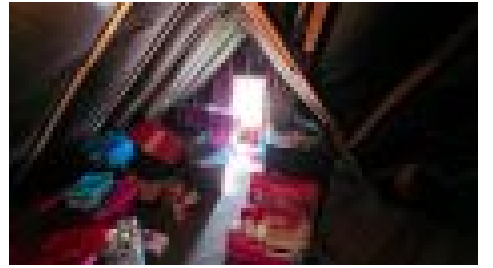
**General Overview and Limitations of Attic Inspection:**  
**Insulation Type:**  
 Roll Insulation

**General Overview and Limitations of Attic Inspection:**  
**Roof Framing Type:**  
 Conventional Framing

**General Overview and Limitations of Attic Inspection:**  
**Roof Sheathing Material:**  
 Wood boards

**General Overview and Limitations of Attic Inspection:**  
**Roof Ventilation Type:**  
 Gable vents

### General Overview: Photo Documentation



## Limitations

---

General Overview and Limitations of Attic Inspection

### **LIMITED INSPECTION, VAULTED CEILING**

The attic inspection was limited due to the presence of a vaulted ceiling, which does not provide a standard attic space for access or evaluation. This restricted our ability to inspect areas such as insulation, ventilation, and roof framing. No assessment was made of areas that were not visually accessible. It is recommended to consult a professional if there are specific concerns related to the vaulted ceiling or the roof assembly.

# 6: KITCHEN

		IN	LI	MA	MD	SC
6.1	General Overview and Limitations of Kitchen Inspection	X	X			
6.2	Kitchen Electrical	X	X			
6.3	Cabinets	X	X	X		
6.4	Kitchen Plumbing / Sink	X	X	X		
6.5	Garbage Disposal	X	X			
6.6	Dishwasher	X				
6.7	Range	X		X		
6.8	Range Hood or Built in Microwave			X		
6.9	Refrigerator	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

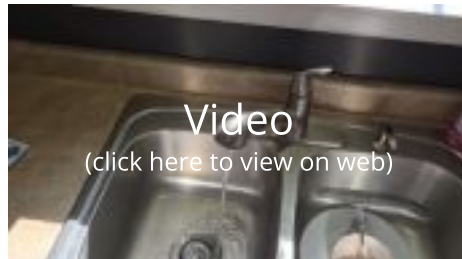
### General Overview and Limitations of Kitchen Inspection: Floor Covering Materials

Composite Flooring

### General Overview and Limitations of Kitchen Inspection: Stove Hook Ups Electric

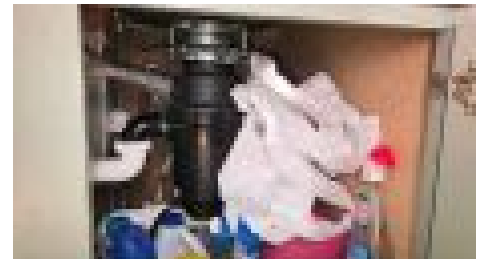
### General Overview and Limitations of Kitchen Inspection: Walls and Ceilings Drywall

### Kitchen Plumbing / Sink: Video Documentation

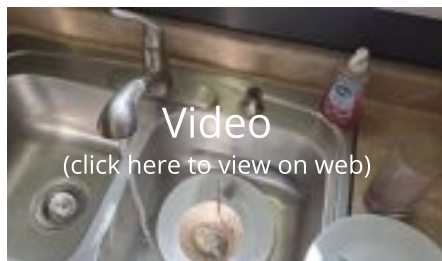


### General Overview and Limitations of Kitchen Inspection: Exhaust Type No exhaust

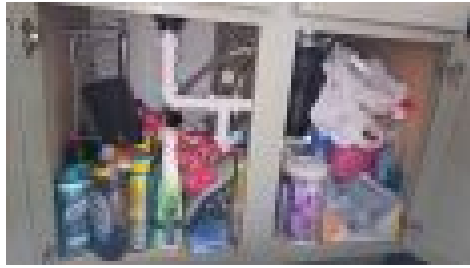
### Garbage Disposal: Photo documentation



### Garbage Disposal: Video Documentation



**Kitchen Plumbing / Sink: Photo documentation**



**Dishwasher: Photo documentation**



**Range: Photo documentation**



**Refrigerator: Photo documentation**



## Limitations

General Overview and Limitations of Kitchen Inspection

### LIMITED INSPECTION, OCCUPANT BELONGINGS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

Refrigerator

### KITCHEN REFRIGERATOR WATER SUPPLY NOT CONNECTED

The refrigerator was observed to be in place; however, the water supply line was not connected at the time of inspection. As a result, the water dispenser and ice maker—if present—could not be tested for proper operation. Recommend verifying full functionality once the water supply is connected.

## Deficiency

6.2.1 Kitchen Electrical

 Safety Concern

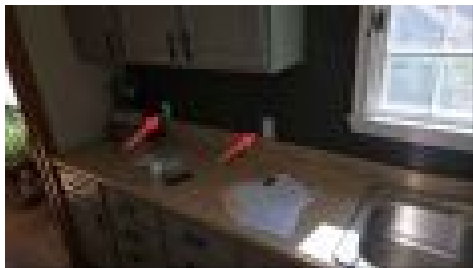
### KITCHEN RECEPTACLE, MISSING OR NON-FUNCTIONING GFCI PROTECTION

Outlets near the sink, countertops, or other wet areas lacked Ground Fault Circuit Interrupter (GFCI) protection, or the GFCI outlets were not functioning correctly when tested. GFCI protection is required for safety in areas with water exposure. Recommend upgrading or repairing the outlets by a licensed electrician to ensure compliance with safety standards.

Recommendation

Contact a qualified electrical contractor.

replaced/Corrected 6.2.1



1st Floor Kitchen Outlets No GFCI Protections



1st Floor Kitchen Outlet No GFCI Protection

6.3.1 Cabinets

 Maintenance or Low Priority

### CUPBOARD/COUNTER, NOT PROPERLY SECURED

**Defect:** Cabinets were observed to be inadequately secured to the wall or floor, posing a potential safety hazard.

**Recommendation:** Reinforce cabinet fastenings to ensure they are securely attached and capable of supporting their intended loads.



1st Floor Kitchen Cabinet Countertop

## 6.4.1 Kitchen Plumbing / Sink

**KITCHEN SINK, IMPROPER AIR GAP OR HIGH LOOP FOR DISHWASHER DRAIN**

1ST FLOOR KITCHEN

The dishwasher drain lacked an air gap or high loop, which can lead to cross-contamination of the water supply. Recommend correcting the configuration to comply with plumbing safety standards.

Recommendation

Contact a qualified plumbing contractor.



Maintenance or Low Priority

## 6.7.1 Range

**KITCHEN, RANGE, FRONT PANEL LOOSE**

The front panel on the kitchen range is partially detached and not properly secured to the appliance. This condition may be caused by broken mounting clips, loose fasteners, impact damage, or improper prior repairs. A loose front panel can create sharp edges, expose internal components, and may continue to worsen with regular use of the appliance. Recommend repair or replacement of the damaged panel components to restore proper operation and safety.

Recommendation

Contact a qualified professional.



Maintenance or Low Priority



## 6.8.1 Range Hood or Built in Microwave

**NO EXHAUST SYSTEM INSTALLED**

1ST FLOOR KITCHEN

No range hood or exhaust system was installed at the time of the inspection. The Inspector recommends that an range hood or air filtration system be installed to prevent possible moisture damage and grease accumulation on walls and ceiling adjacent to the range.

Recommendation

Contact a qualified professional.



Maintenance or Low Priority

# 7: BATHROOMS

		IN	LI	MA	MD	SC
7.1	General Overview and Limitations of Bathroom Inspection	X	X			
7.2	Bathroom Ventilation	X				
7.3	Bathroom Electrical	X			X	X
7.4	Bathroom Sink	X			X	
7.5	Bathroom Toilet	X				
7.6	Bathroom Tub/Shower	X		X	X	

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

### General Overview and Limitations of Bathroom

**Inspection: Bathroom Cabinets:**  
Veneer on MDF, Solid Wood

### General Overview and Limitations of Bathroom

**Inspection: Bathroom Toilet**  
**Type:**  
Low-volume flush (1.6 gal. [6 litres] or less)

### General Overview and Limitations of Bathroom

**Inspection: Bathroom Exhaust:**  
Fan with light

### General Overview and Limitations of Bathroom

**Inspection: Bathroom Floor:**  
Vinyl Tile, Sheet Vinyl

### General Overview and Limitations of Bathroom

**Inspection: Bathroom Bathtub:**  
Shower only, Bathtub with shower, Fiberglass

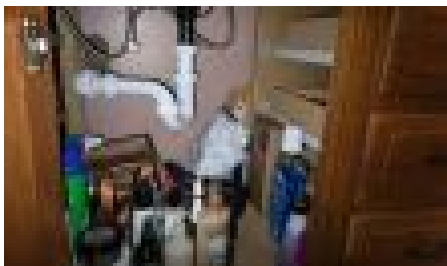
### General Overview and Limitations of Bathroom

**Inspection: Bathroom Sink:**  
Sink in a cabinet

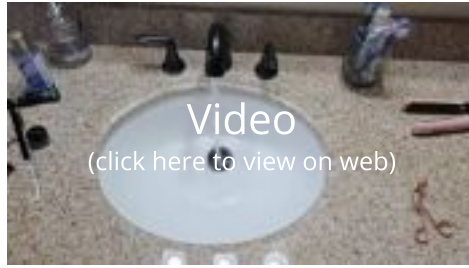
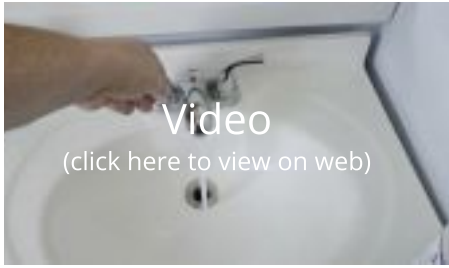
### General Overview and Limitations of Bathroom

**Inspection: Bathroom Shower:**  
Walk-in, Fiberglass enclosure

### Bathroom Sink: Photo Documentation



### Bathroom Sink: Video Documentation



### Bathroom Toilet: Photo Documentation



### Bathroom Tub/Shower: Photo Documentation



## Limitations

General Overview and Limitations of Bathroom Inspection

**LIMITED INSPECTION, OCCUPANTS BELONGINGS**

INTERIOR ROOMS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

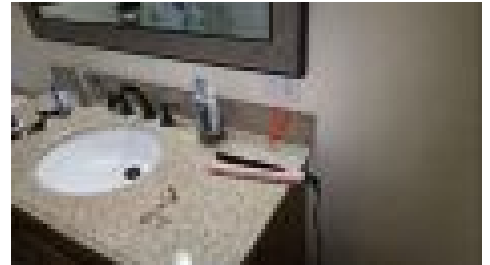
## Deficiency

### 7.3.1 Bathroom Electrical

#### **BATHROOM RECEPTACLE, MISSING OR NON-FUNCTIONING GFCI PROTECTION**

 Safety Concern

Outlets near the sink, countertops, or other wet areas lacked Ground Fault Circuit Interrupter (GFCI) protection, or the GFCI outlets were not functioning correctly when tested. GFCI protection is required for safety in areas with water exposure. Recommend upgrading or repairing the outlets by a licensed electrician to ensure compliance with safety standards.



1st Floor Hall Bathroom Outlet No GFCI Protection

#### Recommendation

Contact a qualified electrical contractor.

