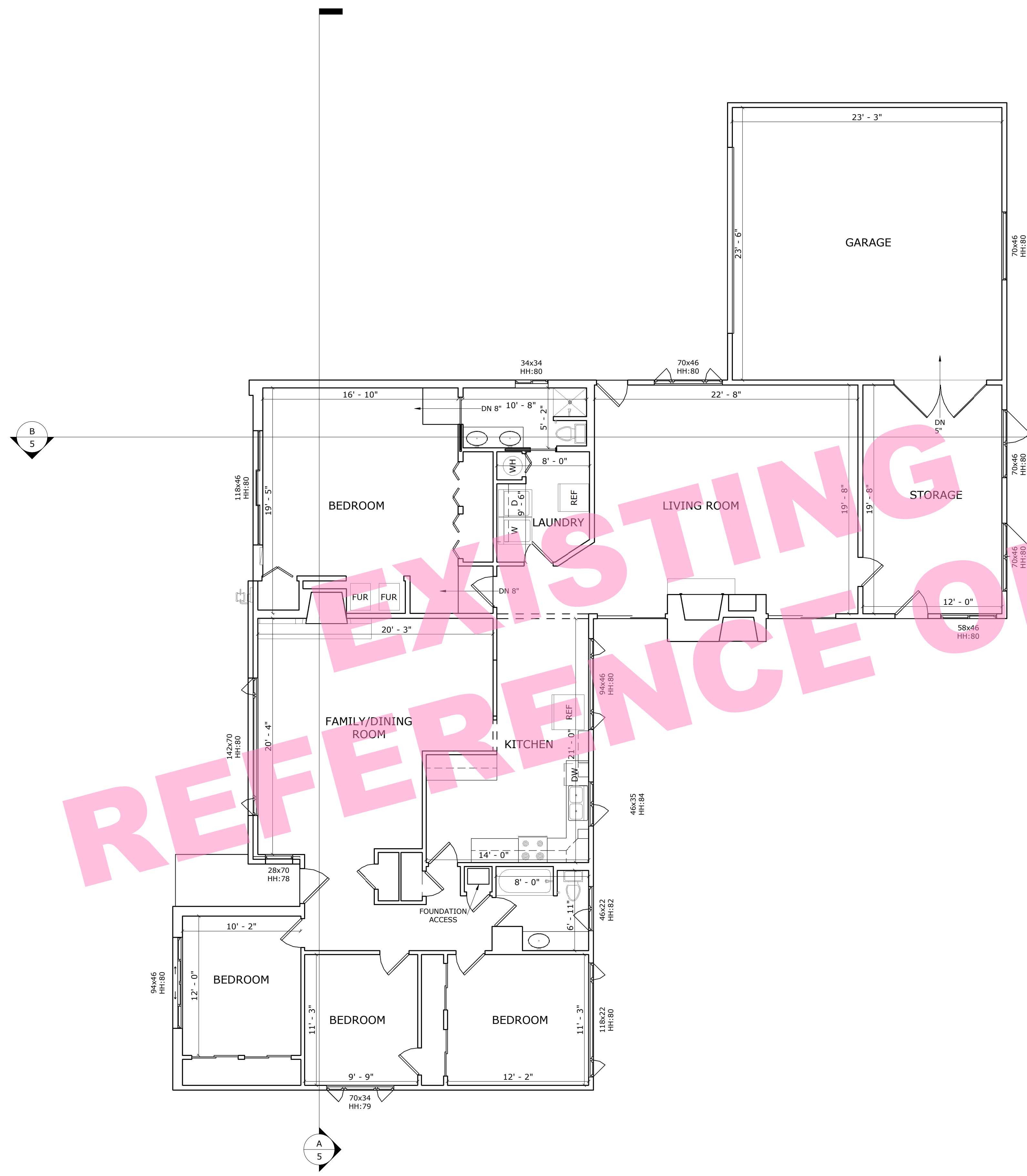


LEGEND					
[Symbol]	= RANGE	[Symbol]	= TANKLESS WATER HEATER	[Symbol]	= SOLAR COMPONENTS
[Symbol]	= LOW CASEWORK	[Symbol]	= REFRIGERATOR	[Symbol]	= WATER HEATER
[Symbol]	= UPPER CASEWORK	[Symbol]	= OVEN	[Symbol]	= WATER SOFTNER
[Symbol]	= FULL HEIGHT CASEWORK	[Symbol]	= W/D = WASHER/DRYER COMBO	[Symbol]	= FLOOR DRAIN
[Symbol]	= W = WASHER	[Symbol]	= D = DRYER	[Symbol]	= DW = DISH WASHER
[Symbol]	= TC = TRASH COMPACTOR	[Symbol]	= FUR = FURNACE	[Symbol]	= GAS METER
[Symbol]	= E.P. = ELECTRICAL PANEL	[Symbol]	= W.H. = WALL HEATER	[Symbol]	= D.P. = DATUM POINT
[Symbol]	= CLG = CEILING HEIGHT	[Symbol]	= HH = HEADER HEIGHT	[Symbol]	= E.M. = ELECTRIC METER



EXISTING ONLY
REFERENCE ONLY



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LEGEND			
[Symbol]	= HVAC SUPPLY VENT	[Symbol]	= FLUORESCENT LIGHT
[Symbol]	= SOFFIT LINE	[Symbol]	= HVAC RETURN VENT
[Symbol]	= BEAM LINE	[Symbol]	= TRACK LIGHTING
[Symbol]	= CEILING DUPLEX	[Symbol]	= CEILING MOUNTED FIXTURE
[Symbol]	= CEILING QUADRUPLEX	[Symbol]	= MISC. EQUIPMENT
[Symbol]	= COVER PLATE	[Symbol]	= RECESSED FIXTURE
[Symbol]	= ROUND SPEAKER	[Symbol]	= EXHAUST FAN w/o LIGHT
[Symbol]	= SQUARE SPEAKER	[Symbol]	= EXHAUST FAN w/ LIGHT
[Symbol]		[Symbol]	= HANGING FIXTURE
[Symbol]		[Symbol]	= WALL MOUNTED FIXTURE
[Symbol]		[Symbol]	= CEILING FAN w/o LIGHT
[Symbol]		[Symbol]	= CEILING FAN w/ LIGHT
[Symbol]		[Symbol]	= CEILING HATCH
[Symbol]		[Symbol]	= CEILING J-BOX
[Symbol]		[Symbol]	= MOTION DETECTOR
[Symbol]		[Symbol]	= SECURITY CAMERA
[Symbol]		[Symbol]	= WIFI BOOSTER
[Symbol]		[Symbol]	= GARAGE DOOR OPENER
[Symbol]		[Symbol]	= EMERGENCY DETECTOR
[Symbol]		[Symbol]	= STROBE LIGHT
[Symbol]		[Symbol]	= SPRINKLER
[Symbol]		[Symbol]	= EMERGENCY LIGHT w/o EXIT
[Symbol]		[Symbol]	= EMERGENCY LIGHT w/ EXIT
[Symbol]		[Symbol]	= CEILING SHOWER HEAD
[Symbol]		[Symbol]	= EXIT SIGN
[Symbol]		[Symbol]	= DATUM POINT



EXISTING ONLY

REFERENCE ONLY



PREPARED FOR
**KEN & PHEBE
KEN CHU**

PROJECT NAME
**4332 W MERCER WAY PROJECT
MERCER ISLAND, WA**

PLAN TYPE
1ST FLOOR RCP

ALL SITE PLANS CREATED BY PRECISION PROPERTY MEASUREMENT LTD "PPM" ARE MADE EXCLUSIVELY FOR LANDSCAPING PURPOSES (CAL. BUS. & PROF. CODE §8727), AND DO NOT INVOLVE THE DETERMINATION OF ANY PROPERTY LINE, AND AS SUCH DO NOT CONSTITUTE LAND SURVEYING (CAL. BUS. & PROF. CODE §§8726-8727). IN ADDITION, PPM SERVICES AND PLANS DO NOT CONSTITUTE CIVIL ENGINEERING (CAL. BUS. & PROF. CODE §§6702-6704), AND THUS SHOULD NOT BE USED FOR ANY STUDIES OR ACTIVITIES DEFINED AS CIVIL ENGINEERING (CAL. BUS. & PROF. CODE §6731). ALL FLOOR PLANS CREATED BY PPM ARE INTENDED TO BE USED AS A REFERENCE FOR DESIGN AND CONSTRUCTION AND SHOULD NOT BE CONSIDERED A SUBSTITUTE FOR THE SERVICES OF A LICENSED STRUCTURAL ENGINEER OR LICENSED ARCHITECT. PPM MAKES EVERY REASONABLE EFFORT TO ENSURE THE ACCURACY OF THE INFORMATION FOUND IN OUR PLANS. HOWEVER, EVERY AS-BUILT DRAWING INHERENTLY CONTAINS ERRORS TO SOME DEGREE. IT IS THE DUTY OF THE ARCHITECT, CONTRACTOR, DESIGNER OR OTHER LICENSED PROFESSIONAL, AS A CONSULTANT TO THE PROPERTY OWNER, TO DETERMINE THE SUITABILITY OF THE AS-BUILT PLANS PRIOR TO CONSTRUCTION. MEASUREMENTS SHOULD BE FIELD CONFIRMED BEFORE COMMENCING CONSTRUCTION.

