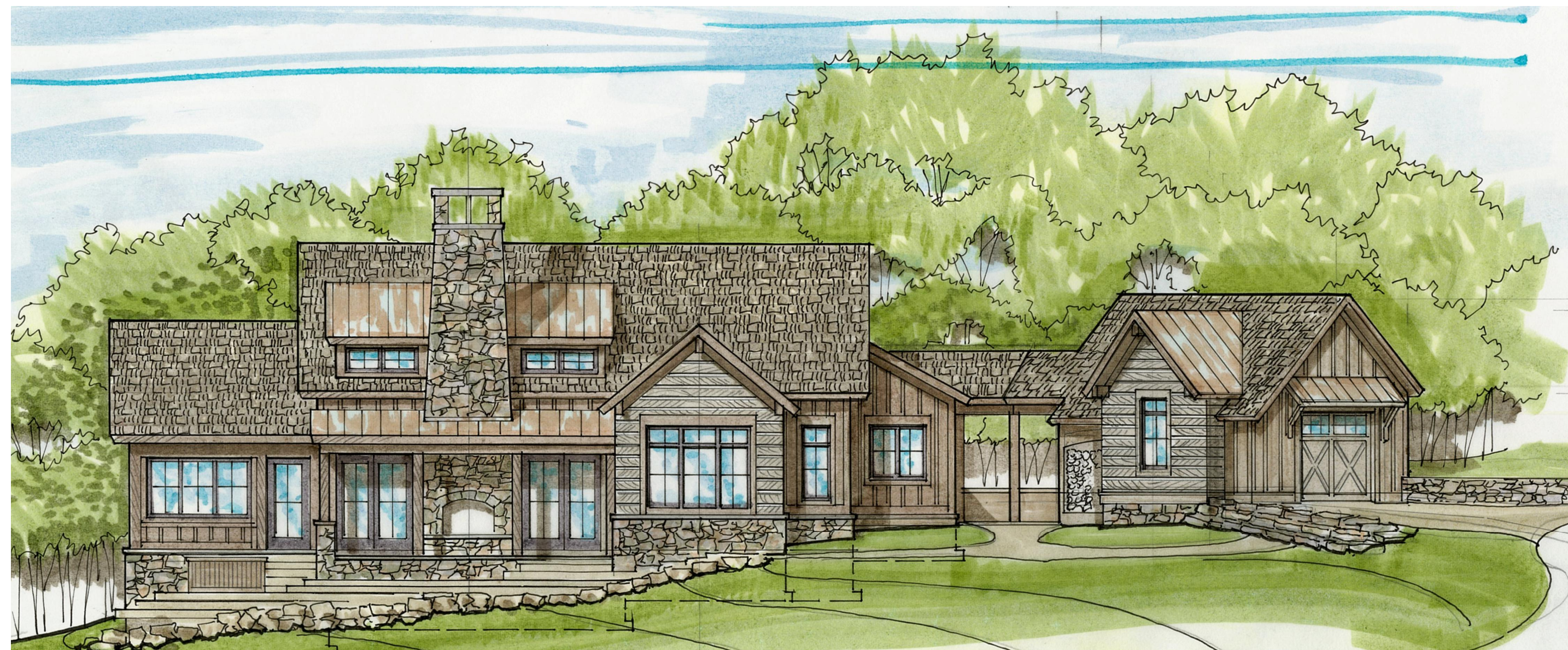


Merkert House

Lot 15
Twilight Meadow at Cascade Village
50827 N. Hwy 550
Durango, CO 81301



THE RENDERING IS AN ARTISTIC REPRESENTATION OF THE DWELLING AND SITE AND DOES NOT REPRESENT THE FINAL DESIGN AS SET FORTH IN THE CONSTRUCTION DOCUMENTS

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CIVIL ENGINEER:

PROJECT

**MERKERT
HOUSE**

Lot 15, Twilight
Meadow at Cascade
Village
50827 N. Hwy 550
Durango, CO. 81301

ISSUANCE

17 MAY 2021 PROGRESS REVIEW
20 MAY 2021 PERMIT SET

**OWNERSHIP OF
DOCUMENTS NOTICE**

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- A0.0 Cover Sheet
- A0.1 Specifications & Standards
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- A2.0 Foundation/ Crawl Space Plan
- A2.1 Main Level Floor Plan
- A2.2 Roof Plan
- A3.0 Elevations
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- A4.0 Cross-Sections
- A4.1 Cross-Sections
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- A5.0 Door Schedule/ Trim Details
- A5.1 Windsor Window & Door Schedule
- A5.2 Exterior Window, Door & Trim Details
- A5.5 Millshop Details

DRAWN BY: EVR	CHECKED BY: JAB
PROJECT NO:	SCALE:
DRAWING TITLE: COVER SHEET	

DRAWING NO.:

A0.0

GENERAL INFORMATION

Disclaimer - The documents produced by the Architect for this project are limited. They express the design intent for this project only and should in no way be interpreted as detailed expressions of the project requirements. The means, methods, and techniques of construction, as well as all engineering, coordination, and field administration related to this construction, is to be undertaken by the Contractor at his own expense. In return for using these documents, the Contractor agrees to indemnify and hold harmless the architect for all claims.

Code compliance - The construction will fully comply with The International Residential Code, local amendments, and all other codes, ordinances and laws in effect at the time of permit submission.

Project Manager - The Project Manager referred to throughout the documents will be the Owner or a designated representative of the Owner. All questions or clarification requests should be directed to the Project Manager.

Project Schedule - The Contractor shall generate, and present to the Project Manage, a schedule showing milestone events and dates. Any critical project decisions required of the Owner shall be shown in the schedule. The schedule will be updated monthly or as milestones are met.

DIMENSION STANDARDS

Dimensioning - The drawings have been dimensioned nominally to the closest 1/2". Interior walls are dimensioned to the stud face; exterior walls are dimensioned to the exterior face of the structural sheathing; masonry walls are dimensioned to the masonry face.

Dimension Annotation - Actual dimensions will be annotated with feet and/or inch ticks (2" x 4" = 2' x 4"); Nominal dimensions will not have feet and/or inch ticks (2 x 4 = 1-1/2" x 3-1/2").

Equipment accommodation - In cases where a specific dimension is required to be held to accommodate a prefabricated item (i.e., bathtub, shower, appliance, built-in, etc.), the Contractor should coordinate with the equipment or material suppliers and subcontractors to insure that the proper clearances are maintained.

Locating doors - Doors located adjacent to a single perpendicular wall (at a corner) will have their outside jamb edge set 7" from the corner (unless noted otherwise in the plan). Doors at the end of a hallway, or appearing to be approximately centered in an exterior or interior wall surface, will be centered exactly in that wall surface (unless noted otherwise in the plan). Contractor will coordinate the rough opening provided to accommodate the required jamb, casing and other constraints.

ALLOWANCES

Credits & Extras - Items, systems and equipment listed in the Project Specification Schedule, or other schedules, with an allowance amount will be selected by the Owner and purchased and installed by the Contractor. If the cost of this work is greater than the allowance amount, the deficit will be made up by the Owner as an extra payment; if the amount is less, the surplus will be returned to the Owner as a credit on the Contractor's next invoice.

Definitions - "Furnished" means that the item listed will be provided for the allowance amount. If not otherwise indicated, the cost listed will be for furnishing the item only (inclusive of delivery charges to ship the item to the project site) and the installation will be under the base contract amount. "Installed" means that the cost listed will be for supplying and installing the item under the allowance amount. The Contractor will be responsible for providing all substrates and blocking as necessary for proper installation in their base cost.

CHANGE ORDERS

Review and approval of changes - Extra work requested by the Owner will be priced by the Contractor and submitted to the Project Manager for review and approval prior to commencing with the change. No work resulting in extra fees will be performed without the expressed written consent of the Project Manager.