**replaced/Corrected 7.3.1/7.3.2**

### 7.3.2 Bathroom Electrical

#### **BATHROOM ELECTRICAL, INOPERABLE OUTLETS OR SWITCHES**

 Material Defect

One or more outlets or switches in the kitchen were non-functional during testing. The issue may be due to faulty wiring, tripped breakers, or defective components. Recommend evaluation and repair by a licensed electrician to restore functionality.



#### Recommendation

Contact a qualified professional.

### 7.4.1 Bathroom Sink

#### **BATHROOM SINK, LOOSE OR IMPROPERLY SECURED SINK**

 Material Defect

The sink was loose or improperly secured to the countertop, wall, or vanity. This condition can worsen over time and lead to water leaks or damage. Recommend securing the sink properly to ensure stability.



2nd Floor

#### Recommendation

Contact a qualified professional.

### 7.5.1 Bathroom Toilet

#### **BROKEN TOILET HANDLE**

 Maintenance or Low Priority

#### BASEMENT

The toilet handle is broken and non-functional. This was observed during inspection of the toilet. A broken handle prevents normal operation of the toilet flush mechanism, requiring repair or replacement to restore proper function.



Recommendation

Contact a qualified plumbing contractor.

Handle broke toilet still functional by interior plunger

7.6.1 Bathroom Tub/Shower

 Maintenance or Low Priority

**BATHROOM TUB/SHOWER, MISSING OR DETERIORATED GROUT OR CAULKING**

Grout or caulking around tiles, tub edges, or shower joints was cracked, missing, or deteriorated. This can allow water to seep into surrounding materials, causing damage. Recommend removing old grout or caulking and applying fresh, waterproof material.



1st Floor Hall Bathroom Tub Missing Caulking

Recommendation

Recommended DIY Project

7.6.2 Bathroom Tub/Shower

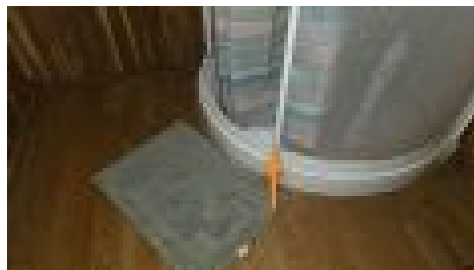
 Material Defect

**BATHROOM, SHOWER ENCLOSURE, WATER LEAKAGE AT DOOR AREA**

The shower enclosure was observed leaking water from the lower door area during operation. Water was noted running along the inside surface of the plexiglass enclosure and escaping from the bottom edge onto the bathroom floor. This style of shower enclosure is typically designed with an interior rotating or sealing door component intended to direct water back into the shower basin. The absence or improper function of this component is allowing water to freely escape during use. Continued leakage can contribute to moisture damage of surrounding flooring, wall materials, and adjacent finishes over time. Recommend repair or modification of the shower door assembly to properly contain water within the enclosure and prevent ongoing moisture intrusion.

Recommendation

Contact a qualified plumbing contractor.



## 8: INTERIOR

		IN	LI	MA	MD	SC
8.1	General Overview and Limitations of Interior Inspection	X				
8.2	Interior Thermostat	X				
8.3	Interior Floors	X	X	X	X	X
8.4	Interior Ceilings and Walls	X	X	X	X	
8.5	Interior Doors	X	X			
8.6	Interior Stairs	X				
8.7	Interior Windows	X	X			X
8.8	Interior Electrical	X		X	X	X
8.9	Doorbells/Detectors/Fans	X				X
8.10	Laundry Room	X				
8.11	Fireplace	X	X	X		
8.12	Wet Bar	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

### Information

**General Overview and Limitations of Interior Inspection: Floor Covering Materials**

Wood, Vinyl Tile

**General Overview and Limitations of Interior Inspection: Interior Doors**  
Solid Wood

**General Overview and Limitations of Interior Inspection: Walls and Ceilings**  
Drywall, Lath and Plaster

**General Overview and Limitations of Interior Inspection: Window Glazing**  
Single-pane

**General Overview and Limitations of Interior Inspection: Window Material**  
Wood

**General Overview and Limitations of Interior Inspection: Window Operation**  
Double-hung, Casement, Fixed

**General Overview and Limitations of Interior Inspection: # of Bedrooms**  
4

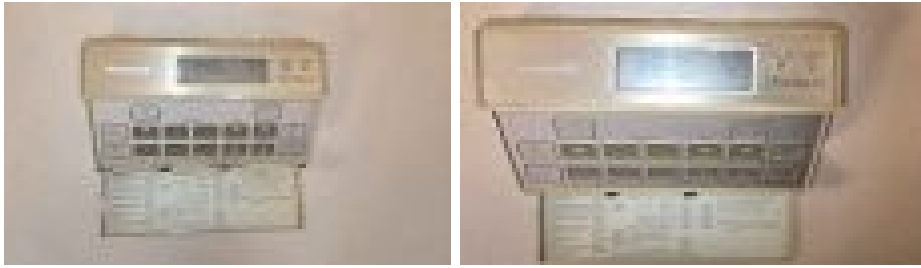
**General Overview and Limitations of Interior Inspection: # of Bathrooms**  
2, .5

**Wet Bar: Video Documentation**

**General Overview and Limitations of Interior Inspection: Air Quality**

Gold Shield Inspections recommends Air Sampling for all residential properties. A home inspection is a visual inspection of the condition of your property. To ensure the air quality and ensure no hidden issues with toxins that can be produced by hidden mold inside walls, ductwork and structural components. We offer air sampling and quick turn around on all samples. Let us know if you would like more information.

### Interior Thermostat: Photo Documentation



### Interior Floors: Interior Introduction

Inspection of the property interior does not include testing for mold, radon, asbestos, lead paint, or other environmental hazards unless specifically requested as an ancillary inspection. Inspection of the property interior typically includes:

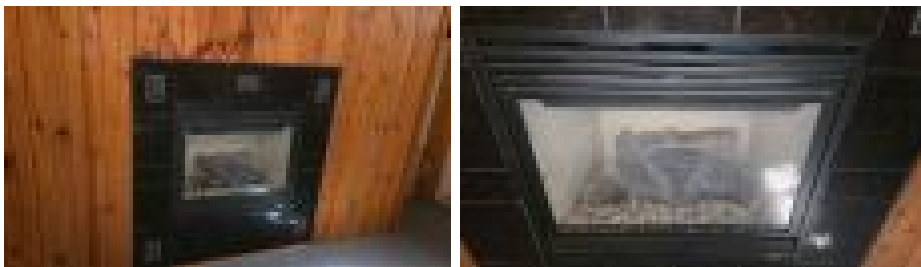
1. interior wall, floor and ceiling coverings and surfaces;
  2. doors and windows: condition, hardware, and operation;
  3. interior trim: baseboard, casing, molding, etc.;
  4. permanently-installed furniture, countertops, shelving, and cabinets; and
- ceiling and whole-house fans.

### Laundry Room: Washer/Dryer Hook-up Photo

Washer and dryer hookups location.



### Fireplace: Photo Documentation



### Wet Bar: Photo Documentation



## Limitations

## General Overview and Limitations of Interior Inspection

### LIMITED INSPECTION, OCCUPANTS BELONGINGS

#### INTERIOR ROOMS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings. Due to the possibility of owners personal documentation we are unable to offer our 360 degree images of each room.

#### Fireplace

### LIMITED INSPECTION, GAS SHUT-OFF TO FIREPLACE

The fireplace inspection was limited because the gas supply to the unit was turned off at the time of the inspection. As a result, the operation and performance of the gas fireplace could not be evaluated. Recommend confirming the functionality of the unit once the gas supply is restored and consulting a qualified fireplace technician if issues arise.

## Deficiency

#### 8.3.1 Interior Floors

### BATHROOM FLOOR, IMPROPER OR MISSING TRANSITION STRIPS

 Safety Concern

The transition strip between the bathroom floor and adjacent rooms was missing or improperly installed. This creates a tripping hazard and may expose edges to damage. Recommend installing or replacing transition strips for a safer and finished appearance.

#### Recommendation

Contact a qualified flooring contractor



1st Floor Hall Bathroom

#### 8.3.2 Interior Floors

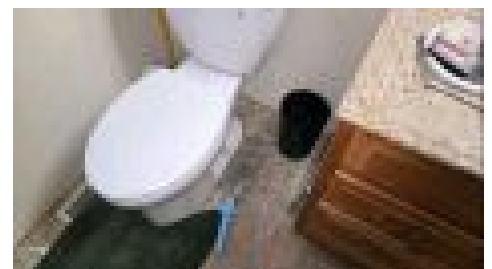
### BATHROOM FLOOR, WATER DAMAGE OR STAINING (PREVIOUS)

 Maintenance or Low Priority

Signs of water damage, such as discoloration, warping, or soft spots, were observed on the bathroom floor. This often results from leaks or prolonged exposure to water. Moisture meter showed no heightened moisture content at the time of the inspection. Recommend repairing or replacing damaged sections of the floor.

#### Recommendation

Contact a qualified flooring contractor



1st Floor Hall Bathroom By Toilet

#### 8.3.3 Interior Floors

### LOOSE PEEL-AND-STICK VINYL TILES

#### 2ND FLOOR;BATHROOM

 Material Defect

Peel-and-stick vinyl tiles in the bathroom are loose with visible gaps between tiles. This indicates poor adhesion and incomplete installation. Loose tiles can create trip hazards and allow moisture to penetrate underneath, potentially causing water damage and mold growth. The tiles should be firmly re-adhered or replaced by a flooring professional to ensure proper installation and moisture protection.

Recommendation

Contact a qualified flooring contractor



2nd Floor Bathroom

8.4.1 Interior Ceilings and Walls

**INTERIOR CEILINGS AND WALLS, POSSIBLE LEAD PAINT**

 Maintenance or Low Priority

Possible lead paint in the house at time of inspection.

Lead based paint was in use until approximately 1978. According to the Federal Department of Housing and Urban Development, a lead hazard can be present in a house of this age. This can only be confirmed by laboratory analysis. For further testing and information contact the Environmental Protection Agency (E.P.A.) for more information and guidance, and a list of testing labs in your area

8.4.2 Interior Ceilings and Walls

**GYP SUM BOARD CEILING, CRACKS**

 Maintenance or Low Priority

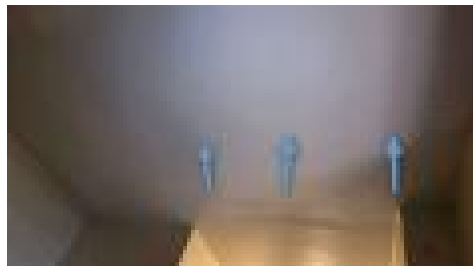
Cracks were observed in the drywall, potentially caused by settlement, structural movement, or temperature fluctuations. Recommend sealing minor cracks with appropriate materials.

Recommendation

Contact a qualified professional.



1st Floor Kitchen Above Window



1st Floor Hall

8.4.3 Interior Ceilings and Walls

**GYP SUM BOARD WALL, CRACKS**

 Maintenance or Low Priority

Cracks were observed in the drywall, potentially caused by settlement, structural movement, or temperature fluctuations. Recommend sealing minor cracks with appropriate materials.

Recommendation

Contact a qualified professional.



1st Floor Kitchen Above Window

## 8.4.4 Interior Ceilings and Walls

**INTERIOR DROP CEILING MULTIPLE DAMAGED TILES**

THROUGHOUT BASEMENT LIVINGROOM

The drop ceiling contains multiple tiles that are damaged, including areas with staining, warping, and potential previous water exposure. Damaged ceiling tiles can be unsightly and may indicate underlying issues such as past or active leaks, excessive humidity, or mechanical impacts. While no active moisture was detected during the inspection, the condition of the tiles warrants monitoring. Recommend replacing damaged tiles and evaluating the area above for any contributing causes to prevent recurrence.