PROJECT NUMBER
2015_WA

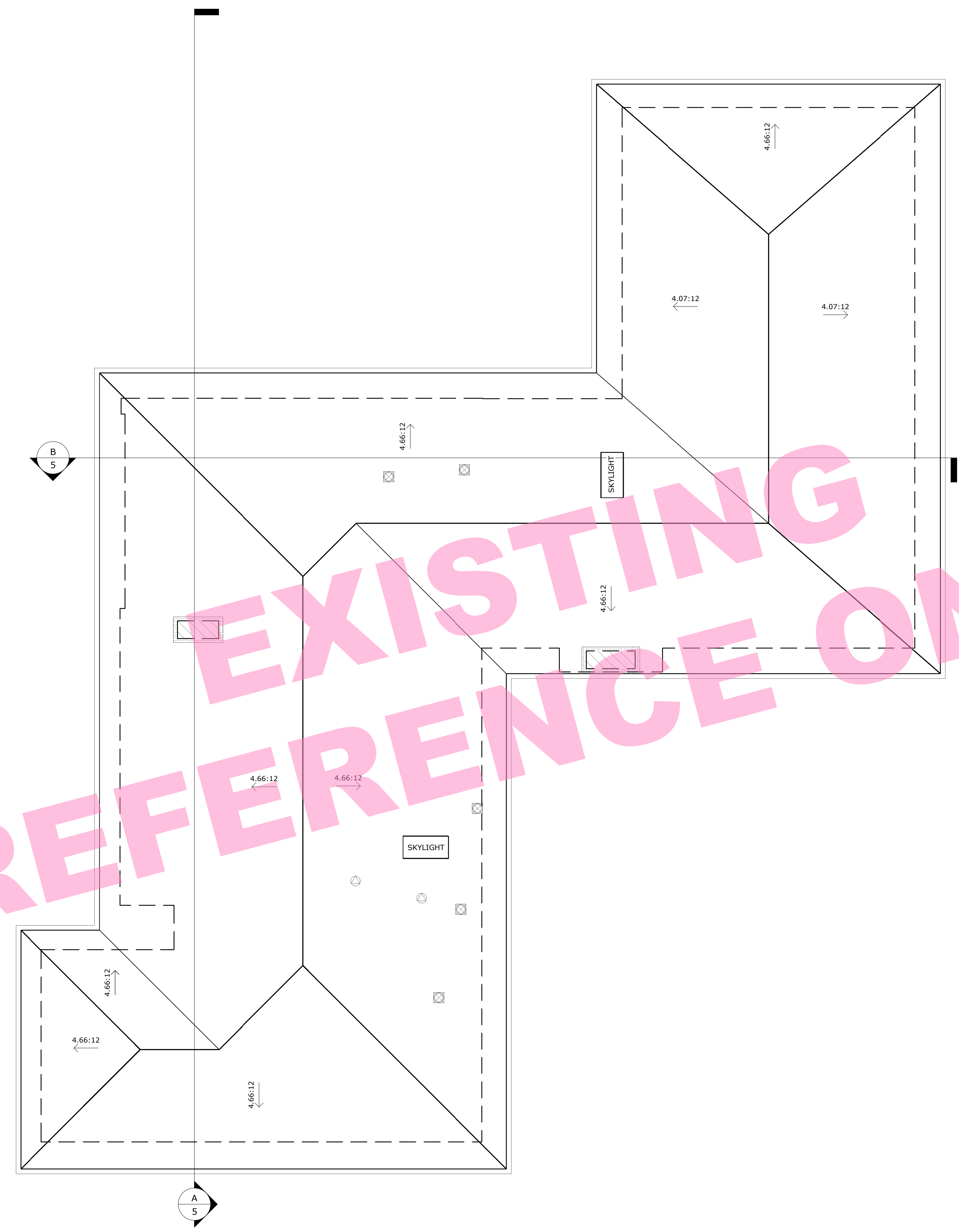
DATE
09/25/2024



SCALE
3/16" = 1'-0"

SHEET
3
OF
8

LEGEND	
	= AIR CONDITIONER
	= ROOF TOP HATCH
	= ROOF DRAIN
	= UTILITY BOX
	= CHIMNEY OUTLINE
	= DOWNSPOUT
	= ROOF VENT
	= BUILDING FOOTPRINT
	= RTU = ROOF TOP UNIT
	= DATUM POINT



EXISTING
REFERENCE ONLY



PREPARED FOR
**KEN & PHEBE
KEN CHU**

PROJECT NAME
4332 W MERCER WAY PROJECT
MERCER ISLAND, WA

PLAN TYPE
ROOF PLAN

ALL SITE PLANS CREATED BY PRECISION PROPERTY MEASUREMENT LTD "PPM" ARE MADE EXCLUSIVELY FOR LANDSCAPING PURPOSES (CAL. BUS. & PROF. CODE §8727), AND DO NOT INVOLVE THE DETERMINATION OF ANY PROPERTY LINE, AND AS SUCH DO NOT CONSTITUTE LAND SURVEYING (CAL. BUS. & PROF. CODE §§8726-8727). IN ADDITION, PPM SERVICES AND PLANS DO NOT CONSTITUTE CIVIL ENGINEERING (CAL. BUS. & PROF. CODE §§6702-6704), AND THUS SHOULD NOT BE USED FOR ANY STUDIES OR ACTIVITIES DEFINED AS CIVIL ENGINEERING (CAL. BUS. & PROF. CODE §6731). ALL FLOOR PLANS CREATED BY PPM ARE INTENDED TO BE USED AS A REFERENCE FOR DESIGN AND CONSTRUCTION AND SHOULD NOT BE CONSIDERED A SUBSTITUTE FOR THE SERVICES OF A LICENSED STRUCTURAL ENGINEER OR LICENSED ARCHITECT. PPM MAKES EVERY REASONABLE EFFORT TO ENSURE THE ACCURACY OF THE INFORMATION FOUND IN OUR PLANS. HOWEVER, EVERY AS-BUILT DRAWING INHERENTLY CONTAINS ERRORS TO SOME DEGREE. IT IS THE DUTY OF THE ARCHITECT, CONTRACTOR, DESIGNER OR OTHER LICENSED PROFESSIONAL, AS A CONSULTANT TO THE PROPERTY OWNER, TO DETERMINE THE SUITABILITY OF THE AS-BUILT PLANS PRIOR TO CONSTRUCTION. MEASUREMENTS SHOULD BE FIELD CONFIRMED BEFORE COMMENCING CONSTRUCTION.

PROJECT NUMBER
2015_WA
DATE
09/25/2024



SCALE
3/16" = 1'-0"

SHEET
4
OF
8

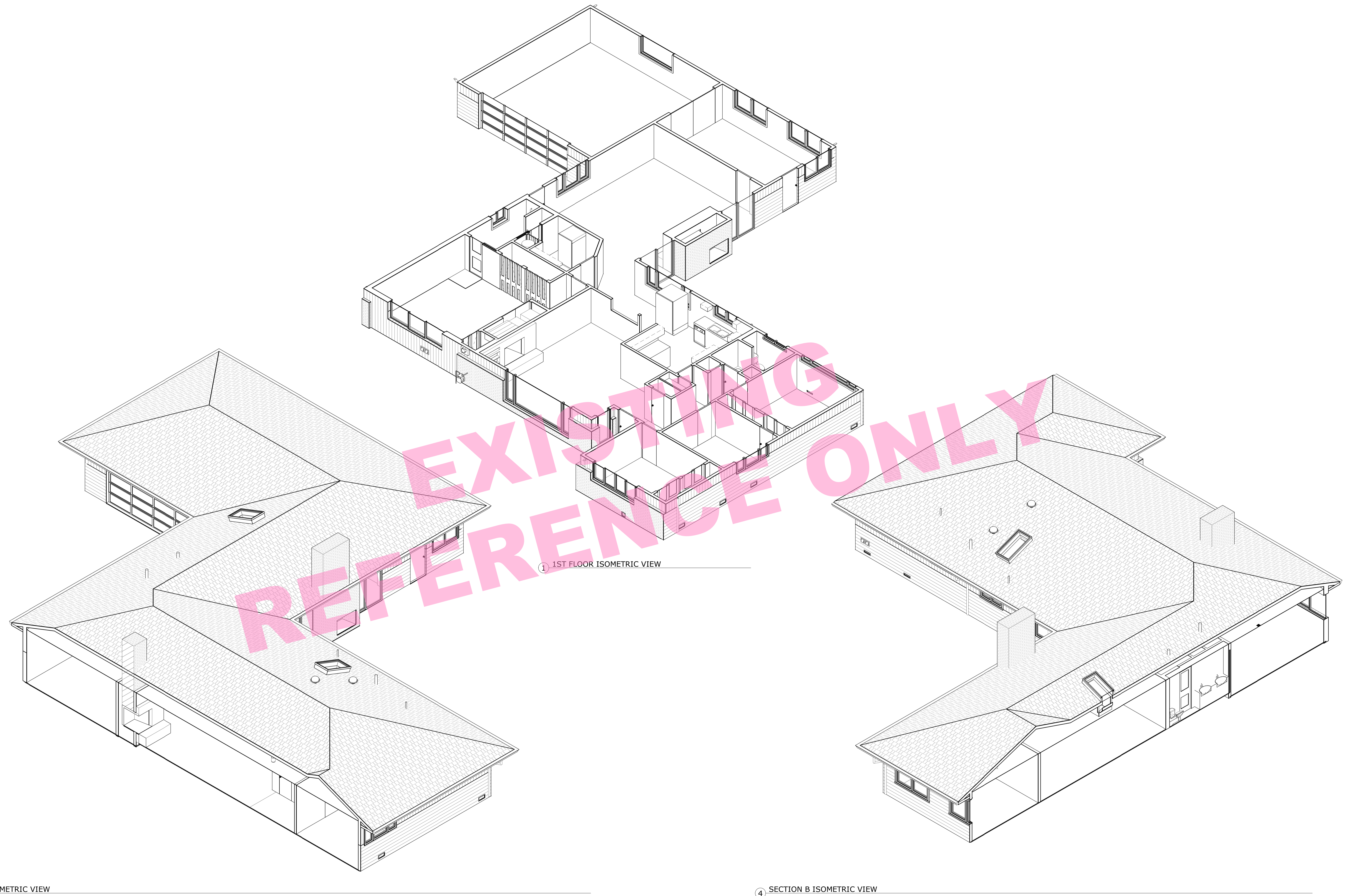


SECTION A
1/4" = 1'-0"