LAYOUT AND SURVEYS

Location of structure - For new houses on undeveloped lots, Contractor will stake proposed corners and obtain approval for the location and orientation before proceeding with construction.

Location survey - At the completion of a new house foundation, Contractor will provide a location survey satisfactory to the Owner, Owner's lender, and governing jurisdiction, prior to erecting the framing, locating the structure on the lot.

ENVIRONMENTAL PROCEDURES

Sediment and erosion control - The Contractor will be responsible for determining and implementing all sediment and erosion control, storm water management, and other required environmental measures.

Hazardous materials - Disposal of any environmentally hazardous substance on this site will be prohibited.

Radon Protection for New Homes - After the structure has been closed-in, the Contractor shall have the house tested for radon by a certified radon testing specialist. If radon measurements exceed EPA safe standards, the Contractor shall follow EPA's standards for radon reduction techniques to mitigate the problem.

SITE WORK

Soil bearing capacity - Prior to proceeding with the excavation or construction, the Contractor will excavate two trenches at the area of greatest excavation depth to determine bearing capacity of soils and ground water problems. If ground water is encountered or if the bearing capacity of the soil is determined by the Contractor to be less than 2,000 psl, the Project Manager shall be notified immediately.

Test holes - If materials such as rock ledges, immovable boulders, or ground water are encountered after digging of the test holes, the remedy will be paid for by the Owner.

Clearing of land - Before proceeding with the general excavation the surface of the land shall be cleared, grubbed, and made free of any vegetation slated to be removed. Hardwoods in excess of 4" diameter will be cut to 20" lengths and stacked in an on-site area designated by the Project Manager. Miscellaneous other vegetation and debris will be disposed of in a legal Project Manager approved way. Strip areas of construction of topsoil and stockpile on site for reuse. Protect from erosion. Contractor to apply Maryland Department of Environment approved herbicide to topsoil to kill weeds, etc. Mix minimum of 2" of additional topsoil in all areas scheduled to receive grass seed. Provide 8" of topsoil within 5' of the full perimeter of the house.

Excavation - should be as small as possible while maintaining safe conditions and adequate work area for persons working in the trench adjacent to the foundation walls. Excavation should be carefully controlled to not pass below footings or more than the minimum depth below slabs on grade. If any inadequate soils, immovable boulders, stone ledges, ground water or other potential problems are encountered, notify the Project Manager immediately.

Backfill - shall not begin until the foundation and retaining walls have reached 90% of their bearing capacity and are firmly braced with the floor deck of the structure or some other means. Backfill subsoll material shall be well draining, non-absorptive, fine, granular material, not frozen, free from rocks or materials that may rot, placed in compacted 8" layers. Backfill will stop at 8" below the expected finish grade. Placement of backfill will be closely coordinated with the placement of subsurface drains, pipes and other elements to insure good working order. Backfill shall be placed to not exceed a slope of 1" vertical to 3' horizontal at any location, as approved by the county. Contractor to carry an allowance for new subsoll assuming that existing subsoll is not adequate for foundation along the perimeter of the house.

Termite protection for New Homes - Foundation to be pretreated for termite protection for one year. Owner shall have an option at their expense to continue the termite protection policy.

CONCRETE

Quality control - All concrete work will comply with the requirements of ACI-318.

Reinforcing bars - shall meet or exceed the requirements of ASTM A-615 grade 60.

Footing preparation - Unless otherwise noted, footings will be placed on undisturbed earth a minimum of 30" below finish grade and at least 12" below any existing grade or soil with a minimum bearing capacity of 2,500 psf. Footings will be centered under the walls or other elements they support. Footings will not be located on backfilled areas. Fill below slabs shall be compacted to a minimum 2,000 psf bearing capacity.

Concrete mix for footings - Footings will be a minimum 5 bag mix attaining a 2,500 psi minimum.

Continuous footings - will be a minimum of 6" wider on each side of the foundation wall they support and a minimum 8" deep. Steps in continuous footings shall maintain the thickness of the footing and shall not exceed a ratio of 2 horizontal for every 1 vertical and 2'-0" vertical in each step. Reinforce with two, #4 rebar concentrically located 3" from the bottom and 3" from the outside and inside footing face, tied with #3 rebar at 48" o.c. along their entire length.

Column and pier footings - Minimum column or pier footing size (for normal residential loading and average assumed soil capacity) unless otherwise determined by calculation will be 24" x 24" x 12" thick, one story, and 30" x 30" x 15" thick, two story. Reinforce with #4 rebar at 8" o.c. both directions.

Concrete slabs-on-grade - Interior floor slabs will be min. 4" thick concrete (28 day compressive strength of not less than 2,500 psi.) W/ 6x6, 10 gauge WWM, over an approved vapor barrier (joints lapped min. 6"), over min. 4" thick base course washed gravel. Garage floor slabs will be min. 4" thick concrete (28 day compressive strength of not less than 3,500 psi.) W/ 6x6, 10 gauge WWM, over an approved vapor barrier (joints lapped min. 6"), over min. 4" thick base course washed gravel. If fill beneath concrete floor slab exceeds 8" of earth or 24" gravel, the fill must be compacted mechanically with the compaction verified by a certified test.

Poured concrete walls and CMU foundations walls - shall adhere to the requirements of the current International Residential Code in effect. If the concrete walls exceed the requirements of this code the Contractor will engage, at his cost, a structural engineer, registered in the projects state, to perform the necessary engineering to properly construct the wall.

MASONRY

Hollow masonry units - shall be Grade N1 conforming to ASTM C-90. Masonry units shall have a minimum compressive strength of 2000 p.s.i. base on the net cross sectional area of the individual block units.

Top two courses - of all CMU walls, 3 courses below beam seats, column bearing, and any corbeled CMU, will be filled solid.

Sill plate anchorage - Provide 1/2" diameter anchor bolts embedded 15" into masonry walls (7" into concrete walls) at max. 6 ft. on center for attachment of sill plates. Straps are acceptable as approved by the county. Straps / bolts shall be placed a maximum 12" from plate ends w/ minimum of two bolts per any plate (offsets not greater than 24" require only one anchor bolt in center third of plate).

Lintels - All opening in new walls and partitions are to be provided with lintels. Lintels shall be stone, concrete, slag concrete or structural steel. Provide 8" minimum bearing for lintels in all exterior walls and bearing partitions.

Concrete lintels: For spans not to exceed 6'-0" shall have one #4 rebar top and bottom for each 4' of wall thickness. All precast concrete lintels shall also be reinforced with #2 wire ties at 8" o.c.

For spans exceeding 6'-0" and less than 8'-0" shall have one #5 rebar top and bottom for each 4' of wall thickness.

Horizontal reinforcing - Provide horizontal masonry reinforcing (Dur-o-wall or equivalent) at 16" o.c. in all masonry walls. All mortar joints in masonry wall shall be filled 100% with mortar. Use buckets to measure materials for mixing mortar.

Crawl spaces - Grade of crawl spaces will be min. 18" below floor joist; 12" min. below wood beams. Crawl space floor shall either be concrete or a vapor barrier installed over floor. Provide minimum 18" x 24" access to crawl space. Provide vents of corrosion-resistant mesh, or equivalent, with the least dimension being 1/8". Total venting area shall be 11,500 sq-in/under-floor area with minimum one access three feet from each corner.

Masonry veneer - Provide 30lb. felt behind all masonry veneer covering all exposed wood. Provide 6" felt strips to cover all open joints of otherwise approved sheathing material. Attach masonry veneer to wood frame with approved ties @ 24" o.c. horizontally supporting not more than 5-1/4 square feet of wall area. Air cavity shall be 1" -1/2".

Masonry flashing - Provide through-wall flashing and 3/8" dia. weep tubes at 24" o.c at all masonry veneer steel lintels; above all windows, doors, and step flashing of low roof tie-ins; and at bottom of masonry veneer cavity above finish grade. Grout cavity solid below grade.