Recommendation

Recommended DIY Project

## 8.4.5 Interior Ceilings and Walls

**INTERIOR CEILING SUSPENDED CEILING TILES LOOSE / SAGGING**

Sections of the suspended ceiling were observed to be sagging and partially loose from the supporting wood framing system. This condition is commonly caused by improper fastening, moisture intrusion, age-related deterioration, movement of the framing structure, or previous repairs that were not properly secured. Loose or drooping ceiling materials may continue to separate over time and can potentially fall, especially in areas exposed to vibration or elevated humidity levels. Recommend further evaluation and repair of the affected ceiling areas, including correction of any underlying

Recommendation

Contact a qualified professional.



Basement



Basement

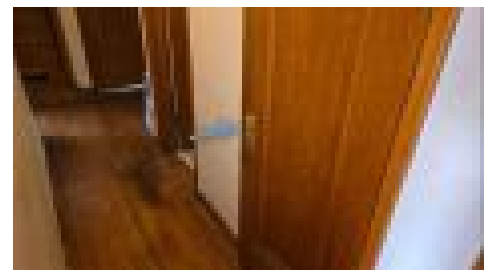
## 8.5.1 Interior Doors

**INTERIOR DOOR, FAULTY OR MISSING HARDWARE**

Door hardware such as knobs, handles, or locks was loose, missing, or malfunctioning. Recommend replacing or repairing the hardware for proper operation and security.

Recommendation

Contact a qualified door repair/installation contractor.



1st Floor Hall Closet Door Missing Handle

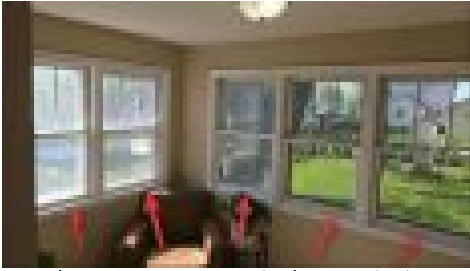
## 8.7.1 Interior Windows

**GENERAL WINDOW, BROKEN OR MISSING LOCKS**

Broken or missing locks compromise home security and child safety. Locks often fail due to wear, misuse, or poor-quality materials. Recommend replacing with durable, properly fitting locks to enhance security.

Recommendation

Contact a qualified window repair/installation contractor.



1st Floor Sun Room Windows Missing Locks



1st Floor Dining Room Windows

8.8.1 Interior Electrical

**INTERIOR OUTLETS, NON-FUNCTIONAL OUTLETS**

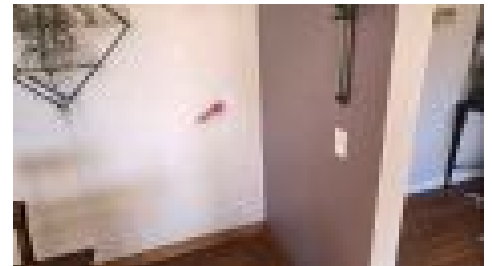
 Safety Concern

A non-functional outlet may be caused by faulty wiring, a tripped circuit, or internal damage to the outlet. This can limit functionality and may indicate an underlying issue in the electrical system. Recommend further evaluation by a licensed electrician to identify and resolve the issue.

Recommendation

Contact a qualified electrical contractor.

replaced/Corrected 8.8.1



1st Floor Dining Room Outlet No Power

8.8.2 Interior Electrical

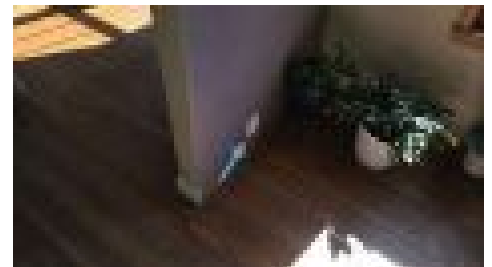
**INTERIOR OUTLETS, OPEN GROUND**

 Maintenance or Low Priority

An outlet with an open ground lacks a proper ground connection, which is critical for safely redirecting excess current in case of a fault. This issue can increase the risk of electrical shock and is common in older homes. Recommend upgrading or repairing the outlet to include a proper ground wire.


Recommendation

Contact a qualified professional.



1st Floor Dining Room Outlet

8.8.3 Interior Electrical

 Material Defect

**INTERIOR LIGHT, INOPERABLE LIGHTING**

The interior light fixture did not respond when the switch was activated, indicating a potential issue with the electrical system. This could be caused by a simple problem such as a burned-out bulb or a tripped circuit breaker, or it may stem from more concerning factors like faulty wiring, a defective switch, or poor electrical connections within the fixture. If the issue persists after replacing the bulb and checking the circuit breaker, further evaluation by a qualified electrician is recommended to ensure electrical safety and proper functionality.

Recommendation

Contact a qualified electrical contractor.



1st Floor Light By Front Door

8.8.4 Interior Electrical

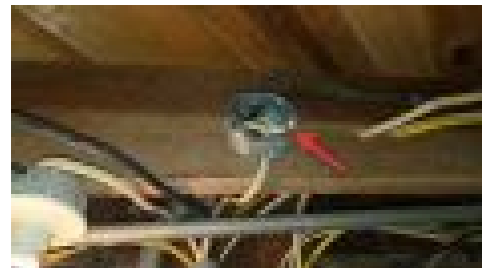
 Safety Concern

**INTERIOR WIRING, MISSING JUNCTION BOX COVER**

The junction box is missing its cover, leaving electrical wires exposed. This condition poses a safety hazard as it increases the risk of accidental contact, electrical shocks, and potential arcing, which can lead to fire hazards. Junction box covers are essential for containing wiring connections and preventing dust, debris, or unintended contact with live electrical components. Recommend installing a proper cover on the junction box to enhance safety and ensure compliance with electrical safety standards. A qualified electrician should address this issue promptly.

Recommendation

Contact a qualified electrical contractor.



Closet under stairs

8.9.1 Doorbells/Detectors/Fans

 Safety Concern

**SMOKE DETECTOR INSTALL MORE**



## NFPA Information

The Inspector recommends installing a smoke detector to provide improved fire protection for common areas. Generally-accepted current safety standards recommend smoke detectors be installed in the following locations:

1. In the immediate vicinity of the bedrooms
2. In all bedrooms
3. In each story of a dwelling unit, including basements and cellars, but not including crawl spaces and uninhabitable attics.
4. In units of 1,200 square feet or more, automatic fire detectors, in the form of smoke detectors shall be provided for each 1,200 square feet of area or part thereof. Any smoke detector located within 20 feet of a kitchen or bathroom containing a tub or shower must be a photoelectric type. The 1996 edition of the National Fire Protection Association (NFPA) 72 gives further guidance on the placement of smoke detectors, when required. Here are some examples from Chapter 2 of NFPA 72:
  5. Smoke detectors in a bedroom with a ceiling sloped greater than one foot in eight feet horizontally should be located on the high side of the ceiling.
  6. Smoke detectors should not be located within three (3) feet of a door to a bathroom containing a tub or a shower or the supply registers of a forced air HVAC system. Smoke detectors can be located on the ceiling with the side of the detector greater than four (4) inches from the wall or on the wall of a bedroom with the top of the detector located four (4) to twelve (12) inches down from the ceiling. All smoke detectors should be installed in accordance with the manufacturer's recommendation and be UL listed.

Recommendation

Recommended DIY Project

### 8.9.2 Doorbells/Detectors/Fans

## CO DETECTOR NEEDED



Safety Concern

## NFPA Information

The Inspector recommends installing a carbon monoxide detector. Carbon monoxide is an odorless, colorless, tasteless, toxic gas that is a product of the combustion process. Combustion appliances such as gas furnaces and heaters can introduce dangerously high levels of carbon monoxide onto the indoor air if combustion components need adjustment. Carbon monoxide detectors monitor indoor air and sound an alarm if dangerously high levels of carbon monoxide are detected. They are inexpensive and available at most hardware and home improvement stores. The Inspector recommends installation by a qualified contractor.

Recommendation

Recommended DIY Project



## 8.11.1 Fireplace

 Maintenance or Low Priority**INTERIOR FIREPLACE GLASS  
PANEL FOGGING AND ETCHING**

The gas fireplace has visible fogging and etching on the interior surface of the glass panel. This condition is often caused by the buildup of mineral deposits or combustion byproducts from prolonged use without regular cleaning or maintenance. Over time, these residues can permanently etch the glass, reducing visibility and detracting from the unit's appearance. While this may not affect the functionality of the fireplace, it is an indication that the unit could benefit from a professional cleaning and inspection to ensure safe and efficient operation. Recommend evaluation and maintenance by a qualified fireplace technician.

Recommendation

Recommended DIY Project



Basement Livingroom FirePlace

## 8.12.1 Wet Bar

 Maintenance or Low Priority**INTERIOR WET BAR SINK NO  
WATER SUPPLY**

The wet bar sink is not connected to a water supply, leaving it nonfunctional at the time of inspection. A disconnected or incomplete plumbing installation limits the intended use of the sink and may indicate unfinished or abandoned work. In some cases, this can also leave drain lines vulnerable to drying out, allowing sewer gases to enter the interior. I recommend evaluation by a licensed plumbing contractor to properly connect the sink to the water supply and ensure that both the supply and drain systems are correctly installed and functional.

Recommendation

Contact a qualified professional.

Basement Wet Bar Sink Water Supply  
Disconnected

# 9: PLUMBING

		IN	LI	MA	MD	SC
9.1	General Overview and Limitations of Plumbing Inspection	X	X			
9.2	Water Supply and Distribution	X	X	X		
9.3	Sewage and DWV Systems	X	X			
9.4	Visible Gas Piping System	X	X			
9.5	Water Heater	X				
9.6	Radon Mitigation	X		X		

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

### General Overview and Limitations of Plumbing

**Inspection: Sewage System Type:**  
Public

### General Overview and Limitations of Plumbing

**Inspection: Drain Waste and Vent Pipe Materials:**  
Cast Iron

### General Overview and Limitations of Plumbing

**Inspection: Water Supply Pipe:**  
1/2-inch, Galvanized Steel

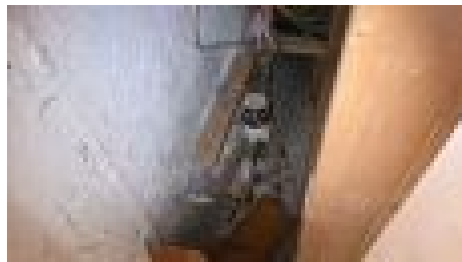
### General Overview and Limitations of Plumbing

**Inspection: Water Distribution Pipes:**

1/2-inch and 3/4-inch copper, 1/2 and 3/4-inch galvanized steel, Cross-linked Polyethylene (PEX)

### General Overview and Limitations of Plumbing

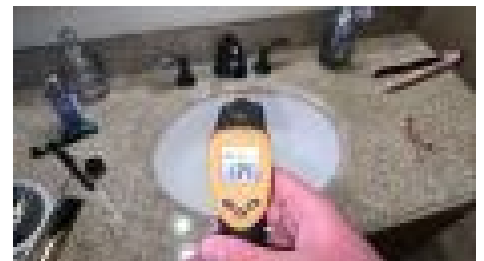
**Inspection: Water main shut off**



### General Overview and Limitations of Plumbing

**Inspection: Water Temperature At Faucet**

134.9



### Water Heater: Water Heater Fuel Type

Natural Gas

### Water Heater: Water Heater Manufacturer

Rheem

### Water Heater: Water Heater Manufacturer Date

2019

### Water Heater: Water Heater Tank Capacity

40 gallons

### Water Heater: Photo documentation



## Radon Mitigation: Overview: Active Radon Mitigation System for Crawlspace, Basements, and Slab Homes

### What is an Active Radon Mitigation System?

An active radon mitigation system is designed to reduce radon gas levels in homes, including those with crawlspaces, basements, or slab foundations. Radon is a naturally occurring radioactive gas linked to health risks like lung cancer. The system uses a fan to draw radon gas from beneath the home and vent it safely outdoors.