EXISTING
REFERENCE ONLY



SECTION B
1/4" = 1'-0"



1 1ST FLOOR ISOMETRIC VIEW

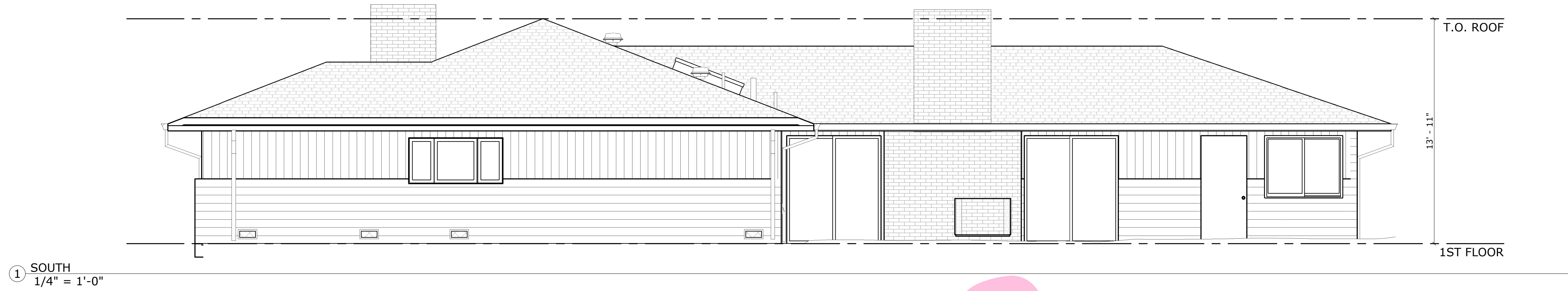
3 SECTION A ISOMETRIC VIEW

4 SECTION B ISOMETRIC VIEW

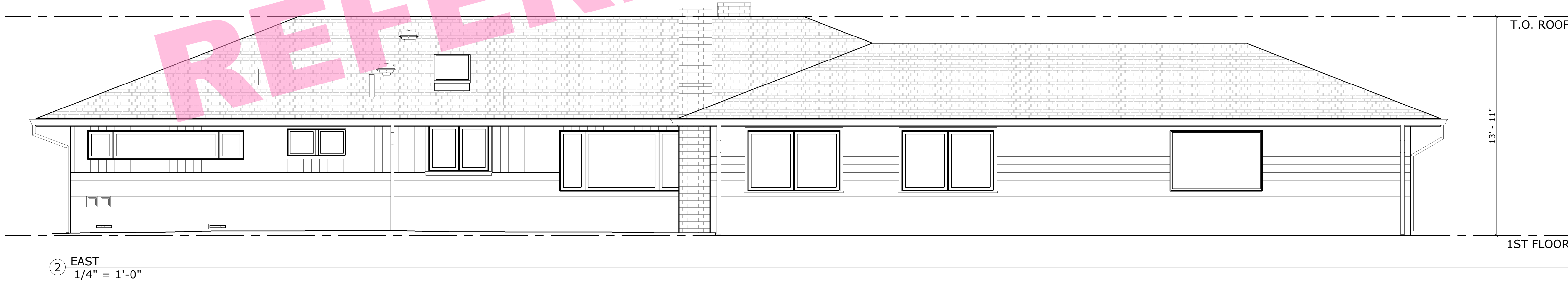
LEGEND

FINISHED GRADE LINE
 FINISHED FLOOR LINE

X:12
 ROOF PITCH LABEL (RISE:RUN)



**EXISTING
 REFERENCE ONLY**



PREPARED FOR
**KEN & PHEBE
 KEN CHU**

PROJECT NAME
4332 W MERCER WAY PROJECT
 MERCER ISLAND, WA

PLAN TYPE
EXTERIOR ELEVATIONS

ALL SITE PLANS CREATED BY PRECISION PROPERTY MEASUREMENT LTD "PPM" ARE MADE EXCLUSIVELY FOR LANDSCAPING PURPOSES (CAL. BUS. & PROF. CODE §8727), AND DO NOT INVOLVE THE DETERMINATION OF ANY PROPERTY LINE, AND AS SUCH DO NOT CONSTITUTE LAND SURVEYING (CAL. BUS. & PROF. CODE §§8726-8727). IN ADDITION, PPM SERVICES AND PLANS DO NOT CONSTITUTE CIVIL ENGINEERING (CAL. BUS. & PROF. CODE §§6702-6704), AND THUS SHOULD NOT BE USED FOR ANY STUDIES OR ACTIVITIES DEFINED AS CIVIL ENGINEERING (CAL. BUS. & PROF. CODE §6731). ALL FLOOR PLANS CREATED BY PPM ARE INTENDED TO BE USED AS A REFERENCE FOR DESIGN AND CONSTRUCTION AND SHOULD NOT BE CONSIDERED A SUBSTITUTE FOR THE SERVICES OF A LICENSED STRUCTURAL ENGINEER OR LICENSED ARCHITECT. PPM MAKES EVERY REASONABLE EFFORT TO ENSURE THE ACCURACY OF THE INFORMATION FOUND IN OUR PLANS. HOWEVER, EVERY AS-BUILT DRAWING INHERENTLY CONTAINS ERRORS TO SOME DEGREE. IT IS THE DUTY OF THE ARCHITECT, CONTRACTOR, DESIGNER OR OTHER LICENSED PROFESSIONAL, AS A CONSULTANT TO THE PROPERTY OWNER, TO DETERMINE THE SUITABILITY OF THE AS-BUILT PLANS PRIOR TO CONSTRUCTION. MEASUREMENTS SHOULD BE FIELD CONFIRMED BEFORE COMMENCING CONSTRUCTION.

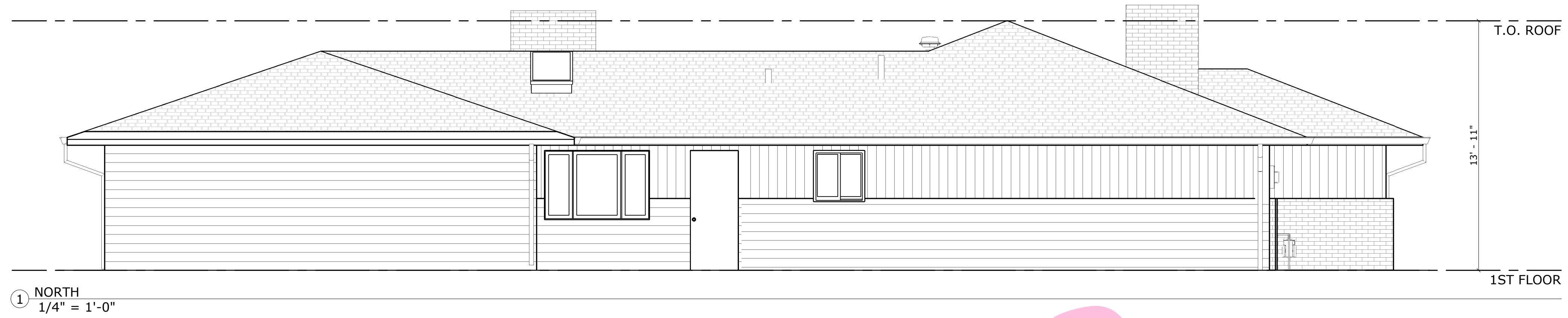
PROJECT NUMBER
2015_WA
 DATE
09/25/2024

SCALE
1/4" = 1'-0"