FRAMING

Quality control - All load bearing dimensional lumber, plywood and particleboard sheathing shall conform to applicable standards or grading rules and shall be so identified by the grade mark. The grade mark shall provide adequate information to determine the "F" and "E" values.

Lumber grading - The minimum grade and related stress for all framing lumber is as follows:

Trusses: As engineered by the truss manufacturer.

Truss design - All trusses designed by truss manufacturer's engineer will be certified by a Maryland registered engineer or meet TPI manufacturer minimum standards.

Interior Joists (engineered lumber): Based on manufacturer's tabulated Design Properties (refer to manufacturer's current literature).

Interior Joists (solid sawn lumber): Spruce-Pine-Fir #1 or br., moisture content 19% or less, Base Fb = 875 psi, Base Ft = 450 psi, Base Fv = 135 psi, Base Fc (perp) = 425 psi, Base Fc (para) = 1,150 psi, Base E = 1,400,000 psi.

Exterior Exposed Joist (solid sawn lumber): Southern Pine No. 1 or br., (pressure treated), Base Fb = 850 psi, Base Ft = 650 psi, Base Fv = 170 psi, Base Fc (perp) = 379 psi, Base Fc (para) = 1,120 psi, Base E = 1,260,000 psi.

Studs (solid sawn lumber): SPF #2 or br., moisture content 19% or less, Base Fb = 875 psi, Base Ft = 450 psi, Base Fv = 135 psi, Base Fc (perp) = 425 psi, Base Fc (para) = 2,150 psi, Base E = 1,400,000 psi.

LVL Headers & Beams: Based on Truss-Joist 1"OE LVL": E = 1,900,000 psi, Fb = 2,600 psi, Base Ft = 1,690 psi, Fv = 285 psi, Fc (perp) = 800 psi, Fc (para) = 2,510 psi.

LVL's - means "laminated veneer lumber". Framing plans are diagrammatic only; the contractor will install all LVL's per manufacturer's criteria and standard construction details.

Wall standards - The following information is standard and should be applied unless otherwise noted elsewhere in these documents:

Exterior stud walls 8 ft. and taller: 2 x 6's @ 16" o.c. w/ single bottom plate, double top plate. Provide horizontal blocking at mid-height. Provide none. 1/2" exposure 1 (CDX), plywood sheathing on exterior face.

Interior stud walls: 2 x 4's @ 16" o.c. w/ single bottom and top plate.

Interior bearing stud walls 8 ft. and taller: 2 x 4's or 2 x 6, as noted in plan, @ 16" o.c. w/ single bottom plate double top plate. Provide horizontal blocking at mid-height.

Pressure treated lumber - Base plates (including plates in contact with concrete floor slab) and all wood within 8" of ground contact and wood siding within 6" of ground contact will be pressure treated.

Beam clearances - Wood beams in exterior masonry or concrete walls shall maintain 1/2" clear on top, sides, and ends.

Trade coordination - Coordinate with the plumber, electrician and HVAC contractor for special wall thickness' and joint locations affected by the relative trade.

Bridging - In solid-sawn lumber, Contractor to provide metal bridging at 8'-0" intervals when joist depth is 11" or greater. Manufacturer I-joists shall be provided with bridging per manufacturer's criteria.

Fire stopping - will be provided per local code requirements.

Live loads - The following Live loads are code minimums utilized for design purposes only:

Ground snow load: 110 psf
Wind speed: 110 mph
Attics w/ Limited Storage: 20 psf
Attics w/o Storage: 10 psf
Decks: 40 psf
Balconies: 60 psf
Rooms (other than sleeping): 40 psf
Sleeping areas: 30 psf
Passenger vehicle garages: 50 psf (2000 lb point load over 20 sq. in area)
Handrails: 200 lb concentrated lateral load
Soil bearing capacity - 2,000 psf

Moisture control - Wall studs (interior and exterior) to be kiln-dried to 15 percent or verified with a moisture meter to have a 15 moisture content or less prior to installation. All lumber to be kiln-dried to 19 percent or less.

Roof Sheathing - Fir or Advantech, APA Exterior Exposure Rating, APA Rated Sheathing, Square-Edge, Sized for Roof Span. Apply roof-sheathing panels with surface grain and long

dimension running perpendicular to the rafters or trusses. Space panel ends 1/16" apart and edges 1/8" apart. Secure with min. 6d ring-shank or spiral thread nails for panels 1/2" thick or thinner. Use 8d nails for thicker panels. Stagger joints between panels. On overhangs at gable ends, the sheathing should extend at least two rafter or truss spaces into the roof. Install aluminum H clips on unsupported edges of roof sheathing panels greater than 14'-1/2".

Exterior Wall Sheathing - Fir or Advantech, APA Exterior Exposure Rating, APA Rated Sheathing, Square-Edge, Sized for wall stud Span. Exterior walls to be fully sheathed. Use 6d nails for 1/2" or thinner sheathing and 8d for thicker panels. Install panels vertically. Nail panels to walls studs at 4" o.c. on edges and 8" o.c. on interiors.

Subflooring - 3/4" thk. Advantech sheathing, APA Exposure 1 Rating, Tongue and Groove Edge, Sized for Floor Span. Install subflooring with surface grain and long dimension running perpendicular to the joists. Staggered end joints. All subflooring shall be glued with a continuous 3/8 inch diameter bead of construction adhesive on all joists and nailed. Use glue manufactured for intended application. Where panel ends butt, apply two beads of adhesive. Nail subflooring with 8d ring or screw-shank nails spaced 6 inches on all edges and 12 inches on intermediate members.

Floor Framing:
1. Floor framing to be installed as per I-joist manufacturer's details and shop drawings. Use manufacturer's hangers, squash blocks, etc. as required.
2. Provide double trimmers for all floor openings.
3. Provide ladder framing for all non-bearing interior partitions running parallel with the floor joists system.

4. Holes cut in solid lumber joists should be a maximum diameter of 1/3 the depth of the joist and located min. 2 inches from the top or bottom of the joist.
5. Notches in solid lumber joists shall not exceed 1/6 the depth of the member, shall not be longer than 1/3 of the depth of the member and shall not be located within the middle 1/3 of the span.
6. Use manufacturer's recommendations/limitations for holes or notches cut in I-joists.

THERMAL AND MOISTURE PROTECTION

Foundation Dampproofing - Foundation walls of rooms located below grade shall be waterproofed with membranes extending from the edge of the footing to the finish grade line. The membrane shall consist of either 2-ply hot mopped felts, 6-mil. polyvinyl chloride, 35-pound roll roofing or equivalent material. The laps in the waterproofing membrane shall be sealed and firmly affixed to the wall. Foundation Drainage System - shall be provided at all foundation walls extending below grade with habitable space on one side of wall. Extend drainage system as necessary to channel water to footing drain pipe. Provide MiraDRAIN installed as per manufacturer's recommendation.

Sub soil drains - shall be provided around perimeter of all basements, cellars and crawl spaces where interior grade is lower than exterior. Provide on interior and exterior of foundation walls. Drains will be below level of floor, min. 3" in diameter, w/ min. 4" gravel (or equal) on all sides and wrapped in filter fabric. Drains shall discharge to gravity outfall; where gravity outfall is not possible, discharge to sealed sump pit with pump.

Roofing installation - Roofing finish material will be as specified in the Product Specification Schedule or as selected by the Project Manager. Roofing installer will provide all necessary, compatible flashing for proper installation of selected roofing material. Prefinished, exposed aluminum flashing, if employed, shall be colored to blend with the roof finish.

Batt insulation - Unless otherwise noted in the drawings, fiberglass batt insulation shall be installed at the envelope of the house meeting the minimum R-Values noted below. Fiberglass batt insulation is to be installed in accordance with manufacturer's recommendations. Combustible facings on fiberglass insulation material shall not be installed so as to remain exposed to occupiable spaces.