### Key Components of an Active Radon Mitigation System

1.

#### Radon Suction Points:

- Basement: A hole is cored through the slab to access the soil beneath, where radon gas is collected and vented.
- Crawlspace: A sealed vapor barrier is installed over the exposed soil, with a suction point beneath to extract radon gas.
- Slab Home: Similar to a basement system, a suction point is installed by drilling into the slab to reach the sub-slab soil.

2.

#### Ventilation Piping:

PVC piping routes radon gas from the suction point(s) to above the roofline for safe outdoor discharge.

3.

#### Radon Fan:

An inline fan creates a vacuum to continuously draw radon gas from beneath the home and vent it outside. The fan is typically installed outside the living space, such as in an attic or exterior location.

4.

#### System Monitor:

A pressure gauge (manometer) on the vent pipe allows homeowners to verify the system is functioning properly.

### How It Works:

- Crawlspace: The radon fan pulls gas from under the sealed vapor barrier, keeping radon from entering the home.
- Basements and Slabs: The fan draws radon from beneath the slab and vents it outdoors, maintaining a lower pressure under the slab to prevent radon infiltration.

### Maintenance Tips:

1. Monitor System Performance: Regularly check the manometer or monitoring device to confirm the system is working.
2. Inspect Vapor Barriers (Crawlspaces): Ensure the barrier is intact with no tears or gaps.
3. Test Radon Levels Periodically: Retest radon levels every 2–3 years to ensure the system is maintaining safe levels.
4. Radon Fan Replacement: Fans typically last 5–10 years and should be replaced as needed.

### Why It's Important:

An active radon mitigation system reduces radon levels to safer levels (below 4.0 pCi/L, as recommended by the EPA), protecting occupants from potential health risks. Regular monitoring and maintenance ensure continued system effectiveness.



## Limitations

General Overview and Limitations of Plumbing Inspection

### LIMITED INSPECTION, OCCUPANT BELONGINGS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

General Overview and Limitations of Plumbing Inspection

### LIMITED INSPECTION, FINISHED AREAS

The inspection of plumbing items, included behind walls, ceilings, and floors, was limited due to the presence of finished surfaces such as drywall, paneling, or flooring materials. These finishes restrict access to the underlying plumbing elements, making it impossible to assess their condition fully. This limitation prevents a thorough evaluation of potential issues.

## Deficiency

9.2.1 Water Supply and Distribution



### CORRODED PIPES

Signs of corrosion were noted on the supply lines, particularly at joints or fittings. Corrosion weakens the pipes and increases the risk of leaks or bursts. Recommend replacing corroded sections with durable materials, such as copper or PEX.

Recommendation

Contact a qualified plumbing contractor.



9.2.2 Water Supply and Distribution

**OUTDATED GALVANIZED PIPES**

 Maintenance or Low Priority

Galvanized steel pipes were observed, which are prone to internal corrosion and reduced water flow over time. These pipes are more likely to fail compared to modern materials. Recommend evaluating the system and replacing outdated pipes with updated materials.

Example Photo:



Recommendation

Contact a qualified professional.

9.6.1 Radon Mitigation

**RADON MITIGATION SYSTEM, MAINTENANCE AND TESTING RECOMMENDATION**

 Maintenance or Low Priority

An active radon mitigation system was observed at the property. These systems typically consist of a radon vent pipe and a continuously running fan designed to draw radon gas from beneath the home and vent it safely above the roofline. While the presence of this system is a positive indication of prior radon mitigation efforts, the system's performance cannot be verified without recent testing. According to recommendations from the Iowa Department of Health and Human Services, homeowners should retest active radon mitigation systems every 3 to 5 years to ensure continued effectiveness. It is also advisable to check the system for a visible installation date sticker, often found on the pipe or fan housing. If no date is visible or if the last test was more than five years ago, retesting the home's radon levels using a short-term or long-term test kit is recommended. Regular testing ensures that the fan is operating correctly and that radon levels remain below the EPA action level of 4.0 pCi/L.

Recommendation

Contact a qualified professional.



# 10: STRUCTURE

		IN	LI	MA	MD	SC
10.1	General Overview and Limitations of Structural Component Inspection	X				
10.2	Wall Structure	X	X			
10.3	Framed Floor Structure and supports	X	X			
10.4	Foundation	X	X	X	X	
10.5	Slab	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

### General Overview and Limitations of Structural Component Inspection: Home Structural Design

Balloon Framing

### General Overview and Limitations of Structural Component Inspection: Foundation Method/Materials

Poured concrete footings, Clay block

### General Overview and Limitations of Structural Component Inspection: Exterior Wall Structures

Conventional Wood Frame

### General Overview and Limitations of Structural Component Inspection: Main Floor Structure

Wooden boards over wood joists

### General Overview and Limitations of Structural Component Inspection: Foundation Configuration

Partially-finished basement

### General Overview and Limitations of Structural Component Inspection: Main Floor Structure- Intermediate Support

Clay Block Walls

### General Overview and Limitations of Structural Component Inspection: Homeowner's Responsibility

One of the most common problems in a house is a wet basement or foundation. You should monitor the walls and floors for signs of water penetration, such as dampness, water stains, peeling paint, efflorescence, and rust on exposed metal parts. In a finished basement, look for rotted or warped wood paneling and doors, loose floor tiles, and mildew stains. It may come through the walls or cracks in the floor, or from backed-up floor drains, leaky plumbing lines, or a clogged air-conditioner condensate line.

## Limitations

General Overview and Limitations of Structural Component Inspection

### LIMITED INSPECTION, STRUCTURAL COMPONENTS BEHIND FINISHED SURFACES

The inspection of structural components, including walls, ceilings, and floors, was limited due to the presence of finished surfaces such as drywall, paneling, or flooring materials. These finishes restrict access to the underlying structural elements, making it impossible to assess their condition fully. This limitation prevents a thorough evaluation of potential issues such as hidden framing damage, water intrusion, pest activity, or improper modifications.

While no visible signs of structural concerns were observed at the time of the inspection, it is important to note that hidden defects may exist behind these finished surfaces. If concerns arise in the future, or if renovations are planned that involve removing these finishes, further evaluation by a qualified professional is recommended to assess the condition of the concealed structural components.

## General Overview and Limitations of Structural Component Inspection

### LIMITED INSPECTION, OCCUPANT BELONGINGS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

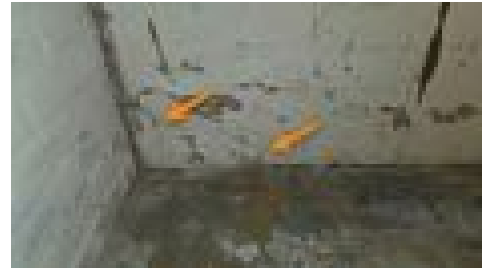
## Deficiency

### 10.4.1 Foundation



#### FOUNDATION WALL, SEEPAGE

Evidence of water seepage was observed on the foundation walls or floor. Seepage is commonly caused by poor exterior drainage, hydrostatic pressure, or cracks in the foundation. Persistent moisture can lead to potential structural concerns, damage to interior finishes, and the promotion of biological growth.



Recommendations:

1. Address exterior drainage issues, such as ensuring gutters and downspouts are directing water away from the foundation and maintaining proper grading around the home.
2. Seal any visible cracks or gaps in the foundation using an appropriate waterproofing sealant.
3. Consider installing additional waterproofing measures, such as an exterior waterproofing membrane, interior vapor barriers, or a drainage system (e.g., sump pump or French drain).
4. Monitor the area for recurring signs of seepage during periods of heavy rain or snowmelt.

Further evaluation by a foundation or waterproofing specialist is recommended to assess the extent of the seepage and determine appropriate long-term corrective actions.

Recommendation

Contact a qualified waterproofing contractor

### 10.4.2 Foundation



#### BASEMENT WINDOW MOISTURE SEEPAGE AT FOUNDATION WALL

Moisture staining and visible streaking were observed along the foundation wall beneath a basement window, indicating water intrusion around the lower section of the window assembly. This condition is often caused by inadequate exterior drainage, missing or compromised window well covers, failed or absent flashing, or sealant breakdown at the window perimeter. If not addressed, continued seepage can lead to interior damage, elevated humidity, and possible biological growth along concealed or finished wall areas. Recommend evaluation and corrective measures by a qualified contractor, which may include improving exterior drainage, resealing the window assembly, or adding a properly sized window well and cover.



## Recommendation

Contact a qualified waterproofing contractor

## 10.4.3 Foundation

**FOUNDATION, EXCESSIVE EFFLORESCENCE**

## ALL SIDES

Excessive efflorescence was observed on the foundation wall. Efflorescence appears as a white, powdery substance caused by moisture traveling through the wall and depositing salts on the surface. While it is typically not a structural issue, it indicates moisture infiltration, which can contribute to other problems such as weakening of mortar or concrete, potential biological growth, and long-term deterioration of the foundation.

## Recommendations:

1. Identify and address the source of moisture causing the efflorescence. This may involve improving exterior drainage, repairing downspouts, or addressing leaks in the foundation.
2. Remove the efflorescence using a dry brush or mild cleaning solution. Avoid using excessive water during cleaning, as this can worsen the moisture problem.
3. Consider applying a waterproofing sealant or membrane to the interior or exterior of the foundation to prevent further moisture penetration.
4. Monitor the area for recurring moisture issues and take corrective actions as needed.

Consultation with a waterproofing or foundation specialist is recommended to assess the extent of moisture infiltration and determine appropriate long-term solutions.

## Recommendation

Contact a qualified waterproofing contractor



# 11: ELECTRICAL

		IN	LI	MA	MD	SC
11.1	General Overview and Limitations of Electrical Component Inspection	X	X			
11.2	Service Panel Cabinet	X	X			
11.3	Service Grounding System	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

**General Overview and Limitations of Electrical Component Inspection: Location**  
Basement

**General Overview and Limitations of Electrical Component Inspection: Service Disconnect Location:**  
At Service Panel

**General Overview and Limitations of Electrical Component Inspection: Service Panel Ampacity:**  
100 amps

**General Overview and Limitations of Electrical Component Inspection: Distribution Pipe Bonding:**  
Pipes were bonded

**General Overview and Limitations of Electrical Component Inspection: Service Panel Type:**  
Load Center

**General Overview and Limitations of Electrical Component Inspection: Service Panel Manufacturer:**  
Square D

**General Overview and Limitations of Electrical Component Inspection: Electrical Service Conductors:**  
Overhead service

**General Overview and Limitations of Electrical Component Inspection: Service Disconnect Type:**  
Breaker

**General Overview and Limitations of Electrical Component Inspection: Type of Branch Wiring:**  
Unable To Determine (No Access/Missing Or Illegible Information)

## Service Panel Cabinet: Photo documentation



## Service Panel Cabinet: Development of Power Needs in Residential Homes

The list below is intended to be no more than a rough rule of thumb covering the average unimproved electrical supply over the last century, and would cover the average 1,500- to 2,000-square-foot home.