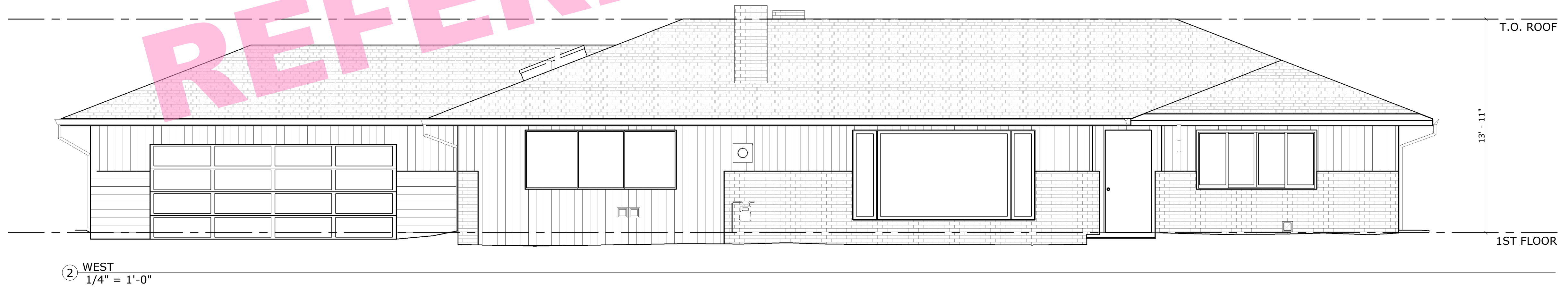
SHEET
7
 OF
8

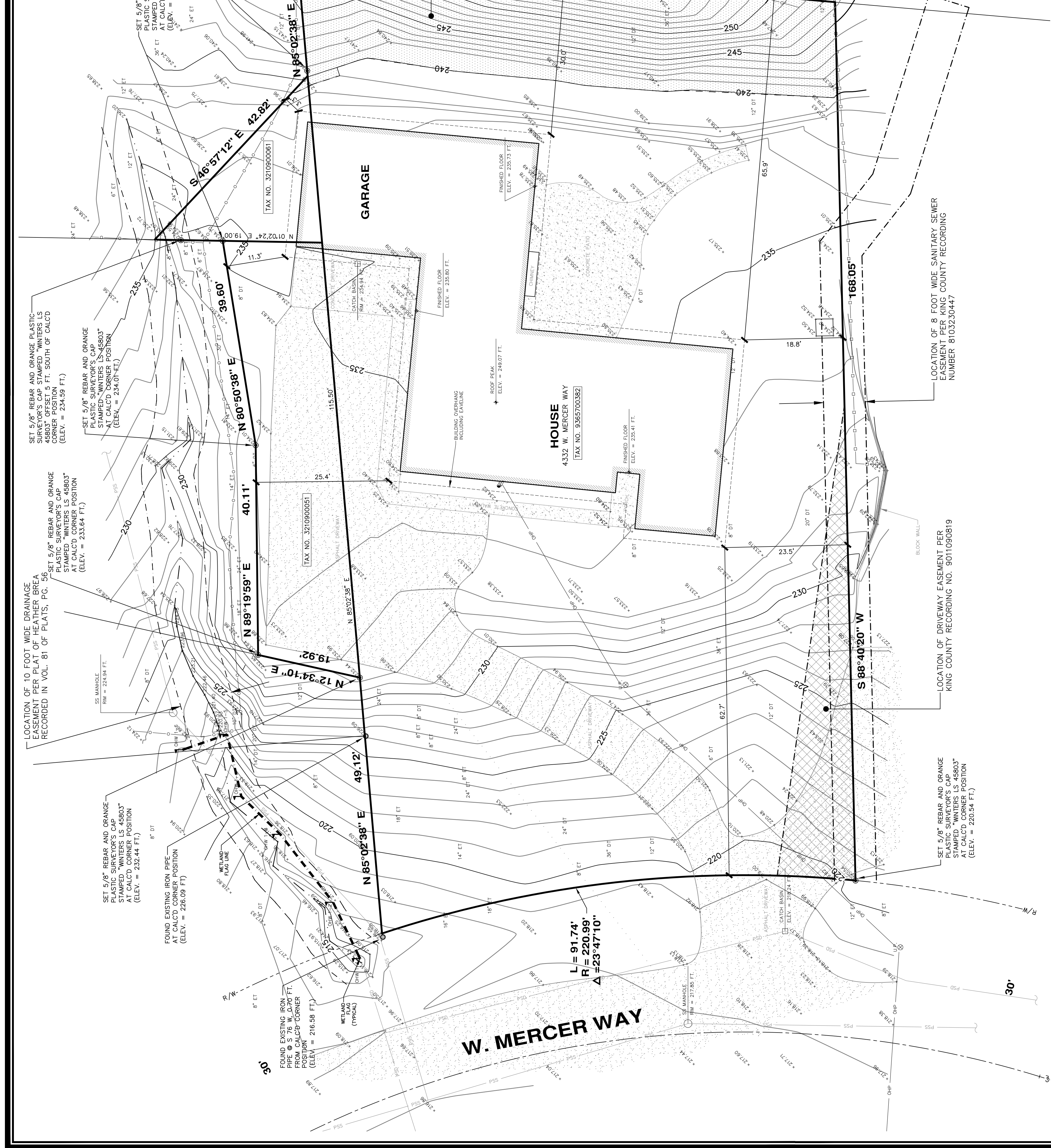
LEGEND

FINISHED GRADE LINE
 FINISHED FLOOR LINE
 ROOF PITCH LABEL (RISE:RUN) X:12

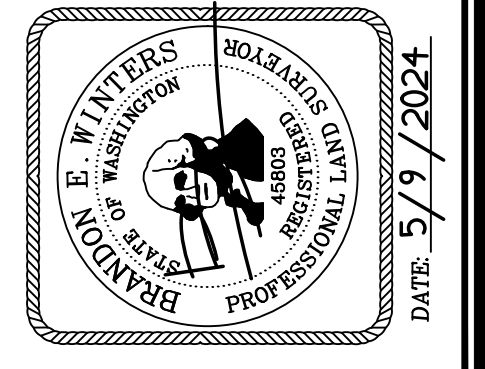


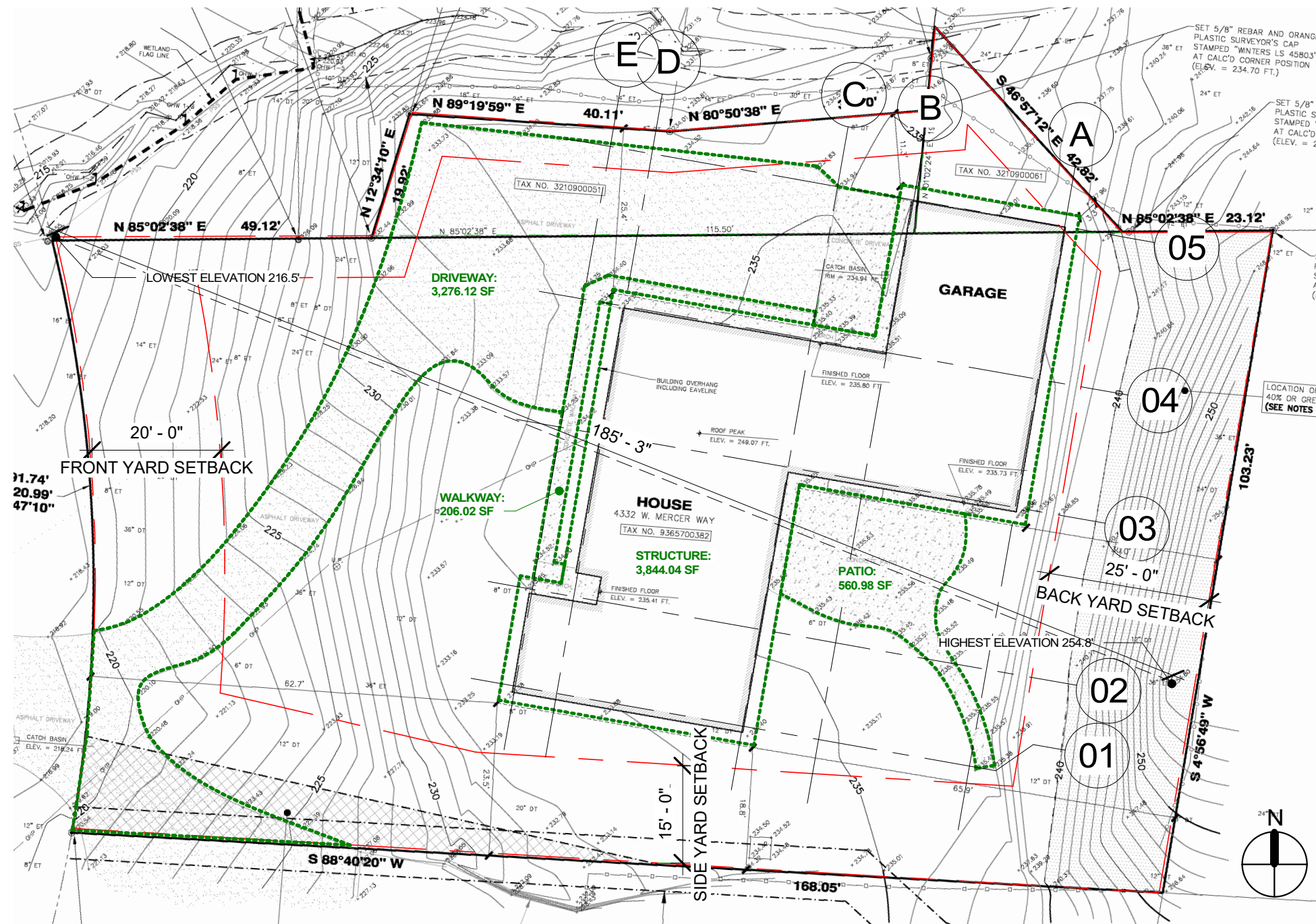
**EXISTING
 REFERENCE ONLY**



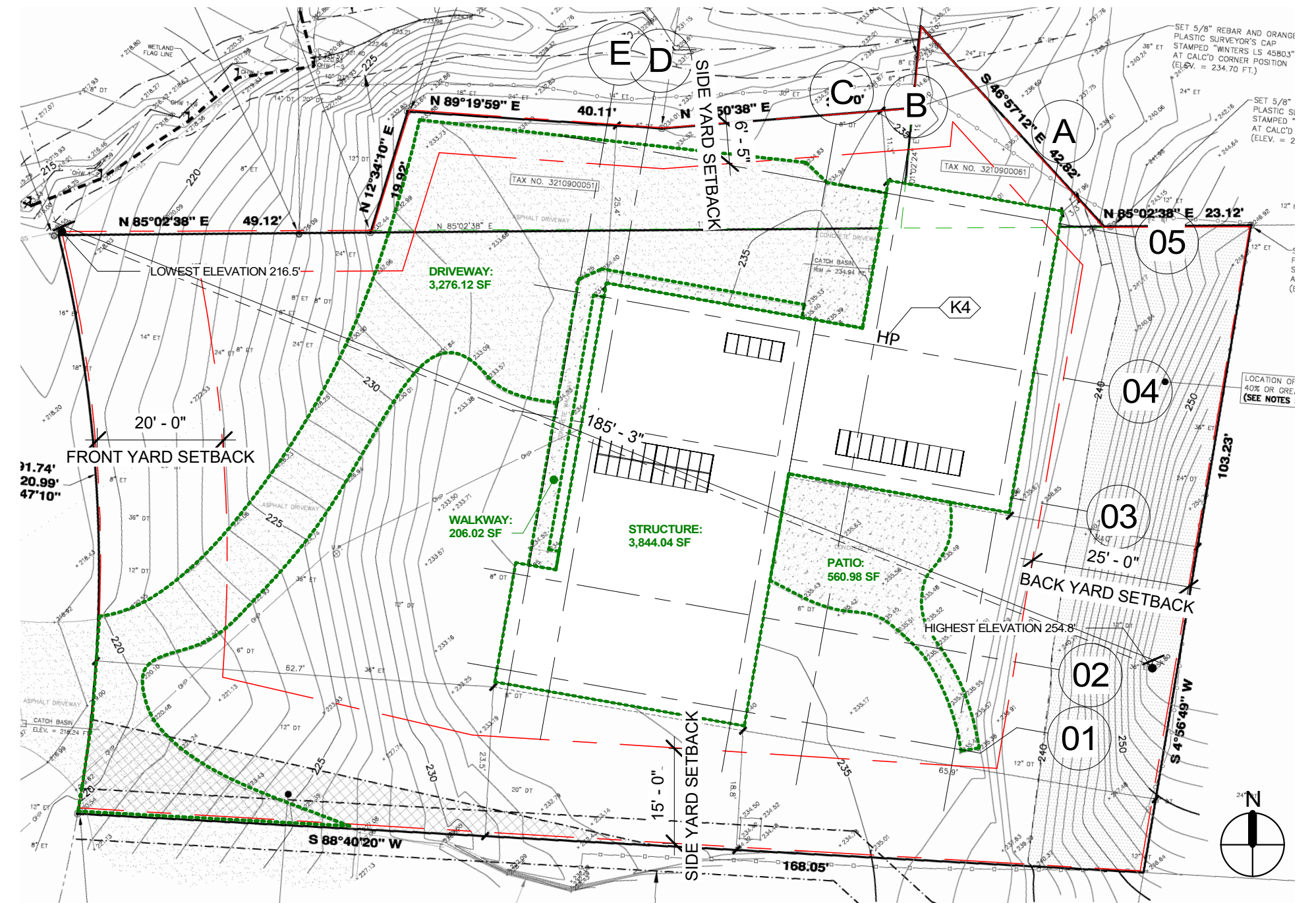


TOPOGRAPHIC SURVEY
4332 WEST MERCER WAY
MERCER ISLAND, WASHINGTON





1 EXISTING SITE PLAN
1" = 20'-0"



2 NEW SITE PLAN
1" = 20'-0"

SITE DATA:

LOT SLOPE CALCULATION:
 HIGHEST ELEVATION: 254.8' - LOWEST ELEVATION: 216.5' = ELEVATION DIFFERENCE: 38.3'
 HORIZONTAL DISTANCE BETWEEN HIGH AND LOW: 185.29'

LOT SLOPE: ELEVATION DIFFERENCE / DISTANCE = 38.3' / 185.29' = 20.67%

TOTAL PARCEL LOT AREA: 18,138.7 SF

FRONT YARD SETBACK: 20'
 BACK YARD SETBACK: 25'
 TOTAL SIDE YARD SETBACK (MIN. 17% OF THE LOT WIDTH): 20'

AVERAGE HEIGHT (AVERAGE 33 SPOT ELEVATION @ 10' INTERVAL): 235.03'
 FINISHED FLOOR ELEVATION PER SURVEY: 235.41'

ALLOWABLE MAXIMUM HEIGHT: 30' ABOVE ABE
 PROPOSED STRUCTURE HEIGHT: 26' 5" < 30' MAX. IN BUILDING HEIGHT

NEW GROSS FLOOR AREA: L1 AREA + L2 AREA = 3,226.58 SF + 1914.65 SF = 5,141.23 SF < 7,255.48 SF

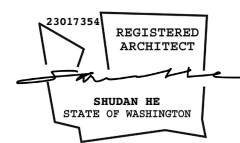
NOTE:
 1. NO TREE ARE PROPOSED FOR REMOVAL;
 2. LOT COVERAGE, HARDSCAPE AND IMPERVIOUS SURFACE AREAS REMAIN UNCHANGE.

KEYNOTES