Spray-Foam Insulation - Where noted in the drawings, spray-foam insulation will be provided meeting the minimum R-Values noted below. Spray-foam shall be manufactured by Icynene, Inc., shall be open- or closed-cell as specified, and shall provide the appropriate R-Value for the location, cavity, etc., where being applied.

Insulation Values - Minimum R-values and maximum U-values shall be as follows:

Window U-factor:	0.35
Roof/ceiling assemblies:	R-49
Exterior walls above grade:	R-20
Floor:	R-19 (Floors over outside air must meet ceiling requirements)
Basement walls:	R-10/13
Slab perimeter:	R-10
Crawl space walls:	R-10/13

Fiber Cement Lap Siding, Shingles, and Panels - will be as specified in the Product Submittal Schedule or Material Schedule. Refer to manufacturer's "Instructions & Best Practices" for handling and installing specific siding products.

Lap Siding - Exposed butt ends shall have factory edges, joint flashing, and aligned with a wall stud. Stagger butt ends a minimum of two studs between rows. Maintain alignment of courses around entire. Joint flashing be manufacturer's recommended.

Azek Trim and Mouldings - refer to Azek's installation guide for the proper handling and installation of specific product.

WINDOWS AND DOORS

Window and door information - Window and door model numbers and rough masonry openings, shown in the plans, are based on the product specified in the Product Specification Schedule or Window Schedule. Window head heights shall match existing on each level unless noted otherwise.

Rough openings - for windows and doors will be as required by the selected manufacturer of the window and door to shall be confirmed by the Contractor.

Safety glazing - All glazing located closer than 24" horizontally from a door, closer than 18" to the floor, or in any other hazardous location (i.e., adjacent shower, tub, etc.) will be tempered. Thickness of glazing shall be a minimum of 1/4" unless a greater thickness is required to comply with industry or code requirements for the span of glass indicated on the plans. Consult glazing supplier before pricing. Glass will be clear unless otherwise noted.

Screens - All window and door screens shall be in conformance with local jurisdictions.

Egress windows - All windows noted in the plans as an "Egress Window" will have a net clear opening of 5.7 sq. Ft. (5.0 sq. Ft. if a grade floor window). Minimum net clear opening height will be 24". Minimum net clear opening width will be 20". Maximum sill height will be 44". Contractor shall verify clear openings of all windows required as a second means of escape.

FINISHES

Gypsum board installation quality control - All gypsum board construction will be in accordance with the criteria of the current edition of the "Gypsum Construction Handbook" published by U.S. Gypsum.

Trim - Metal corner and end beads on gypsum board, conforming to USG standards and types, will be provided at all possible locations.

Finishing - All gypsum board is to be taped, spackled, sanded and finished in accordance with established procedures.

Paint - All gypsum board surfaces will be painted the wall paint color listed in the Product Specification Schedule or as specified by the Project Manager. All rooms not noted to receive a specific paint finish will be painted with the Standard Paint noted in the schedule.

Gypsum Greenboard - will be installed in all bathrooms and other areas prone to high humidity and moisture exposure.

Paint systems - The Contractor will provide the manufacturer's recommended primer and number of finish coats for the paint color specified (minimum two top coats), compatible with the material applied to.

Surface preparation - Contractor to prepare substrate, correct minor defects and clean surfaces as required for proper application of specified paint finish. Remove electrical plates, hardware, light fixture trim, escutcheons, and fittings prior to preparing surfaces or finishing. Items - Unless specifically noted otherwise, doors, frames and shelving will be painted in semi-gloss matching the color of the adjacent wall.

Patches - Existing walls being modified will receive new paint matching existing. New paint will be applied in such a manner as to blend with the existing. If a blending of new and old is not possible, the Contractor will repaint entire wall plane. The Client reserves the right to reject any wall patches that do not blend naturally.

Supply Side: Trunk Ducts - 700 fpm; Branch Ducts - 600 fpm; Supply Outlet Face Velocity - 700 fpm.

Return Side: Trunk Ducts - 600 fpm; Branch Ducts - 400 fpm; Return Grille Face Velocity - 500 fpm; Filter Grille Face Velocity - 300 fpm.

Painting Uncoated Exterior Brick - Brick must be free of dirt, loose and excess mortar, foreign and organic material. Remove efflorescence and chalk. Do not paint surfaces if moisture content or alkalinity of surfaces or mortar joints exceeds that permitted in manufacturer's written

instructions. Primer sealer: S-W Loxon Concrete & Masonry Primer Sealer, A24W8300, at 8.0 mils wet, 3.2 mils dry. Topcoat (2 coats): S-W Solo Acrylic Semi-Gloss, A76 Series, at 4.0 mils wet, 1.5 mils dry, per coat. Color to be selected by architect.

Tile schedule - Refer to the floor plans for tile locations. Tile and grout will be as specified in the Product Specification Schedule or specified by the Project Manager.

Tile Backer Board - 1/2" Durock will be installed as a substrate to all interior floor and wall tile applications. Install Durock so that joints do not align with joints in the subfloor.

Surface preparation for application of tile - Contractor to verify that surfaces are smooth and flat and ready to receive work. Remove ridges and bumps, and any existing finish material. Fill minor or local low spots, cracks, joints, holes, and other defects as required. Installation of the new tile finish shall indicate the installer's acceptance of the substrate.

Installation of floor tile - Unless noted otherwise: over interior concrete substrates, install in accordance with the Tile Council of America (TCA) Handbook Method F113, dry-set or latex-portland cement bond coat; where waterproofing membrane is indicated, install in accordance with TCA Handbook Method F122, with latex-portland cement grout; over wood substrates, install in accordance with TCA Handbook Method F142, with standard grout; at tiled shower receptors install in accordance with TCA Handbook Method B415, mortar bed floor, and W244, thin-set over cementitious backer unit walls and grout with silicone rubber grout.

Installation of wall tile - Unless noted otherwise: over cementitious backer units install in accordance with TCA Handbook Method W244, using membrane at toilet rooms, kitchens and locker rooms; over gypsum wallboard on wood or metal studs install in accordance with TCA Handbook Method W243, thin-set with dry-set or latex-portland cement bond coat; over interior concrete and masonry install in accordance with TCA Handbook Method W202, thin-set with dry-set or latex-portland cement bond coat.

Tile accessories - Provide matching marble thresholds when material transitions at a door. Provide base tile, wall tile cap, bullnose tiles at edges, etc.

Hardwood Flooring - All hardwood flooring shall be installed per manufacturer's criteria and the recommendations of the National Wood Flooring Association (NWFA).

Vapor Retarder - Provide vapor retarder between subfloor and floorboards. Provide Aquabar "B" for strip flooring over conventional framing. Provide Bostic MVP (Tolux-applied membrane when installing wood floors over slabs and radiant-heating systems and when installing wide plank flooring.

Environment - Do not bring flooring into home until HVAC has been in operation for a minimum of two weeks. The relative humidity shall be between 30% and 50% when the home is at 70". Flooring shall be "tracked" to acclimate to the environment and shall not be installed until its moisture content is 7.7%.

Installation - Nailed hardwood flooring shall be nailed at every joist to minimize squeaks. Ends of boards shall be staggered so that there will be a minimum 8" offset between the ends of any two adjacent boards.

Finishing - Floors shall be properly sanded, cleaned, buffed, and prepared for the specified stain and two coats of polyurethane finish. Provide additional top coats if required. Verify stain color and finish sheen with Owner prior to performing the work.

Access panels - The Contractor will provide access to all existing and new concealed items requiring access. Access panels in gypsum board construction shall be metal or rigid plastic with appropriately sized flush access doors and drywall mud flanges. (doors to be approved by the PM prior to installation). Each access panel will have a screwdriver activated latch and will be painted to match adjacent surface.