- 1900s to 1930s: 30-amp supply
- 1930s to 1950s: 60-amp supply
- 1950s to 1970s: 100-amp supply
- 1970s to 1980s: 150-amp supply
- 1980s to 2000s: 200-amp supply

Obviously, larger and more expensive homes have always required more power than the norm, and it is not unusual now to see 400+-amp services in high-end homes.

## Service Grounding System : Bonding of Components

The purpose of bonding is to ensure the electrical continuity of the fault current path, provide the capacity and ability to conduct safely any fault current likely to be imposed, and to aid in the operation of the over-current protection device.

The panel enclosures need to be bonded to the grounding system. But there is also a very long list of other components that need to be connected to ground, since they have the potential to become energized to electrical faults. These components include:

- interior water piping;
- water heaters;
- around water meters;
- gas lines;
- electrical enclosures;
- electrical raceways;
- electric outlets or junction boxes;
- CSST gas piping (manufacturer's compliance); and
- telephone and cable TV systems.

## Limitations

---

General Overview and Limitations of Electrical Component Inspection

### **LIMITED INSPECTION, OCCUPANTS BELONGINGS**

#### INTERIOR ROOMS

The property was occupied at the time of inspection, and personal belongings, furniture, or stored items limited access to certain areas. As a result, a full visual inspection of all components and systems in these areas was not possible. Gold Shield Inspections cannot be held liable for any defects or issues that may exist in these inaccessible areas. We recommend a thorough review of these areas once they are cleared of belongings.

# 12: HVAC

		IN	LI	MA	MD	SC
12.1	General Overview and Limitations of HVAC Inspection	X				
12.2	Ductwork	X	X	X		
12.3	Central Air Conditioner	X	X	X		
12.4	Furnace	X		X		
12.5	Combustion Gas Vent (Chimney)	X	X			

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

**Ductwork: Air Filter Location:**  
Behind sliding panel at furnace

**Ductwork: Air Filter Size**  
16X25x1

**Central Air Conditioner: System Brand:**  
York

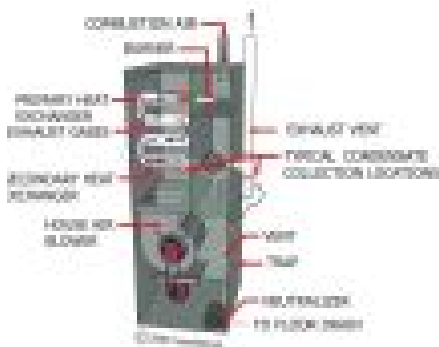
**Central Air Conditioner: System Date**  
2003

**Furnace: System Brand:**  
Amana

**Furnace: System Date**  
1990s

**Furnace: Combustion Air, Condensing High-Efficiency Furnace**

CONDENSATION IN A HIGH-EFFICIENCY FURNACE



High efficiency furnace

### General Overview and Limitations of HVAC Inspection: Homeowner's Responsibility

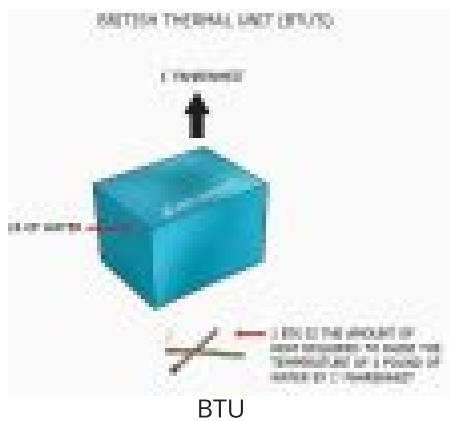
Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

We highly recommend yearly maintenance inspections on all HVAC equipment. This has the ability to extend the life of the equipment and ensure proper functionality. These inspections are very cost effective and should be part of your yearly maintenance plan. Contact a local HVAC company and set up your yearly inspection today.

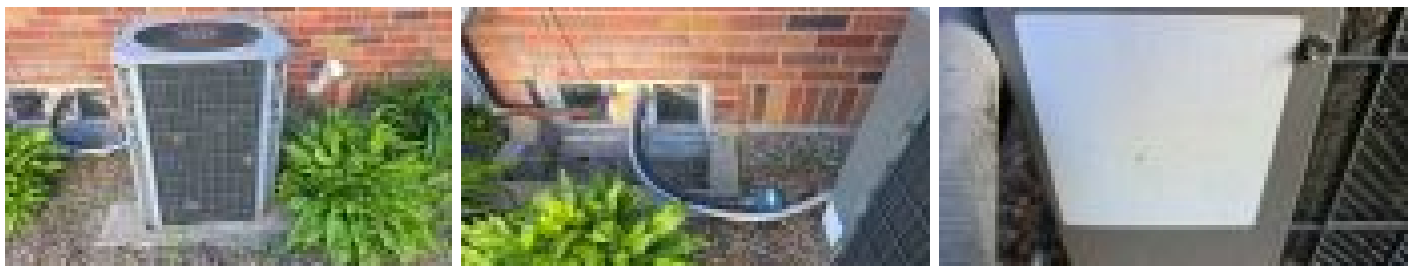


### General Overview and Limitations of HVAC Inspection: BTU's (British Thermal Unit)

In heating and cooling we use the term BTU which is the amount of heat required to raise the temperature of 1 pound of water by 1 degree fahrenheit.

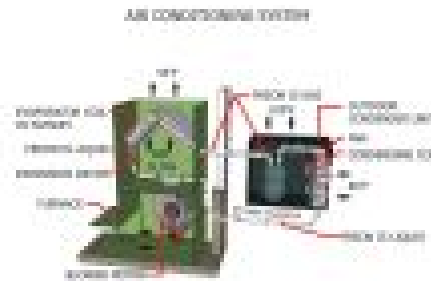
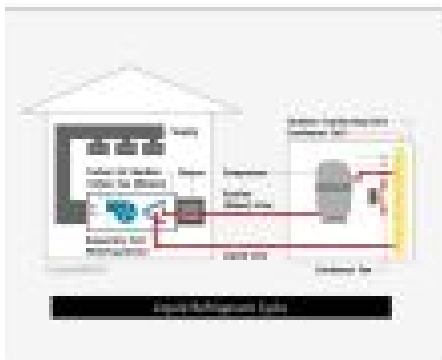


### Central Air Conditioner: Photo documentation



## Central Air Conditioner: A/C, Split System Components

A split air conditioning system is a common residential cooling setup consisting of two main units: an indoor unit and an outdoor unit. The outdoor unit contains the compressor, condenser coil, and fan, which work together to release heat from the home. The indoor unit houses the evaporator coil and air handler, which absorb heat from the indoor air and circulate cooled air through the home. Refrigerant lines connect the two units, transferring heat between them. A thermostat controls the system, regulating cooling cycles. Regular maintenance, such as changing filters and cleaning coils, helps keep the system efficient and prolongs its lifespan.



air conditioning system

## Central Air Conditioner: Recommended Yearly Maintenance

Yearly HVAC maintenance is key to efficiency, reliability, and longevity. Neglecting it can lead to higher energy costs, poor performance, and unexpected breakdowns.

Benefits of Regular Maintenance:

- Energy Efficiency: Clean filters, coils, and fans improve performance and lower utility bills.
- Longer Lifespan: Prevents excessive wear, reducing costly replacements.
- Better Air Quality: Replacing filters and cleaning components reduces allergens and pollutants.
- Fewer Breakdowns: Early detection of issues prevents major failures and emergency repairs.
- Warranty Protection: Many manufacturers require routine maintenance to keep warranties valid.
- Consistent Comfort: Ensures reliable heating and cooling year-round.
- Eco-Friendly: Efficient systems use less energy and reduce environmental impact.

What Maintenance Includes:

- Cleaning coils, filters, and ducts.
- Testing system performance and refrigerant levels.
- Lubricating moving parts and tightening connections.
- Clearing condensation drains to prevent water damage.

Recommendation:

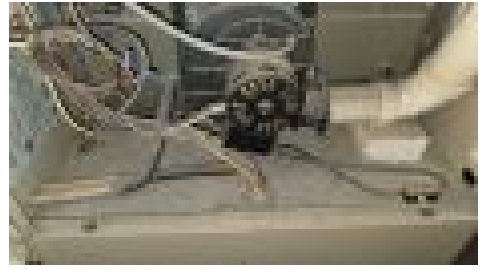
Schedule HVAC maintenance annually—spring for cooling systems and fall for heating—to maximize performance and prevent costly repairs. Investing in routine service ensures comfort, efficiency, and long-term savings.

The below listed company has been proven to keep their technicians exceptionally trained as well as they hold all the needed insurance and bonding. We believe they provide a great service consistently to their clients in East Central Iowa.



319-208-2159

### Furnace: Photo documentation



## Furnace: Recommend Yearly Maintenance

Yearly HVAC maintenance is key to efficiency, reliability, and longevity. Neglecting it can lead to higher energy costs, poor performance, and unexpected breakdowns.

Benefits of Regular Maintenance:

- Energy Efficiency: Clean filters, coils, and fans improve performance and lower utility bills.
- Longer Lifespan: Prevents excessive wear, reducing costly replacements.
- Better Air Quality: Replacing filters and cleaning components reduces allergens and pollutants.
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What Maintenance Includes:

- Cleaning coils, filters, and ducts.
- Testing system performance and refrigerant levels.
- Lubricating moving parts and tightening connections.
- Clearing condensation drains to prevent water damage.

Recommendation:

Schedule HVAC maintenance annually—spring for cooling systems and fall for heating—to maximize performance and prevent costly repairs. Investing in routine service ensures comfort, efficiency, and long-term savings.

The below listed company has been proven to keep their technicians exceptionally trained as well as they hold all the needed insurance and bonding. We believe they provide a great service consistently to their clients in East Central Iowa.



**319-208-2159**

## Furnace: Disclaim Heat Exchanger

The heat exchanger within the furnace was not disassembled, inspected, or pressure tested during this home inspection. A standard home inspection is a visual and functional evaluation and does not include invasive or technically exhaustive testing of HVAC components. Detecting defects such as cracks or holes in the heat exchanger requires specialized equipment and procedures, which are beyond the scope of this inspection.

Heat exchanger damage, if present, may pose safety risks, including the potential for carbon monoxide (CO) leakage. To mitigate these risks, it is recommended that:

- The heat exchanger be further evaluated by a licensed HVAC technician, especially if the furnace is older, has not been serviced recently, or exhibits signs of improper operation.
- Carbon monoxide detectors be installed in key areas of the home, such as near sleeping areas and on each level of the home, to monitor for CO and alert occupants to dangerous conditions.
- The furnace and HVAC system receive regular professional maintenance to ensure safe and efficient operation.

Taking these preventative measures helps to protect the safety and well-being of the home's occupants and ensures that the HVAC system operates as intended.

## Limitations

## Ductwork

**LIMITED INSPECTION, DUCTWORK**

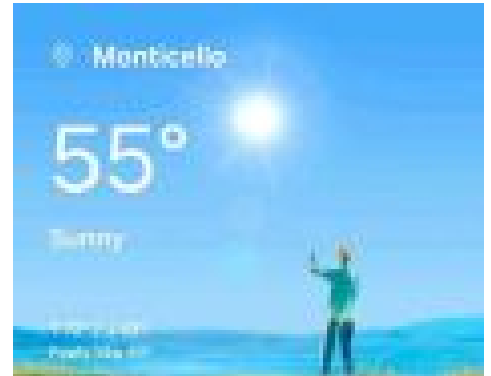
During a standard residential home inspection we observe all duct work that is visible. We are unable to fully inspect any ductwork that is behind finished ceilings, walls and floors. These areas are not accessible without specialized equipment and should be considered not inspected.