- (K1) PER R314.2.3 A HEAT DETECTOR OR HEAT ALARM RATED FOR AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS. HEAT DETECTORS AND HEAT ALARMS SHALL BE INSTALLED IN A CENTRAL LOCATION AND IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
- (K2) PER M1505.4.4(1), BATHROOMS EXHAUST FAN MINIMUM: 50 CFM INTERMITTENT, TYP.
- (K3) MECHANICAL EXHAUST HOOD OR DOWNDRAFT VENTILATION SYSTEM OF OWNER'S CHOICE; PER M1505.4.4(1), KITCHEN'S MINIMUM: 160 CFM FOR INTERMITTENT ELECTRIC RANGE, OR 250 CFM COMBUSTION RANGE. IF DOWNDRAFT IS USED, 300 CFM INTERMITTENT REQUIRED.
- (K4) SYSTEM TYPE 4 HEAT PUMP COMPLIES FEDERAL STANDARDS FOR THE EQUIPMENT LISTED IN TABLE C403.3.2(2) OR C403.3.2(9) OR AIR TO WATER HEAT PUMP UNITS THAT ARE CONFIGURED TO PROVIDE BOTH HEATING AND COOLING AND ARE RATED IN ACCORDANCE WITH AHRI 550/590.
- (K5) PER IRC R302.6 DWELLING/GARAGE FIRE SEPARATION. 5/8" TYPE X GYPSUM BOARD IS REQUIRED BETWEEN GARAGE AND HABITABLE SPACE ABOVE. 1/2" GYPSUM BOARD IS REQUIRED BETWEEN GARAGE AND HABITABLE SPACE ON GARAGE SIDE OF WALLS.
- (K6) 20 MIN RATED OR SOLID CORE ENTRY DOORS WITH SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC-CLOSING DEVICE.



Date	Description	Revision Number

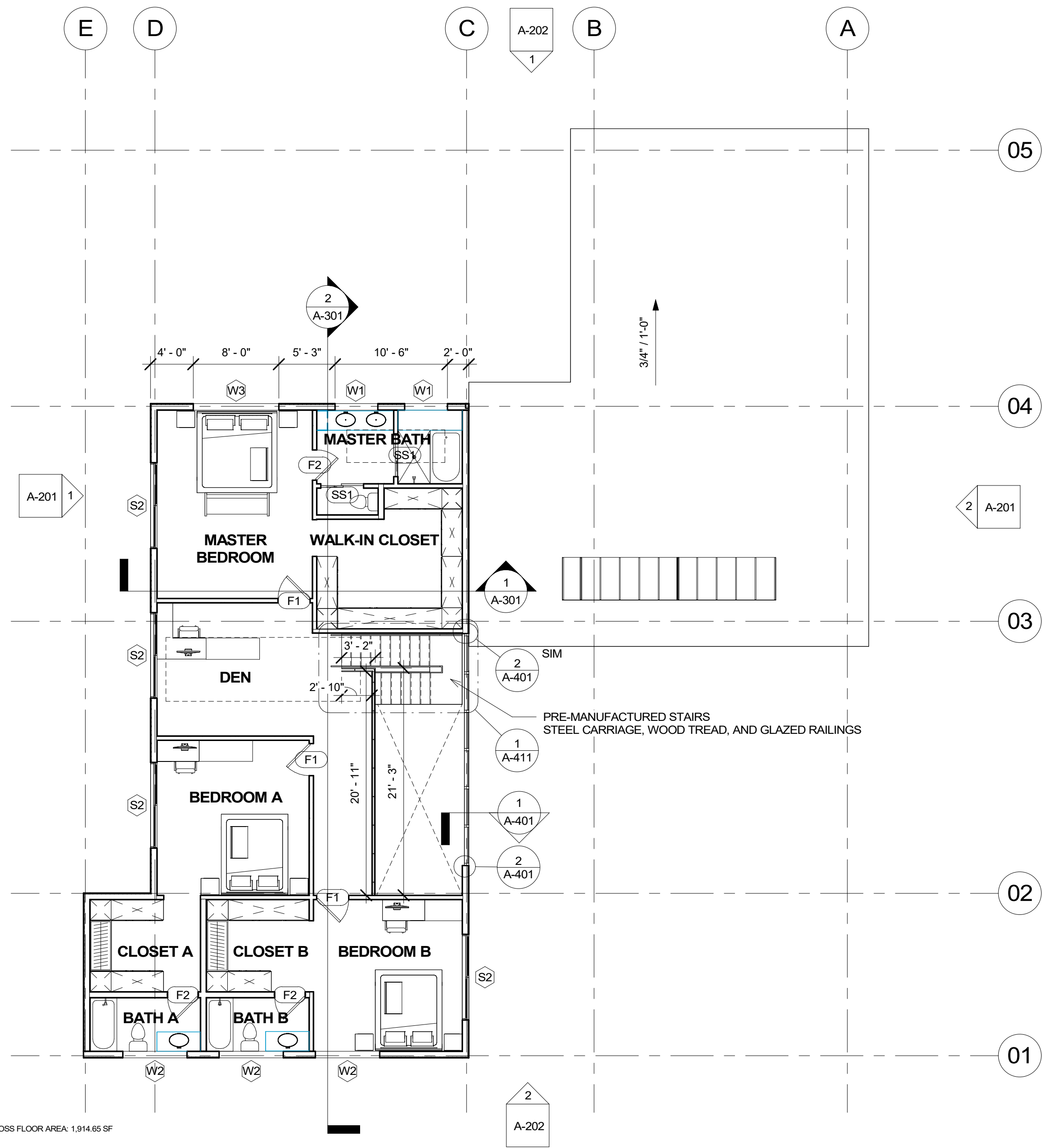


HILLHAVEN GROVE
 Project number 0433220241014
 4332 West Mercer Way, Mercer Island, WA