Attic access - A readily accessible access opening not less than 22" X 30" shall be provided to all attic areas. Closets (other than walk-in) are not considered readily accessible.

Stairs and Railings - Minimum stair width is 3'-0". Minimum headroom is 6'-8" clear at all points. Minimum tread is 10" + 1" nosing. Maximum riser is 7-3/4".

Handrails - Grasable, 2-5/8" max. Cross-section. One continuous, min. (Right hand descending recommended). Between 30" - 38" above nosing.

Guardrails - Open side of stair shall have a guardrail not less than 34" in height, measured above tread nosing. Intermediate rails or ornamental closures shall be installed so as not to allow passage of an object 4" or more in diameter. Porches, balconies, decks and other raised surfaces located more than 30" above the floor or grade level, shall have guardrails not less than 36" high.

FURNISHINGS

Cabinets - Cabinets as located on the plans, listed in the schedules, or as designed by an independent cabinet supplier, will be provided. Vanity cabinet(s) will be capped by a countertop as specified in the Product Specification Schedule or as specified by the Project Manager. A matching 4" splash at rear wall shall also be provided. n.u..

Caulking - A continuous caulk joint matching the wall color will be provided at all locations where the perimeter of a cabinet, filler, or counter top join a wall or ceiling surface.

MECHANICAL SYSTEMS

Design - The contractor shall design/build a mechanical system as described herein and consistent with the design intent of the associated drawings and criteria of the Project Manager.

Quality control - All HVAC work shall be done under the supervision of a Master Mechanic.

Permits - All permits relative to the HVAC will be the responsibility of the Contractor.

Indoor Design Criteria - Summer: 75 degrees F; 50%-55% relative humidity; Winter: 70 degrees F. The system shall limit temperature differences between rooms to 4 degrees.

Outdoor Design Criteria - Current information for the closest area to the site as published by ASHRAE or Air Conditioning Contractors of America (ACCA). Heat Loss and Gain Calculations - The contractor shall calculate heat loss and gain for each individual room based on Manual J Residential Load Calculations (current edition) by ACCA. Heat losses and gains shall be based on 300 btuh/person during peak load conditions. Heat gain's from gas fireplaces shall not be included as part of heat gain calculations.

Equipment - Primary and Secondary heating and cooling equipment shall be sized by the contractor as outlined in Manual S - Residential Equipment Selection by ACCA and equipment manufacturer's data. Equipment manufacturer shall be selected by the Project Manager.

HVAC Units - shall be manufactured by York or Carrier (or approved equal) and will be heat pump systems with LP gas backup. Heat pump SEER to meet current code if not specified otherwise.

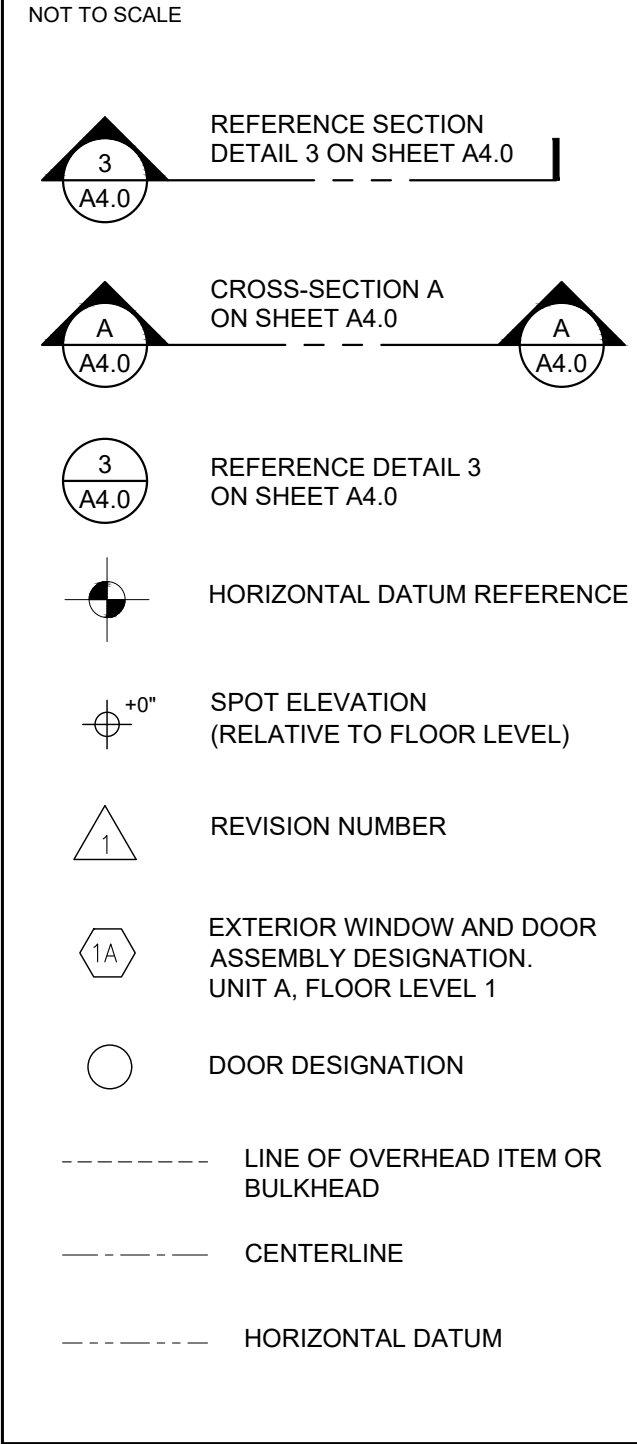
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ABBREVIATIONS