## Central Air Conditioner

**LIMITED INSPECTION, TEMP BELOW 65**

Limited Inspection on the central air conditioning system. The central air conditioning system was not tested during the inspection due to outdoor temperatures being below 65°F. Operating an air conditioning system in cooler weather can potentially cause damage to the compressor, as the system is designed to function optimally under warmer conditions. Running the system when it is too cold may result in improper lubrication of the compressor and can lead to system failure.

For accurate testing and evaluation of the air conditioning system, it is recommended to operate the system only when outdoor temperatures are consistently above 65°F for at least 24 hours. If further evaluation is needed, testing should be conducted under appropriate conditions by a qualified HVAC technician.

**Deficiency**

## 12.2.1 Ductwork

**DUCTWORK, RECOMMEND CLEANING**

Visible accumulation of dust, debris, or potential biological growth inside the ductwork was observed. Contaminated ductwork can negatively impact indoor air quality and may exacerbate respiratory conditions for occupants. Cleaning the ductwork by a certified HVAC professional is recommended to improve air quality and system hygiene. Additionally, installing or maintaining air filters can help reduce future contamination.

- pets
- occupants with allergies or asthma
- cigarette or cigar smoke
- water contamination or damage to the home or HVAC system
- home renovation or remodeling projects

Some occupants are more sensitive to these contaminants than others. Allergy and asthma sufferers, as well as young children and the elderly tend to be more susceptible to the types of poor indoor air quality that air duct cleaning can help address.

NADCA's rule of thumb for consumers is that if your air ducts look dirty, they probably are, and that dirty HVAC systems should be inspected by a reputable, certified HVAC professional. Below are some other reasons homeowners choose to have their air ducts cleaned.

Recommend that all new home owners contact a qualified HVAC duct cleaning service.

## Recommendation

Contact a qualified professional.

12.2.2 Ductwork

 Maintenance or Low Priority

**DUCTWORK, POSSIBLE ASBESTOS**

The ductwork in the home was observed to have material that may potentially contain asbestos. Asbestos was commonly used in insulation and duct sealing materials in older homes due to its heat resistance and durability. However, asbestos is a hazardous material that can pose serious health risks if disturbed, as airborne asbestos fibers can be inhaled and lead to respiratory illnesses, including asbestosis, lung cancer, or mesothelioma.

It is important to avoid disturbing the material until its composition has been verified. Testing by a licensed asbestos professional is strongly recommended to determine if the material contains asbestos. If asbestos is confirmed, remediation or encapsulation should be performed by a qualified contractor in accordance with local regulations and safety guidelines.

In the meantime, occupants should refrain from disturbing the ductwork or performing any DIY repairs in this area to prevent the potential release of asbestos fibers. Ensuring the material is safely managed will protect the home's indoor air quality and the health of its occupants.

Recommendation

Contact a qualified professional.



12.3.1 Central Air Conditioner

**A/C, BEYOND AVERAGE DESIGN LIFE OF 15 YEARS**

 Maintenance or Low Priority



This A/C unit was beyond its average design life of 15 years. The Inspector recommends yearly service by a qualified HVAC technician to ensure that it is in the best possible working condition. Yearly maintenance can extend the life of the components. Unless otherwise noted the unit was operating and in good condition at the time of the inspection.

An air conditioning (A/C) unit is considered to be past its design life when it has exceeded the expected operational lifespan typically determined by the manufacturer. Most residential A/C units are designed to last 10 to 15 years under normal operating conditions and with regular maintenance. However, this lifespan can vary based on factors such as usage, climate, and maintenance practices.

When an A/C unit is past its design life, it often means:

1. **Decreased Efficiency:** Over time, components wear down, reducing the unit's ability to cool efficiently. This can lead to higher energy consumption and increased utility costs.
2. **Frequent Repairs:** Older units are more prone to breakdowns, requiring frequent and costly repairs as parts become worn or fail completely.
3. **Outdated Technology:** Newer A/C units often have improved energy efficiency and environmental features, such as higher SEER (Seasonal Energy Efficiency Ratio) ratings and eco-friendly refrigerants. Older systems may lack these advancements.
4. **Increased Risk of Failure:** Aging systems are at a higher risk of complete failure, particularly during peak usage periods, such as hot summer months.
5. **Refrigerant Issues:** Many older units rely on refrigerants like R-22 (Freon), which have been phased out due to environmental concerns. Servicing these systems can be expensive or impossible if the refrigerant is no longer available.

Recommendations:

- **Proactive Replacement:** Replacing an A/C unit before it fails can prevent unexpected breakdowns and ensure continued comfort. Modern systems often provide significant energy savings and may qualify for rebates or incentives.
- **Professional Evaluation:** A licensed HVAC technician can assess the system's condition, determine its remaining useful life, and recommend whether repair or replacement is the best option.

While an A/C unit past its design life may still function, its performance, reliability, and efficiency are likely to decline, making replacement a practical and cost-effective solution in the long term.

Recommendation

Contact a qualified HVAC professional.

12.4.1 Furnace

## **FURNACE, EQUIPMENT DESIGN LIFE**



The furnace was observed to be beyond its typical design life, which is generally 15-20 years for most residential systems. While the furnace may still be operational, components can become less reliable and efficient over time, leading to increased energy consumption and a higher likelihood of breakdowns. Aging furnaces may also lack modern safety and energy-efficient features found in newer models.

Key concerns for older furnaces include:

- **Reduced Efficiency:** Older systems may operate at a significantly lower efficiency compared to modern furnaces, increasing heating costs.
- **Component Wear:** Critical components such as the heat exchanger, blower motor, and burners may be at risk of failure.
- **Safety Risks:** Older heat exchangers are more prone to cracks or corrosion, which could potentially lead to carbon monoxide leakage.

Recommendations:

- A licensed HVAC technician should evaluate the furnace to assess its condition and determine whether repairs or replacement are warranted.
- If replacement is necessary, consider upgrading to a high-efficiency furnace with modern safety and performance features, which may also qualify for energy rebates or incentives.
- Installing carbon monoxide detectors near the furnace and sleeping areas is strongly advised to ensure occupant safety.

Proactively addressing an aging furnace can help improve energy efficiency, enhance comfort, and reduce the risk of unexpected system failure.



#### 12.4.2 Furnace

### **FURNACE, RECOMMEND SERVICE DUE TO FLAME COLOR**



Maintenance or Low Priority



The furnace was observed to have an orange flame, which may indicate improper combustion. A properly functioning furnace typically has a steady, blue flame, which signifies clean and efficient burning of fuel. An orange or yellow flame can suggest incomplete combustion, which may result in the production of carbon monoxide, a dangerous and potentially life-threatening gas.

Possible causes of an orange flame include:

- **Dirty Burner:** Accumulated dirt, debris, or soot on the burner can disrupt the combustion process.
- **Improper Air-to-Fuel Ratio:** A lack of sufficient oxygen can cause incomplete fuel combustion.
- **Clogged Air Intake or Vents:** Blockages in the furnace's air supply can affect the flame's appearance and efficiency.
- **Gas Pressure Issues:** Incorrect gas pressure can lead to improper flame color and combustion.

Recommendations:

- Immediately have the furnace inspected and serviced by a licensed HVAC technician to identify and address the underlying cause.
- Install carbon monoxide detectors near the furnace and in key areas of the home to monitor for unsafe conditions.
- Avoid operating the furnace until it has been professionally evaluated and deemed safe to use.

Prompt attention to an orange flame is essential for ensuring safe furnace operation and protecting the health and safety of the home's occupants.

Recommendation

Contact a qualified HVAC professional.

# 13: RADON IN IOWA

		IN	LI	MA	MD	SC
13.1	Radon Information	X				

IN = Inspected    LI = Limited Inspection    MA = Marginal    MD = Material Defect    SC = Safety Concern

## Information

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**Radon Information: Was Radon Tested At This Property?**

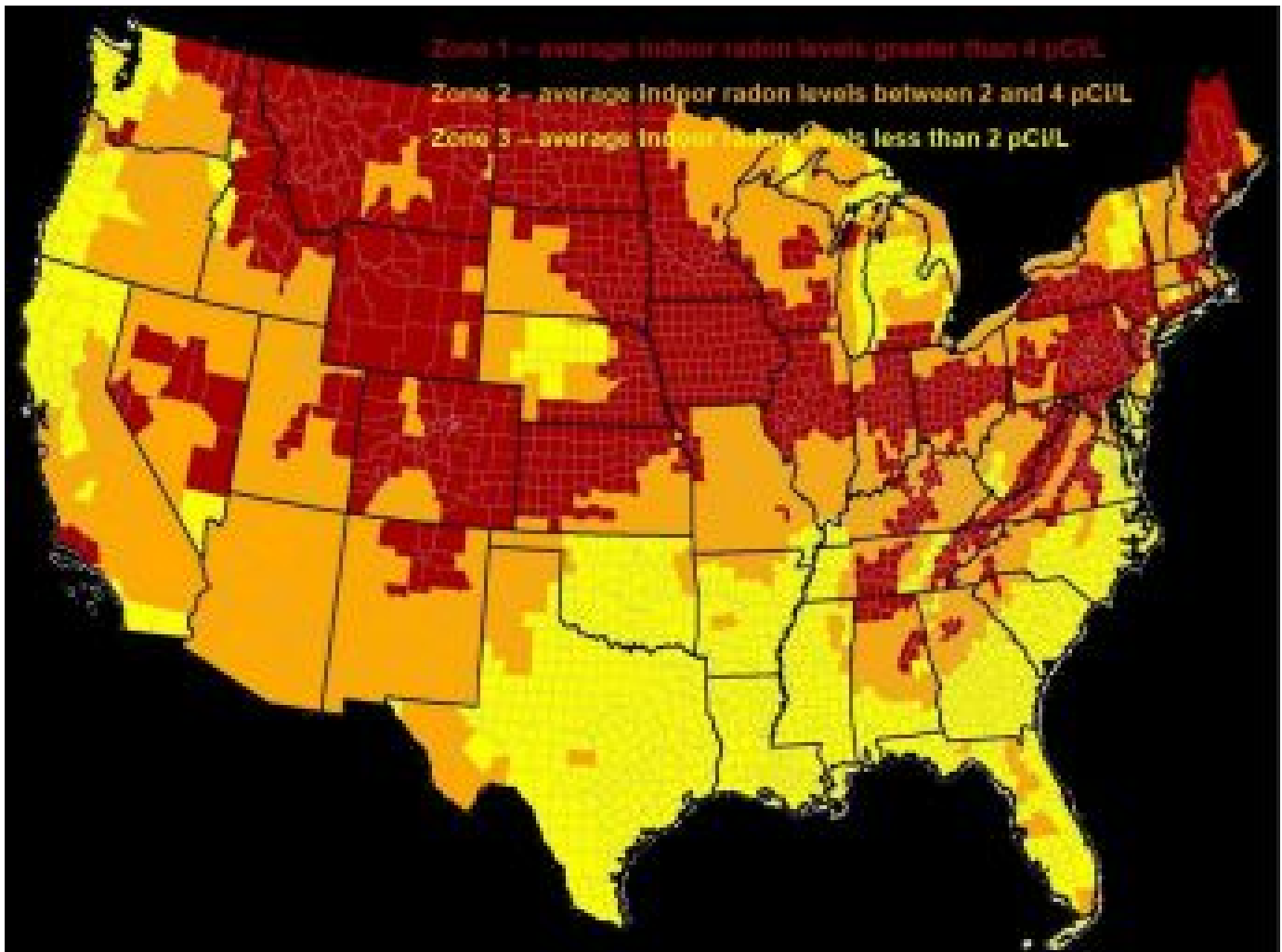
No

## Radon Information: Why Should You Have Your Home Tested In Iowa?

### What does EPA recommend?

- If you are buying a home or selling your home, have it tested for radon.
- For a new home, ask if radon-resistant construction features were used and if the home has been tested.
- Fix the home if the radon level is 4 picocuries per liter, or pCi/L, or higher.
- Radon levels less than 4 pCi/L still pose a risk, and in many cases, may be reduced.
- Take steps to prevent device interference when conducting a radon test.