SITE PLAN WITH LAND USE CALCULATION

Date 10/31/2024
 SH As indicated

A-010



LEVEL 1 GROSS FLOOR AREA: 1,914.65 SF

1 LEVEL 2
1/8" = 1'-0"

GENERAL NOTES

1. CODES: ALL WORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING CODES AS AMENDED BY AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
3. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT, BLOCKING, BACKING, AND JACKS REQUIRED FOR INSTALLATIONS. DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED.
4. INTERIOR WALL FRAMING 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.
5. HALFTONE ELEMENTS ARE EXISTING CONDITION THAT ARE NOT IN THE SCOPE OF WORK.
6. EXISTING CONDITION ARE BASED ON SITE OBSERVATION, PHOTO DOCUMENTATION AND CLIENT DESCRIPTION. VERIFY DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
7. PER R302.11, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

LEGEND

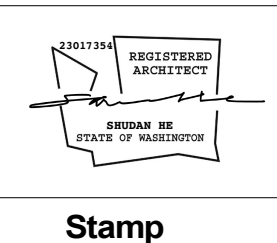
- GYPSUM WALL BOARD
- WOOD
- CONCRETE
- GRAVEL
- PLYWOOD
- BATT INSULATION
- WOOD FRAMING
- SKYLIGHT OPENING
- TO BE DEMOLISHED
- EXHAUST FAN
- SMOKE DETECTOR
- CO DETECTOR
- HEAT DETECTOR WITH ALARM
- COMBINED SMOKE & CO DETECTOR

KEYNOTES

- PER R314.2.3 A HEAT DETECTOR OR HEAT ALARM RATED FOR AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS. HEAT DETECTORS AND HEAT ALARMS SHALL BE INSTALLED IN A CENTRAL LOCATION AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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- PER IRC R302.6 DWELLING/GARAGE FIRE SEPARATION. 1/2" GYPSUM BOARD IS REQUIRED BETWEEN GARAGE AND HABITABLE SPACE ON GARAGE SIDE OF WALLS.
- 20 MIN RATED OR SOLID CORE ENTRY DOORS WITH SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC-CLOSING DEVICE.



Date	Description	Revision Number



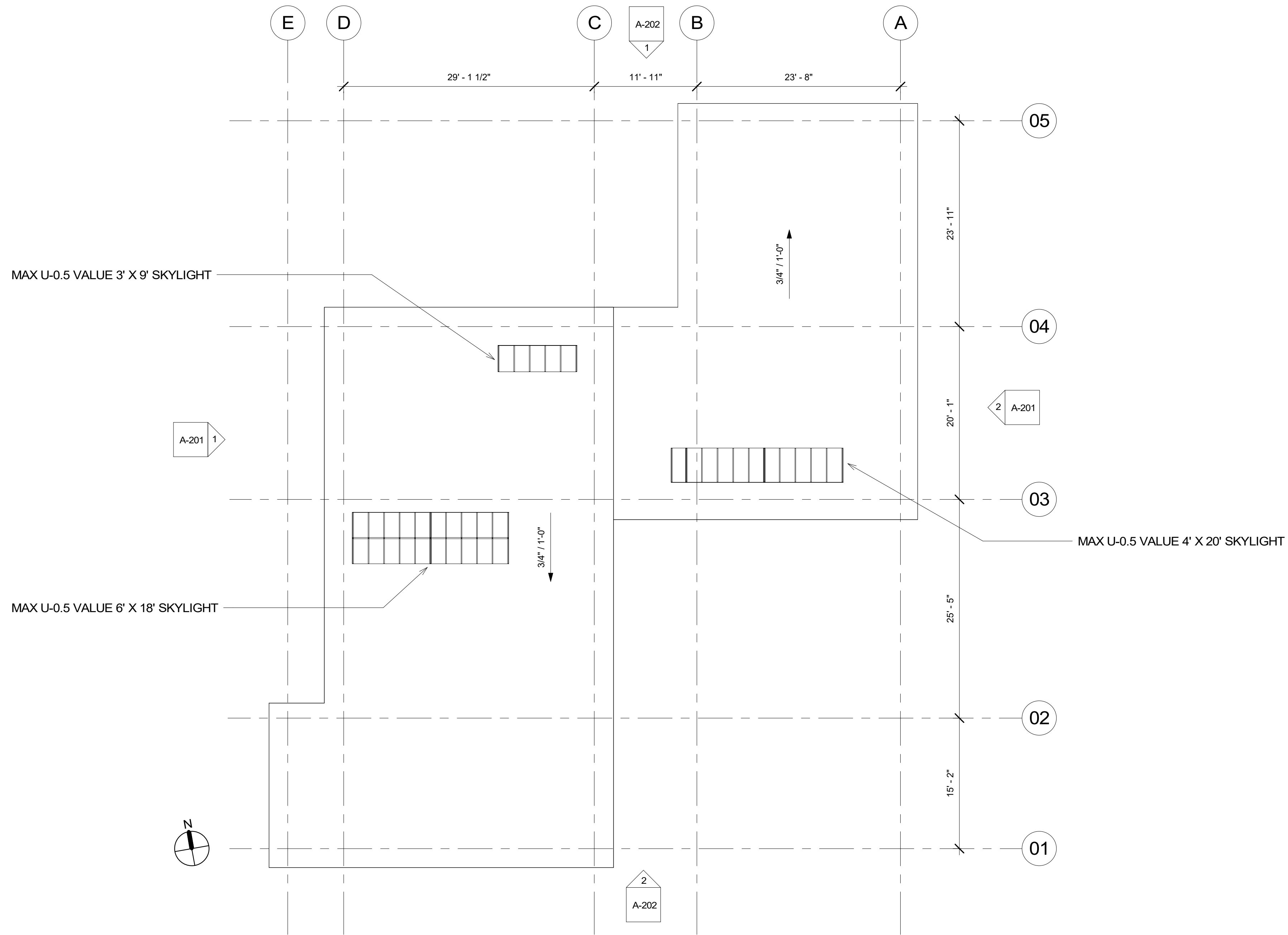
HILLHAVEN GROVE
 Project number 0433220241014
 4332 West Mercer Way, Mercer Island, WA

FLOOR PLAN - LEVEL 02

Date 10/31/2024
 SH As indicated

A-102

3/21/2025 10:19:43 AM



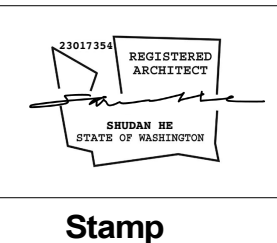
- GENERAL NOTES**
1. CODES: ALL WORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING CODES AS AMENDED BY AUTHORITIES HAVING JURISDICTION. DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.
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 4. INTERIOR WALL FRAMING 2x4 WOOD STUDS UNLESS OTHERWISE NOTED. HALFTONE ELEMENTS ARE EXISTING CONDITION THAT ARE NOT IN THE SCOPE OF WORK.
 5. EXISTING CONDITION ARE BASED ON SITE OBSERVATION, PHOTO DOCUMENTATION AND CLIENT DESCRIPTION. VERIFY DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
 6. PER R302.11, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

- LEGEND**
- GYPSUM WALL BOARD
 - WOOD
 - CONCRETE
 - GRAVEL
 - PLYWOOD
 - BATT INSULATION
 - WOOD FRAMING
 - SKYLIGHT OPENING
 - TO BE DEMOLISHED
 - EXHAUST FAN
 - SMOKE DETECTOR
 - CO DETECTOR
 - HEAT DETECTOR WITH ALARM
 - COMBINED SMOKE & CO DETECTOR

- KEYNOTES**
- K1** PER R314.2.3 A HEAT DETECTOR OR HEAT ALARM RATED FOR AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS. HEAT DETECTORS AND HEAT ALARMS SHALL BE INSTALLED IN A CENTRAL LOCATION AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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1 ROOF PLAN - NEW
1/8" = 1'-0"

Date	Description	Revision Number



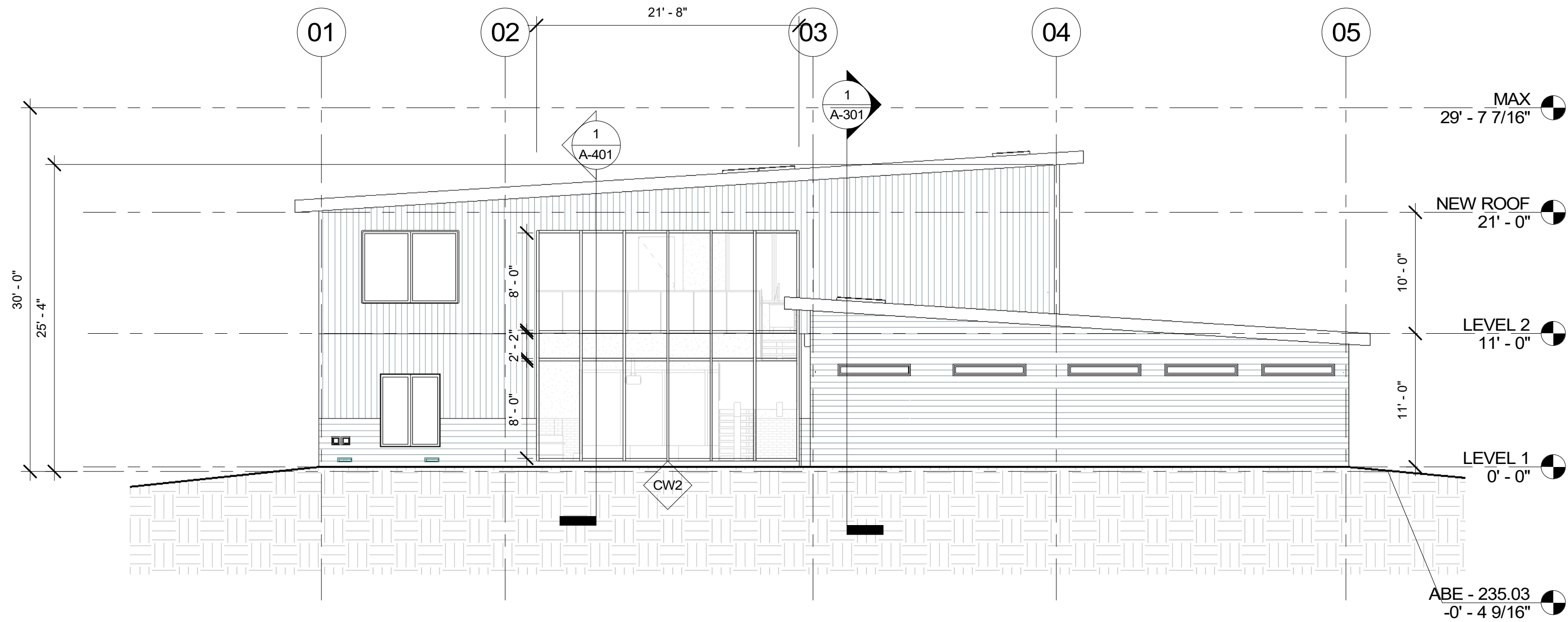
HILLHAVEN GROVE
 Project number 0433220241014
 4332 West Mercer Way, Mercer Island, WA