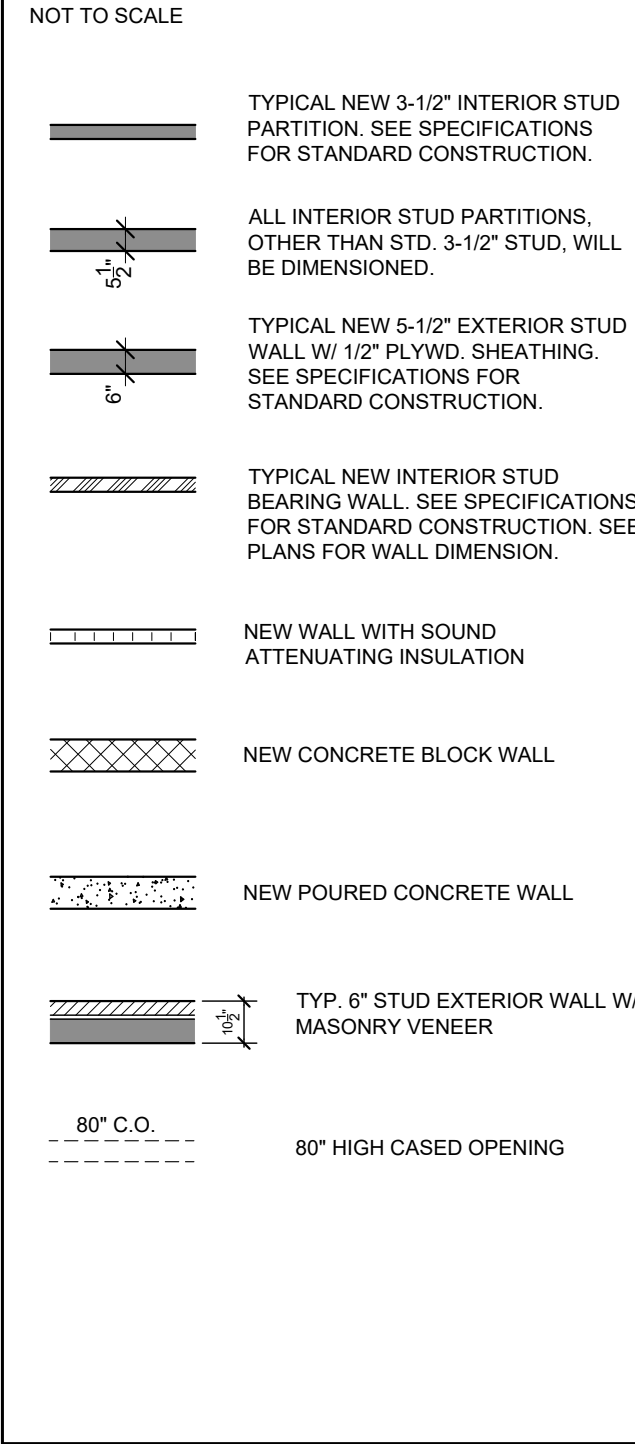
AB - ANCHOR BOLT	M - MILLION
ABS - ABOVE BUILDING STANDARD	M.O. - MASONRY OPENING
AC - AIR CONDITIONING	MAS - MASONRY
ACOUS - ACOUSTIC	MAX - MAXIMUM
ADJT - ADJUSTABLE	MECH - MECHANICAL
AFF - ABOVE FINISH FLOOR	MED - MEDIUM
ALUM - ALUMINUM	MEZZ - MEZZANINE
AP - ACCESS PANEL	MANUF - MANUFACTURER
APPD - APPROVED	MIN - MINIMUM
APX - APPROXIMATE	MLD - MOULDING
ARCH - ARCHITECT	MOD - MODEL
	MET - METAL
	MAT - MATERIAL
	MUL - MULLION
BD - BOARD	N/A - NOT APPLICABLE
BDRM - BEDROOM	N - NORTH
BET - BETWEEN	NFEW - NORMAL FACE OF EXTERIOR WALL
BLDG - BUILDING	NI - NOT IN CONTRACT
BLK - BLOCK	NO - NUMBER
BLKG - BLOCKING	NOM - NOMINAL
B.O. - BOTTOM OF	NTS - NOT TO SCALE
BRG - BEARING	
BRK - BRICK	
BSMT - BASEMENT	
BT - BOTTOM	
	OC - ON CENTER
CAB - CABINET	OD - OUTSIDE DIAMETER
CER - CERAMIC	OFF - OFFICE
CJ - CONTROL JOINT	OH - OVERHEAD
CL - CENTERLINE	OFCI - OWNER FURNISHED CONTRACTOR INSTALLED
CLG - CEILING	OPG - OPENING
CLR - CLEAR	OPH - OPPOSITE HAND
CMU - CONCRETE MASONRY UNIT	OZ - OUNCE
CO - CLEAN OUT	
COL - COLUMN	PCF - POUNDS PER CUBIC FOOT
CONC - CONCRETE	PERP - PERPENDICULAR
CONT - CONTINUOUS	PL - PLATE
CORR - CORRIDOR	PLMB - PLUMBING
CTR - CENTER	PLYWD - PLYWOOD
	PM - PROJECT MANAGER
	POL - POLISH
	POLY - POLYETHYLENE
	PR - PAIR
	PFB - PREFABRICATED
	PFN - PREFINISHED
	PROJ - PROJECT
	PSI - POUNDS PER SQUARE INCH
	PSF - POUNDS PER SQUARE FOOT
	PT - PRESSURE TREATED
	PTD - PAINTED
	R - RISER
	RAD - RADIUS
	RD - ROOF DRAIN
	RECD - RECEIVED
	REF - REFERENCE
	REFL - REFLECTED
	REFG - REFRIGERATOR
	REINF - REINFORCING
	REQD - REQUIRED
	RH - RIGHT HAND
	RM - ROOM
	RO - ROUGH OPENING
	ROW - RIGHT OF WAY
	S - SOUTH
	SC - SOLID CORE
	SCHED - SCHEDULE
	SEC - SECTION
	SIM - SIMILAR
	SP - STAND PIPE
	SPEC - SPECIFICATION
	SQ - SQUARE
	SS - STAINLESS STEEL
	STD - STANDARD
	STL - STEEL
	STOR - STORAGE
	STR - STRUCTURAL
	SUB - SUBSTITUTE
	SUSP - SUSPENDED
	SYS - SYSTEM
	T - TREAD
	TELE - TELEPHONE
	TEMP - TEMPERED
	THK - THICK
	T.O. - TOP OF
	TYP - TYPICAL
	UC - UNDER CUT
	UL - UNDERWRITERS LABORATORY
	UNF - UNFINISHED
	UNO - UNLESS NOTED OTHERWISE
	VB - VAPOR BARRIER
	VCT - VINYL COMPOSITION TILE
	VERT - VERTICAL
	W - WEST
	W/ - WITH
	W/O - WITHOUT
	WC - WATER CLOSET
	WD - WOOD
	WH - WATER HEATER
	WWM - WELDED WIRE MESH
	W.P. - WORKING POINT (CRITICAL POINT OF REFERENCE)

NOTE: ABBREVIATIONS MAY BE WRITTEN WITH OR WITHOUT PUNCTUATION (I.E.: AFF OR A.F.F.)