The Iowa Radon Survey has indicated that Iowa has the largest percentage (or 71.6%) of homes above the US Environmental Protection Agency action level of 4pCi/L. It is also designated by the US EPA as an entirely zone 1 state, which means that at least 50% of the homes are above US EPA's recommended action level.

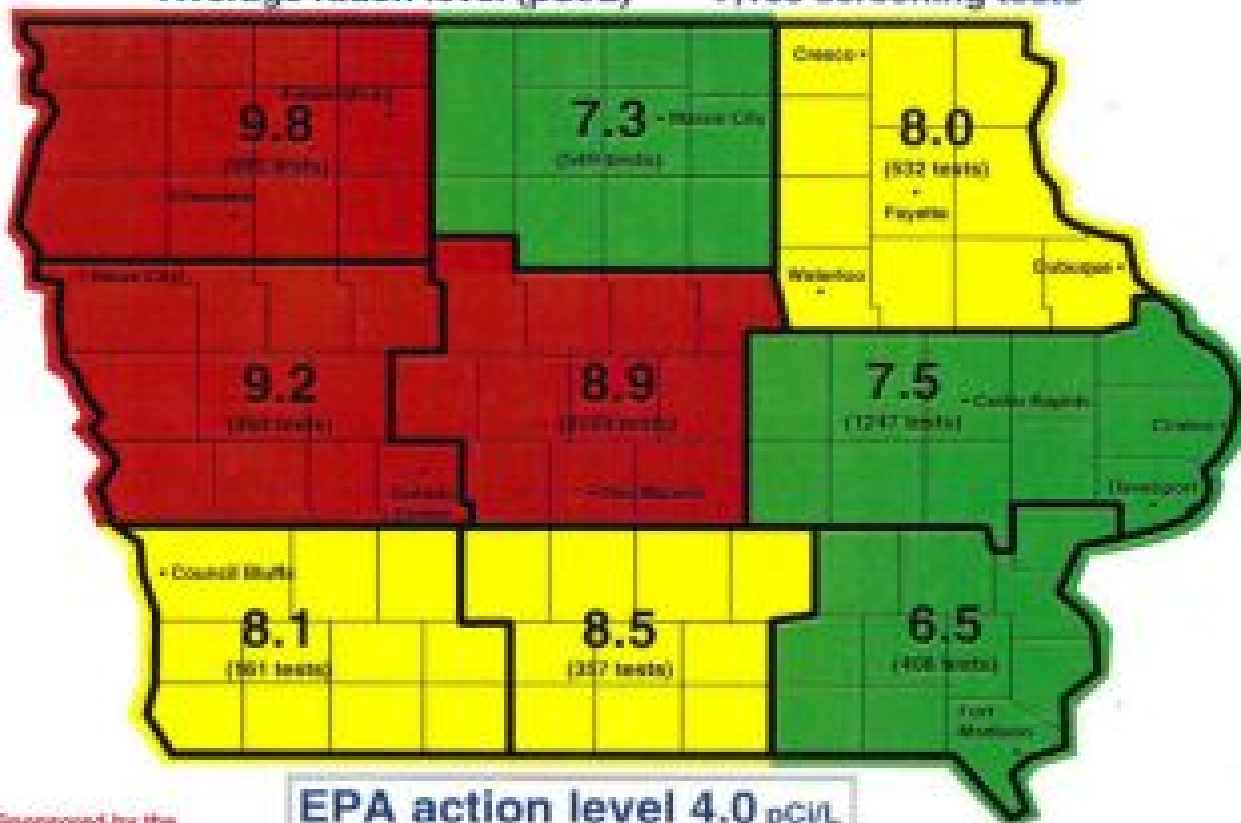


### But I Don't Have a Basement

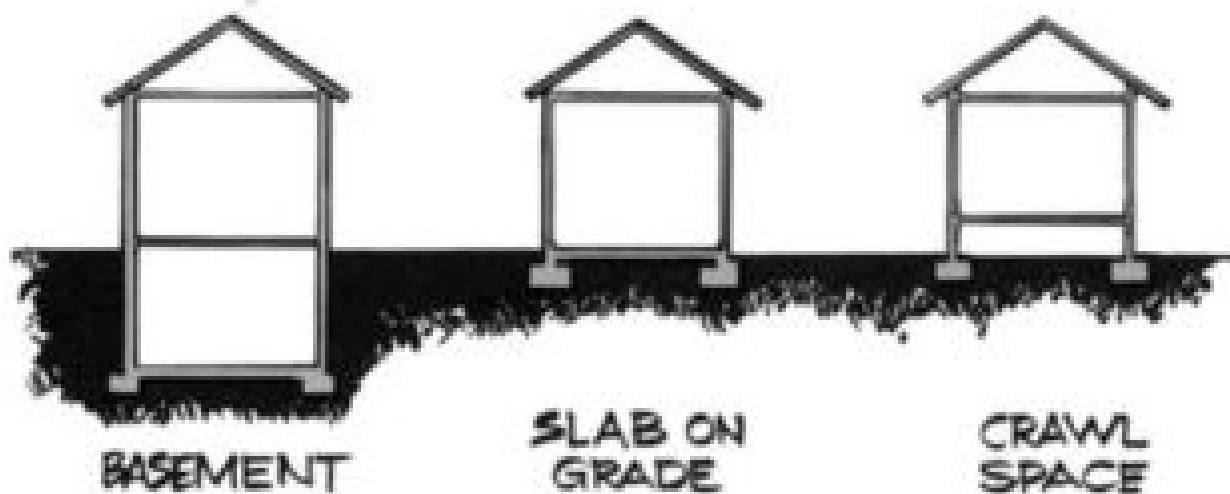
ANY building in contact with the ground can have elevated radon levels.

# RADON IN IOWA

Average radon level (pCi/L) 7,100 screening tests



Sponsored by the Iowa Radon Coalition

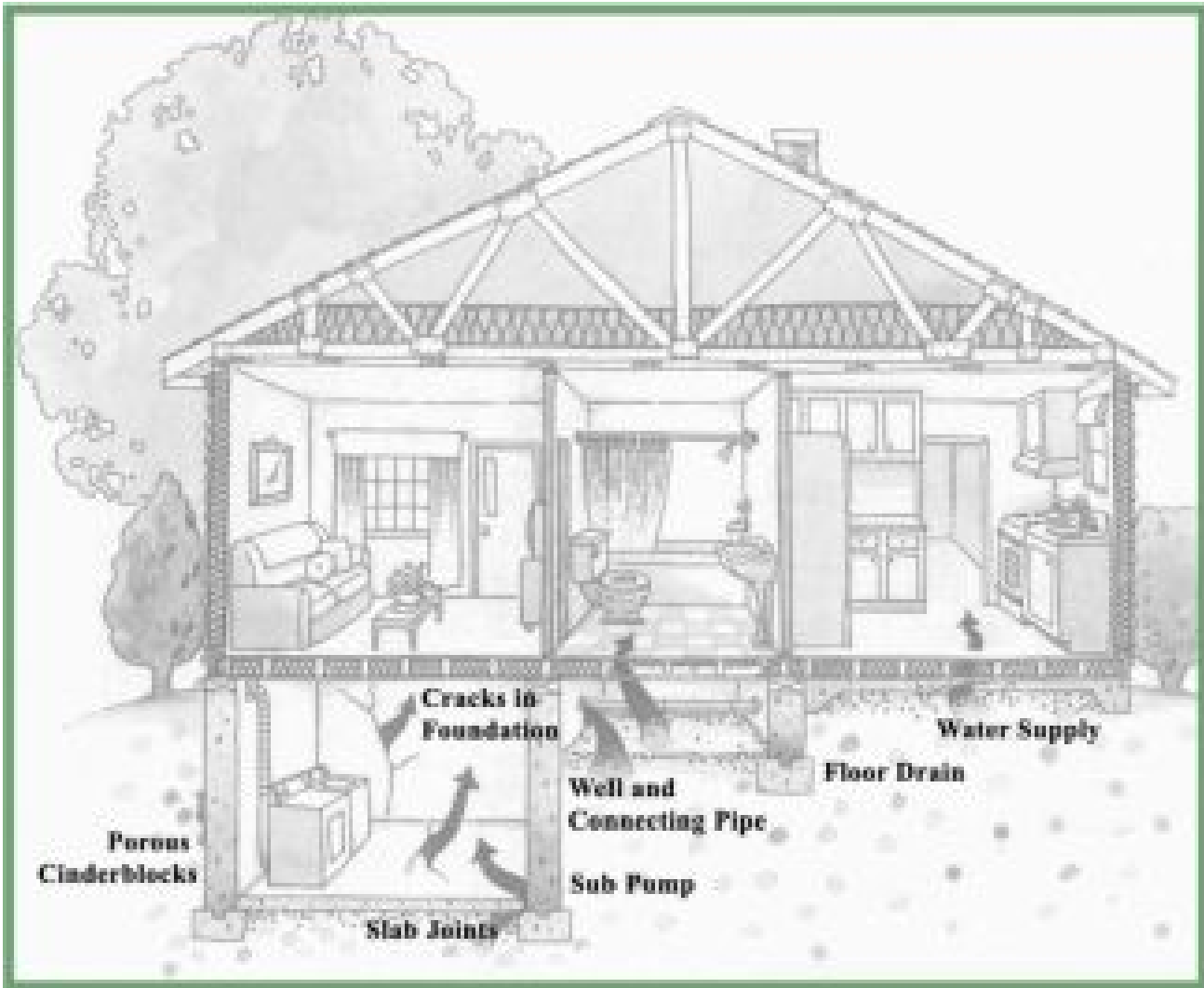


**How does radon enter homes?**

- Radon enters homes through cracks and

openings in the foundation.

• Radon enters homes through unsealed sump pumps, and concrete cold joints. Homes have lower air pressure than the surrounding soil. This creates a vacuum effect allowing radon to enter the home even through hairline cracks.



Gold Shield

Inspections offers Radon testing at \$125 for all single point testing.



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# STANDARDS OF PRACTICE

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## Inspection Details

Gold Shield Inspections follows InterNACHI Standards of Practice

### Roof Systems

#### 3.1. Roof

I. The inspector shall inspect from ground level or the eaves:

- A. the roof-covering materials;
- B. the gutters;
- C. the downspouts;
- D. the vents, flashing, skylights, chimney, and other roof penetrations; and
- E. the general structure of the roof from the readily accessible panels, doors or stairs.

II. The inspector shall describe:

- A. the type of roof-covering materials.

III. The inspector shall report as in need of correction:

- A. observed indications of active roof leaks.