ROOF PLAN

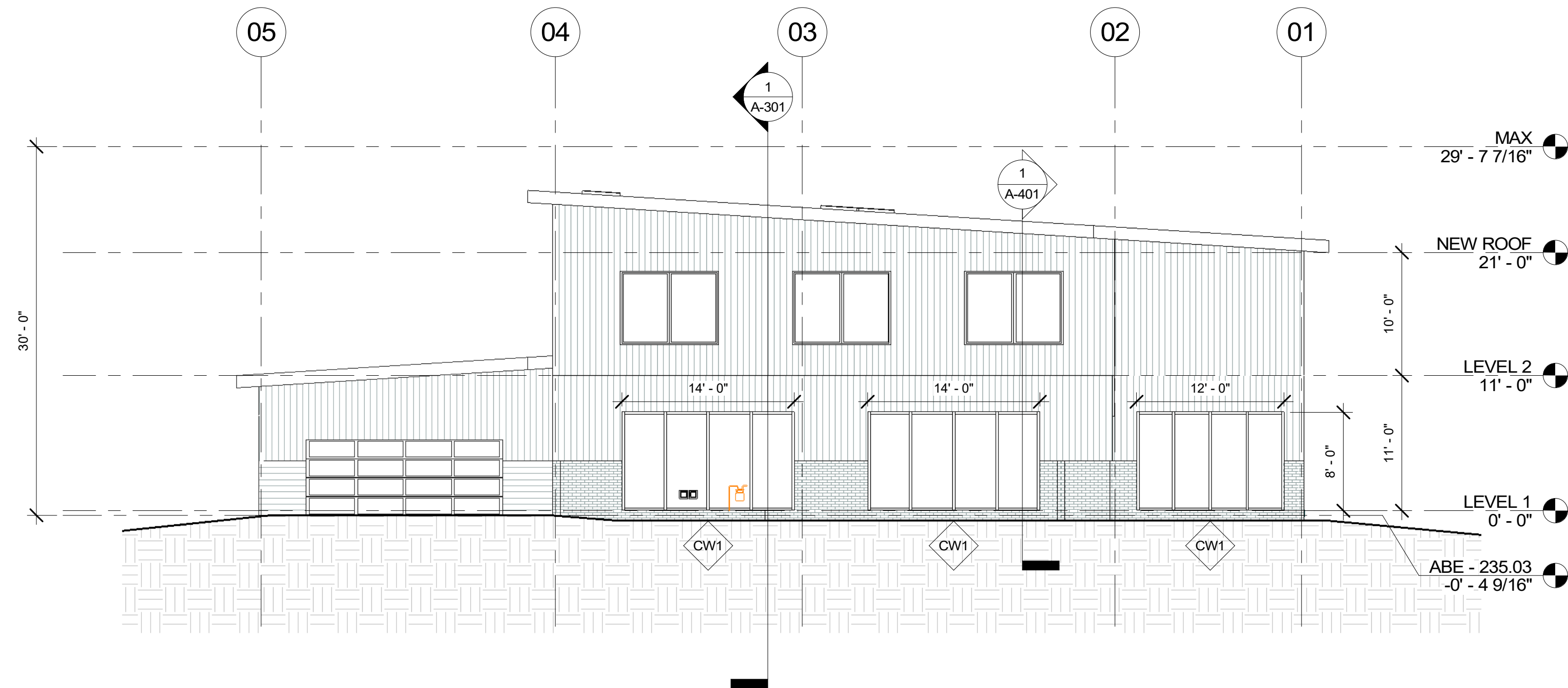
Date
10/31/2024
 SH As indicated

A-103

3/21/2025 10:19:43 AM

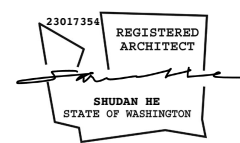


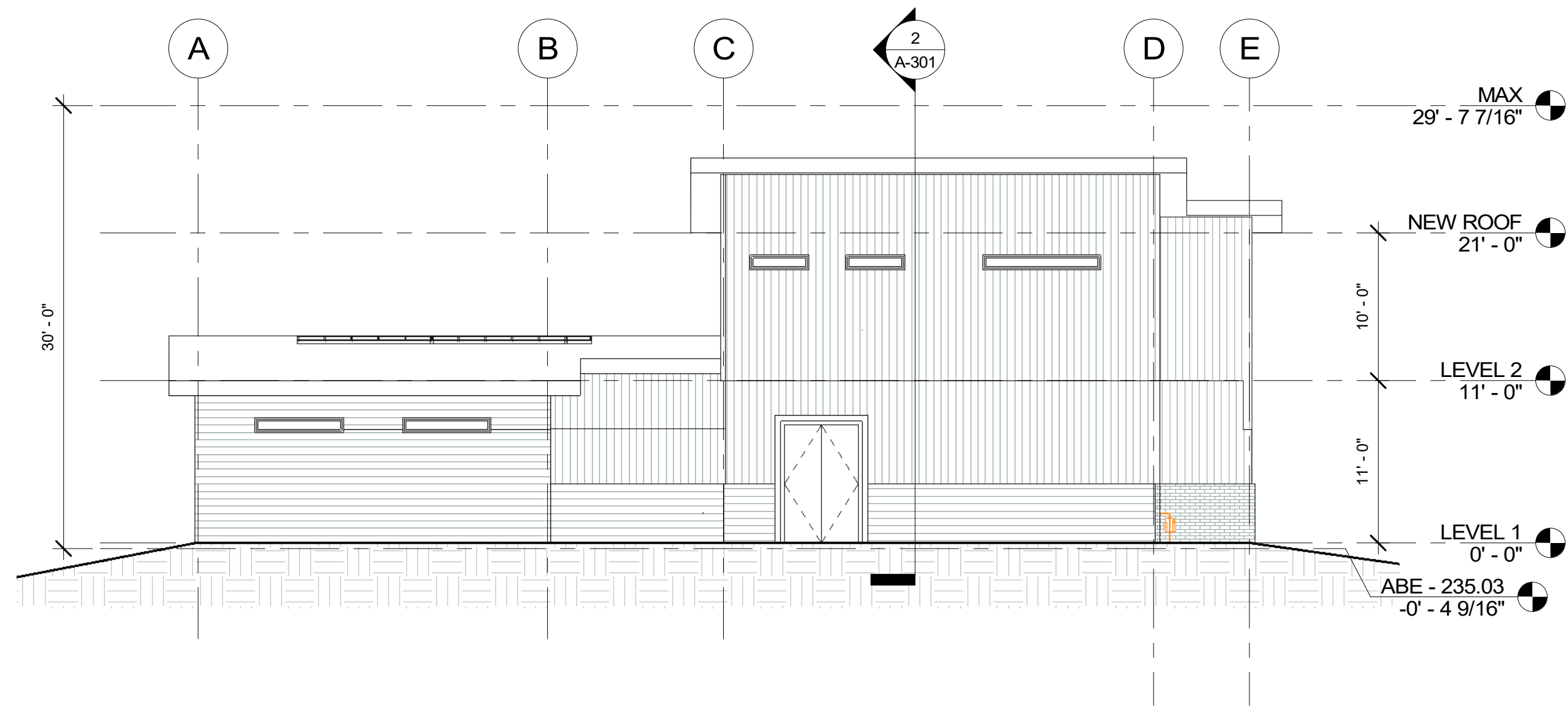
② ELEVATION - E
1/8" = 1'-0"