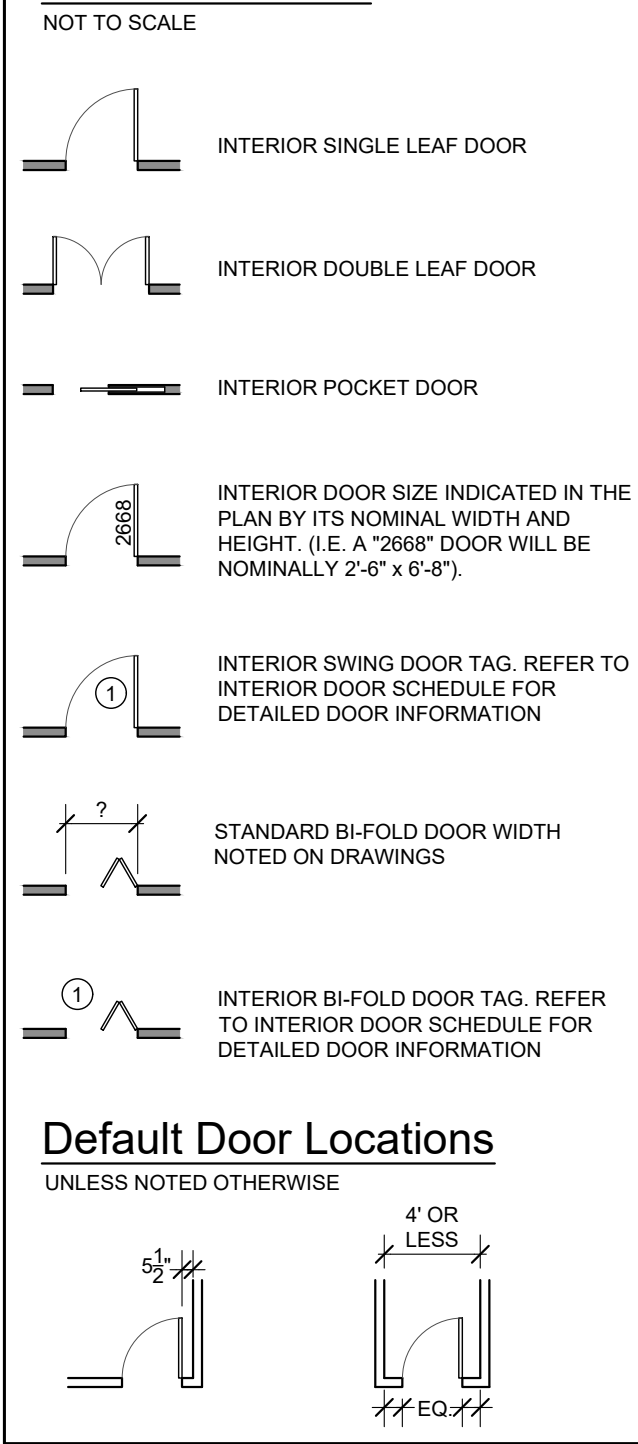
DRAWING SYMBOLS



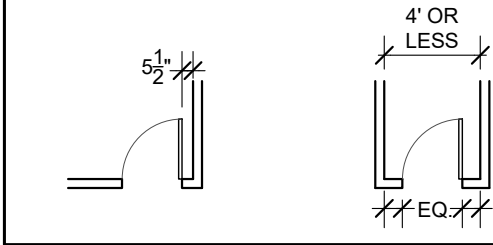
WALL TYPE LEGEND



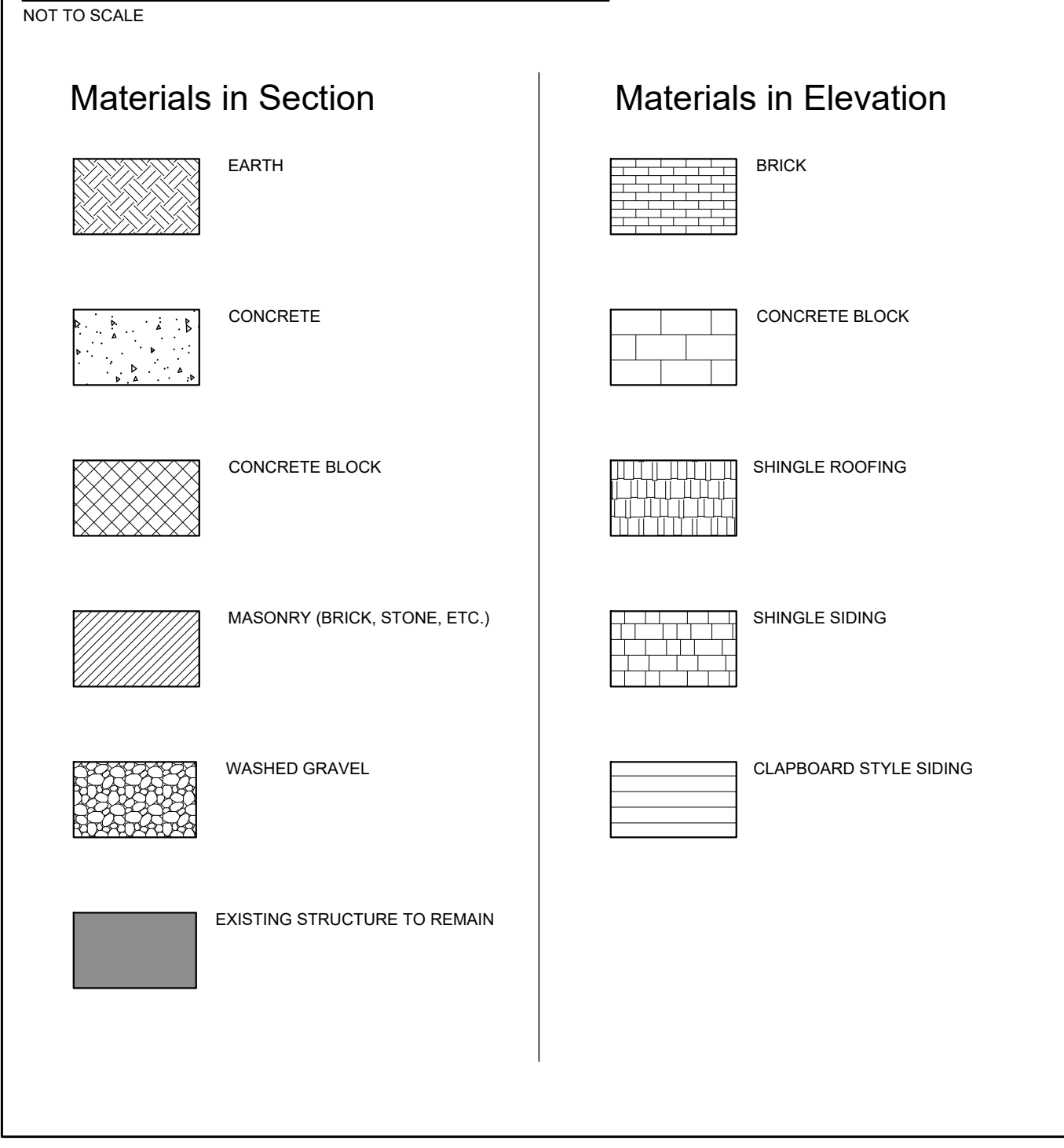
DOOR LEGEND



Default Door Locations



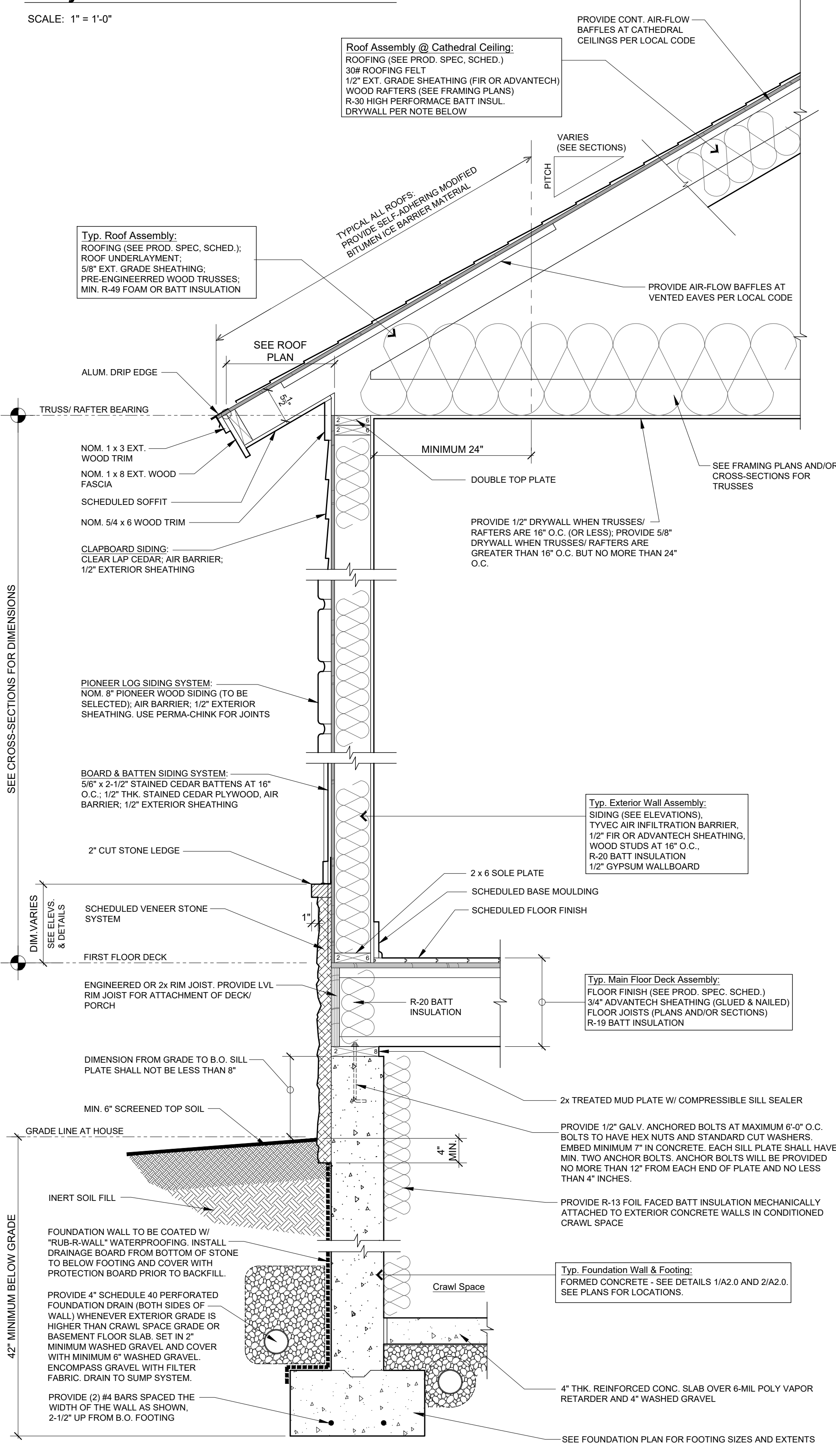
SECTION & ELEVATION GRAPHICS



SMOKE & CARBON MONOXIDE ALARMS

- SM SMOKE ALARM**
- ALL SMOKE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE 2012 IRC AND HOUSEHOLD FIRE WARNING PROVISIONS OF NFPA 72.
 - THE SMOKE ALARM SHALL BE A COMBINATION OF SMOKE DETECTOR AND AUDIBLE DEVICE.
 - SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING SYSTEM, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.
 - SMOKE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTUATE ALL OF THE ALARMS.
- CS CARBON MONOXIDE/ SMOKE ALARM**
- COMBINATION CARBON MONOXIDE ALARM AND SMOKE DETECTOR SHALL MEET THE REQUIREMENTS OF 1 THRU 4 ABOVE.

Project Generic Wall Section



CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

Ground Snow Load	Wind Design		Seismic Design Category	Subject To Damage From				Winter Design Temp.	Ice Barrier Underlayment Required	Flood Hazard	Air Freezing Index	Mean Annual Temp.
	Speed (mph)	Topographic effects		Weathering	Frost Line Depth	Termite	Decay					
110 PSF	110 MPH		C	SEVERE	42"	MODERATE TO HEAVY		5 Deg. F.	YES			41 DEG. F.

BUXTON ARCHITECTURE

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SEVERNA PARK, MD 21146

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STRUCTURAL CONSULTANT:

PROJECT

MERKERT HOUSE

Lot 15, Twilight Meadow at Cascade Village
50827 N. Hwy 550
Durango, CO. 81301