IV. The inspector is not required to:

- A. walk on any roof surface.
- B. predict the service life expectancy.
- C. inspect underground downspout diverter drainage pipes.
- D. remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces.
- E. move insulation.
- F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments.
- G. walk on any roof areas that appear, in the inspectors opinion, to be unsafe.
- H. walk on any roof areas if doing so might, in the inspectors opinion, cause damage.
- I. perform a water test.
- J. warrant or certify the roof.
- K. confirm proper fastening or installation of any

roof-covering material.

## Exterior

### 3.2. Exterior

#### I. The inspector shall inspect:

- A. the exterior wall-covering materials, flashing and trim;
- B. all exterior doors;
- C. adjacent walkways and driveways;
- D. stairs, steps, stoops, stairways and ramps;
- E. porches, patios, decks, balconies and carports;
- F. railings, guards and handrails;
- G. the eaves, soffits and fascia;
- H. a representative number of windows; and

I. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

#### II. The inspector shall describe:

- A. the type of exterior wall-covering materials.

#### III. The inspector shall report as in need of correction:

- A. any improper spacing between intermediate balusters, spindles and rails.

#### IV. The inspector is not required to:

- A. inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting.
- B. inspect items that are not visible or readily accessible from the ground, including window and door flashing.
- C. inspect or identify geological, geotechnical, hydrological or soil conditions.
- D. inspect recreational facilities or playground equipment.
- E. inspect seawalls, breakwalls or docks.
- F. inspect erosion-control or earth-stabilization measures.
- G. inspect for safety-type glass.
- H. inspect underground utilities.
- I. inspect underground items.
- J. inspect wells or springs.
- K. inspect solar, wind or geothermal systems.
- L. inspect swimming pools or spas.
- M. inspect wastewater treatment systems, septic systems or cesspools.
- N. inspect irrigation or sprinkler systems.
- O. inspect drainfields or dry wells.
- P. determine the integrity of multiple-pane window glazing or thermal window seals.

## Garage

Gold Shield Inspections follows InterNACHI Standards of Practice

## Attic

### 3.9. Attic, Insulation & Ventilation

#### I. The inspector shall inspect:

- A. insulation in unfinished spaces, including attics, crawlspaces and foundation areas;
- B. ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and
- C. mechanical exhaust systems in the kitchen, bathrooms and laundry area.

#### II. The inspector shall describe:

- A. the type of insulation observed; and

- B. the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.
- III. The inspector shall report as in need of correction:
  - A. the general absence of insulation or ventilation in unfinished spaces.
- IV. The inspector is not required to:
  - A. enter the attic or any unfinished spaces that are not readily accessible, or where entry could cause damage or, in the inspector's opinion, pose a safety hazard.
  - B. move, touch or disturb insulation.
  - C. move, touch or disturb vapor retarders.
  - D. break or otherwise damage the surface finish or weather seal on or around access panels or covers.
  - E. identify the composition or R-value of insulation material.
  - F. activate thermostatically operated fans.
  - G. determine the types of materials used in insulation or wrapping of pipes, ducts, jackets, boilers or wiring.
  - H. determine the adequacy of ventilation.

## **Kitchen**

[Gold Shield Inspections follows InterNACHI Standards of Practice](#)

## **Bathrooms**

[Gold Shield Inspections follows InterNACHI Standards of Practice](#)

## **Interior**

### 3.10. Doors, Windows & Interior

- I. The inspector shall inspect:
  - A. a representative number of doors and windows by opening and closing them;
  - B. floors, walls and ceilings;
  - C. stairs, steps, landings, stairways and ramps;
  - D. railings, guards and handrails; and
  - E. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.
- II. The inspector shall describe:
  - A. a garage vehicle door as manually-operated or installed with a garage door opener.
- III. The inspector shall report as in need of correction:
  - A. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings;
  - B. photo-electric safety sensors that did not operate properly; and
  - C. any window that was obviously fogged or displayed other evidence of broken seals.
- IV. The inspector is not required to:
  - A. inspect paint, wallpaper, window treatments or finish treatments.
  - B. inspect floor coverings or carpeting.
  - C. inspect central vacuum systems.
  - D. inspect for safety glazing.
  - E. inspect security systems or components.
  - F. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures.
  - G. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
  - H. move suspended-ceiling tiles.
  - I. inspect or move any household appliances.
  - J. inspect or operate equipment housed in the

garage, except as otherwise noted.

K. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.

L. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.

M. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.

N. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.

O. inspect microwave ovens or test leakage from microwave ovens.

P. operate or examine any sauna, steamgenerating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.

Q. inspect elevators.

R. inspect remote controls.

S. inspect appliances.

T. inspect items not permanently installed.

U. discover firewall compromises.

V. inspect pools, spas or fountains.

W. determine the adequacy of whirlpool or spa jets, water force, or bubble effects.

X. determine the structural integrity or leakage of pools or spas.

## Plumbing

### 3.6. Plumbing

I. The inspector shall inspect:

A. the main water supply shut-off valve;

B. the main fuel supply shut-off valve;

C. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;

D. interior water supply, including all fixtures and faucets, by running the water;

E. all toilets for proper operation by flushing;

F. all sinks, tubs and showers for functional drainage;

G. the drain, waste and vent system; and

H. drainage sump pumps with accessible floats.

II. The inspector shall describe:

A. whether the water supply is public or private based upon observed evidence;

B. the location of the main water supply shut-off valve;

C. the location of the main fuel supply shut-off valve;

D. the location of any observed fuel-storage system; and

E. the capacity of the water heating equipment, if labeled.

III. The inspector shall report as in need of correction:

A. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously;

B. deficiencies in the installation of hot and cold water faucets;

C. mechanical drain stops that were missing or did not operate if installed in sinks, lavatories and tubs; and

D. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate.

IV. The inspector is not required to:

- A. light or ignite pilot flames.
- B. measure the capacity, temperature, age, life expectancy or adequacy of the water heater.
- C. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems.
- D. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply.
- E. determine the water quality, potability or reliability of the water supply or source.
- F. open sealed plumbing access panels.
- G. inspect clothes washing machines or their connections.
- H. operate any valve.
- I. test shower pans, tub and shower surrounds or enclosures for leakage or functional overflow protection.
- J. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping.
- K. determine the effectiveness of anti-siphon, backflow prevention or drain-stop devices.
- L. determine whether there are sufficient cleanouts for effective cleaning of drains.
- M. evaluate fuel storage tanks or supply systems.
- N. inspect wastewater treatment systems.
- O. inspect water treatment systems or water filters.
- P. inspect water storage tanks, pressure pumps, or bladder tanks.
- Q. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.
- R. evaluate or determine the adequacy of combustion air.
- S. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves.
- T. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation.
- U. determine the existence or condition of polybutylene plumbing.
- V. inspect or test for gas or fuel leaks, or indications thereof.

## Structure

### 3.3. Basement, Foundation, Crawlspace & Structure

- I. The inspector shall inspect:
  - A. the foundation;
  - B. the basement;
  - C. the crawlspace; and
  - D. structural components.
- II. The inspector shall describe:
  - A. the type of foundation; and
  - B. the location of the access to the under-floor space.
- III. The inspector shall report as in need of correction:
  - A. observed indications of wood in contact with or near soil;
  - B. observed indications of active water penetration;
  - C. observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and
  - D. any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern.

- IV. The inspector is not required to:
- A. enter any crawlspace that is not readily accessible, or where entry could cause damage or pose a hazard to him/herself.
  - B. move stored items or debris.
  - C. operate sump pumps with inaccessible floats.
  - D. identify the size, spacing, span or location or determine the adequacy of foundation bolting, bracing, joists, joist spans or support systems.
  - E. provide any engineering or architectural service.
  - F. report on the adequacy of any structural system or component.

## Electrical

### 3.7. Electrical

- I. The inspector shall inspect:
- A. the service drop;
  - B. the overhead service conductors and attachment point;
  - C. the service head, gooseneck and drip loops;
  - D. the service mast, service conduit and raceway;
  - E. the electric meter and base;
  - F. service-entrance conductors;
  - G. the main service disconnect;
  - H. panelboards and over-current protection devices (circuit breakers and fuses);
  - I. service grounding and bonding;
  - J. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
  - K. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
  - L. smoke and carbon-monoxide detectors.
- II. The inspector shall describe:
- A. the main service disconnect's amperage rating, if labeled; and
  - B. the type of wiring observed.
- III. The inspector shall report as in need of correction:
- A. deficiencies in the integrity of the serviceentrance conductors insulation, drip loop, and vertical clearances from grade and roofs;
  - B. any unused circuit-breaker panel opening that was not filled;
  - C. the presence of solid conductor aluminum branch-circuit wiring, if readily visible;
  - D. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and
  - E. the absence of smoke detectors.
- IV. The inspector is not required to:
- A. insert any tool, probe or device into the main panelboard, sub-panels, distribution panelboards, or electrical fixtures.
  - B. operate electrical systems that are shut down.
  - C. remove panelboard cabinet covers or dead fronts.
  - D. operate or re-set over-current protection devices or overload devices.
  - E. operate or test smoke or carbon-monoxide detectors or alarms
  - F. inspect, operate or test any security, fire or alarms systems or components, or other warning or signaling systems.
  - G. measure or determine the amperage or voltage of the main service equipment, if not visibly

labeled.

H. inspect ancillary wiring or remote-control devices.

I. activate any electrical systems or branch circuits that are not energized.

J. inspect low-voltage systems, electrical de-icing tapes, swimming pool wiring, or any timecontrolled devices.

K. verify the service ground.

L. inspect private or emergency electrical supply sources, including, but not limited to: generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility.

M. inspect spark or lightning arrestors.

N. inspect or test de-icing equipment.

O. conduct voltage-drop calculations.

P. determine the accuracy of labeling.

Q. inspect exterior lighting.

## **HVAC**

### **3.4. Heating**

I. The inspector shall inspect:

A. the heating system, using normal operating controls.

II. The inspector shall describe:

A. the location of the thermostat for the heating system;

B. the energy source; and

C. the heating method.

III. The inspector shall report as in need of correction:

A. any heating system that did not operate; and

B. if the heating system was deemed inaccessible.

IV. The inspector is not required to:

A. inspect or evaluate the interior of flues or chimneys, fire chambers, heat exchangers, combustion air systems, fresh-air intakes, humidifiers, dehumidifiers, electronic air filters, geothermal systems, or solar heating systems.

B. inspect fuel tanks or underground or concealed fuel supply systems.

C. determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system.

D. light or ignite pilot flames.

E. activate heating, heat pump systems, or other heating systems when ambient temperatures or other circumstances are not conducive to safe operation or may damage the equipment.

F. override electronic thermostats.

G. evaluate fuel quality.

H. verify thermostat calibration, heat anticipation, or automatic setbacks, timers, programs or clocks.

### **3.5. Cooling**

I. The inspector shall inspect:

A. the cooling system, using normal operating controls.

II. The inspector shall describe:

A. the location of the thermostat for the cooling system; and

B. the cooling method.

III. The inspector shall report as in need of correction:

A. any cooling system that did not operate; and

B. if the cooling system was deemed inaccessible.

IV. The inspector is not required to:

A. determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system.

B. inspect portable window units, through-wall units, or electronic air filters.

C. operate equipment or systems if the exterior temperature is below 65 Fahrenheit, or when

other circumstances are not conducive to safe operation or may damage the equipment.

D. inspect or determine thermostat calibration, cooling anticipation, or automatic setbacks or clocks.

E. examine electrical current, coolant fluids or gases, or coolant leakage.