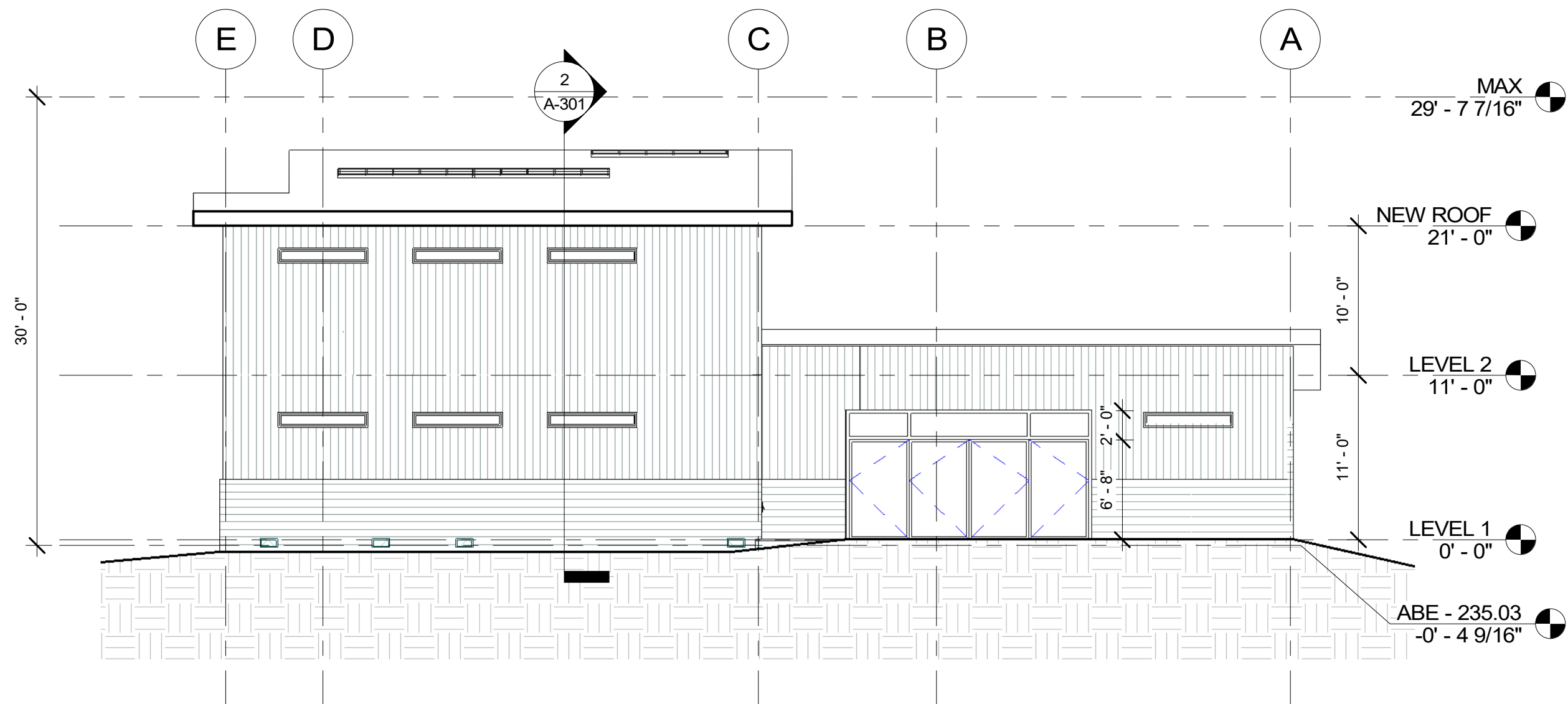
① ELEVATION - W
1/8" = 1'-0"

Date	Description	Revision Number



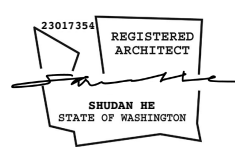


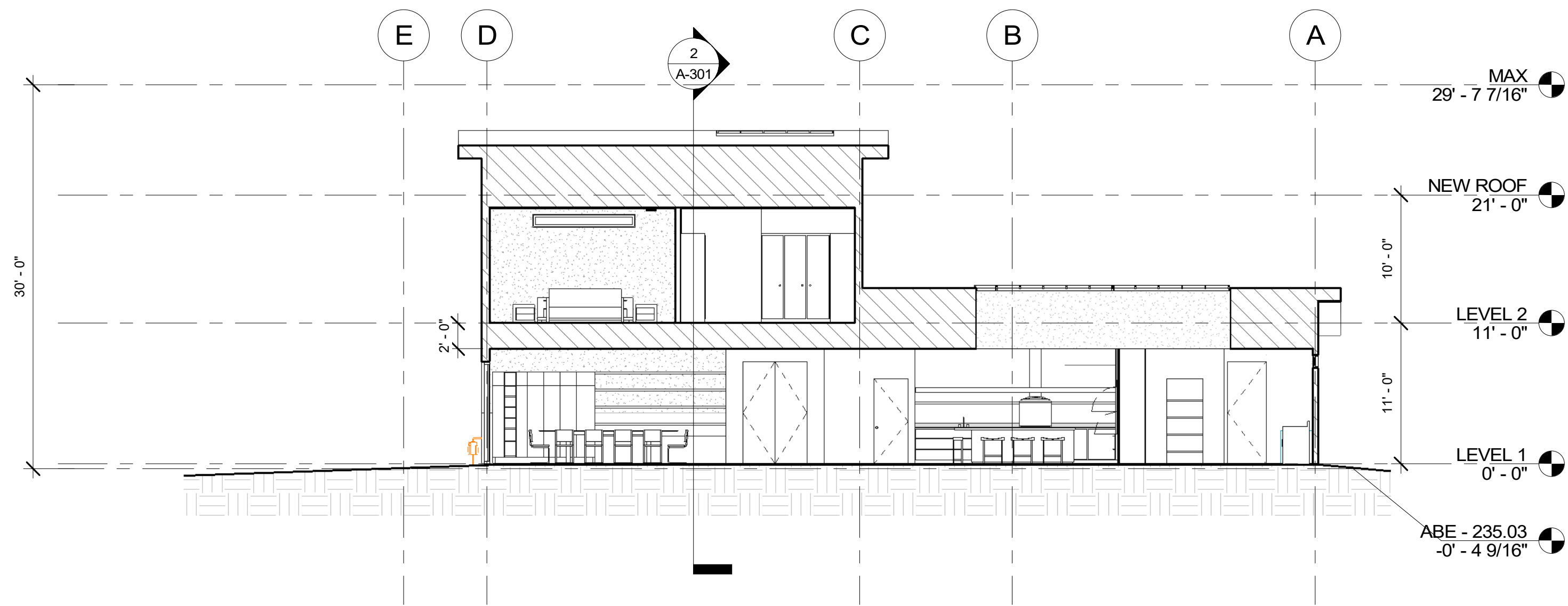
① ELEVATION - N
1/8" = 1'-0"



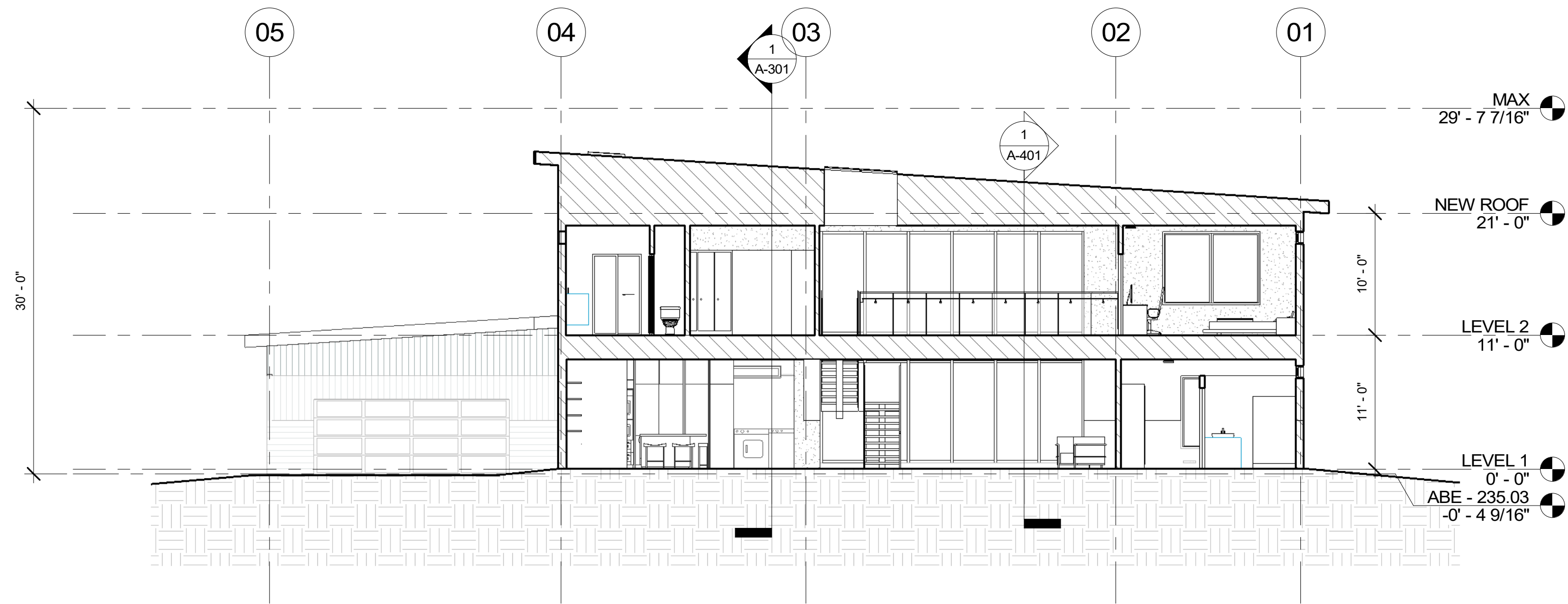
② ELEVATION - S
1/8" = 1'-0"

Date	Description	Revision Number





① Section 1
1/8" = 1'-0"



② Section 2
1/8" = 1'-0"

NOTE:
 CEILING R-VALUE: MIN. 60 TYP.
 WOOD FRAME WALL R-VALUE: MIN. 20 CAVITY INSULATION + MIN. 5 CONTINUOUS INSULATION OR MIN. 13 CAVITY INSULATION + MIN. 10 CONTINUOUS INSULATION TYP.

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