ISSUANCE

17 MAY 2021	PROGRESS REVIEW
20 MAY 2021	PERMIT SET

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PROJECT NO:	SCALE: AS NOTED

DRAWING TITLE:
GENERAL INFORMATION & STANDARDS

DRAWING NO.:
A0.2

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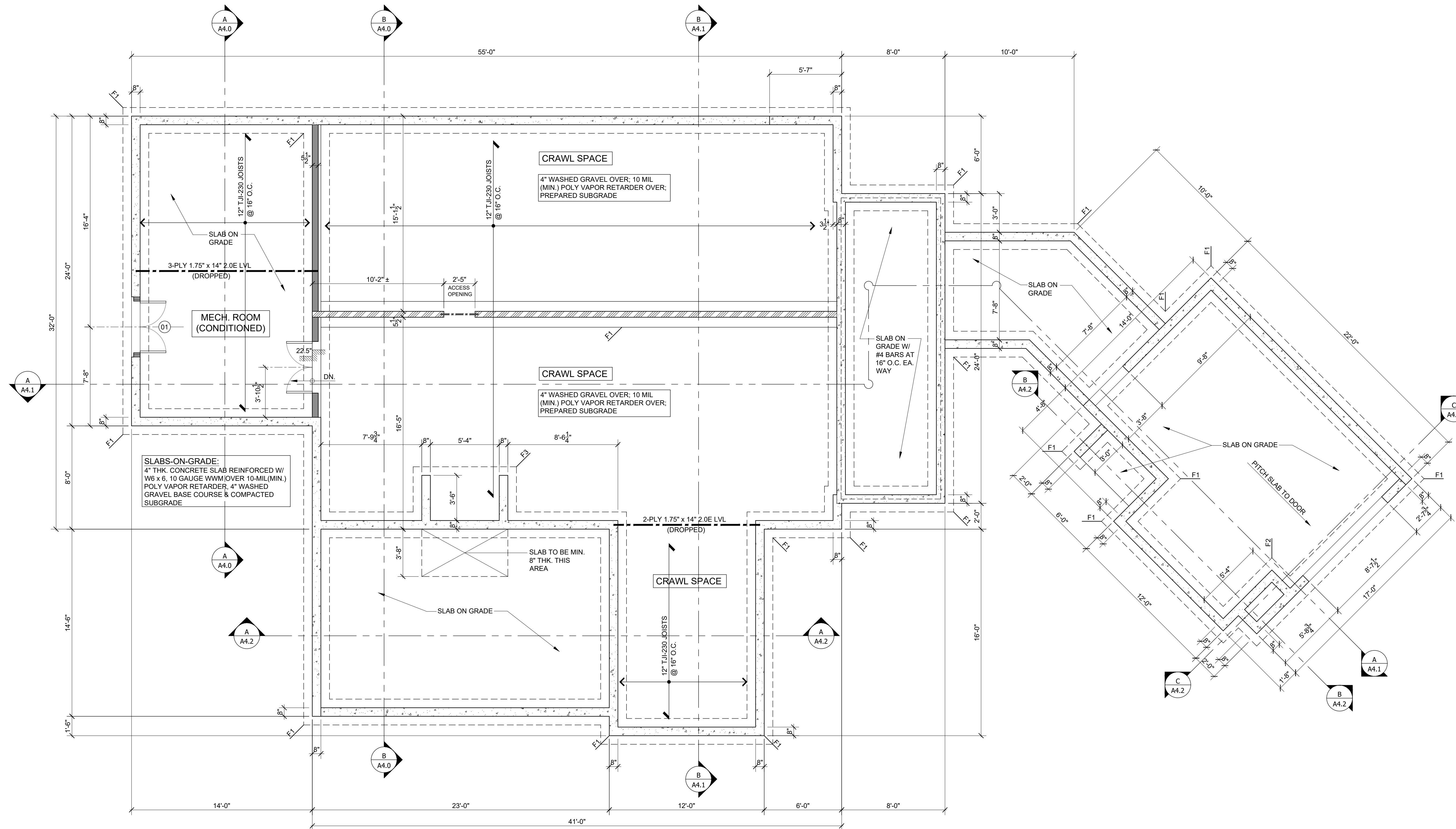
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DRAWING TITLE:
**FOUNDATION/
CRAWL SPACE
PLAN**

DRAWING NO.:

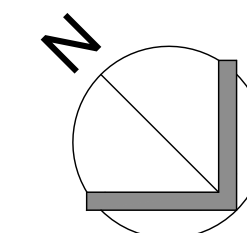
A2.0



MINIMUM COMPRESSIVE STRENGTH OF CONCRETE		
TYPE AND LOCATION OF CONCRETE	28 DAY PSI	NOTES
BASEMENT WALLS, FOUNDATIONS, AND OTHER CONCRETE NOT EXPOSED TO WEATHER	2,500	A
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2,500	A
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS, AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER	3,000	B
PORCHES, CARPORT SLABS, AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS	3,500	B

NOTES: A. CONCRETE SUBJECT TO FREEZING AND THAWING SHALL BE AIR ENTRAINED. B. CONCRETE SHALL BE AIR ENTRAINED.

FOOTING SCHEDULE				
FOOTING MARK	FOOTING SIZE	SPECIAL DETAIL(S)	NOTES	REINFORCING
F1	8" DEEP x 24" WIDE CONCRETE FOOTING	-	POURED CONC. FOUNDATION FTG.	(2) #4 BOT. BARS (CONT.)
F2	48" x 84" x 8" DEEP CONCRETE FOOTING	-	POURED CONC. FOUNDATION FTG.	(2) #4 BOT. BARS (CONT.)
F3	96" x 66" x 10" DEEP CONCRETE FOOTING	-	CHIMNEY CONCRETE PAD	#4 BARS 12" O.C. EA. WAY



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CIVIL ENGINEER:

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HOUSE

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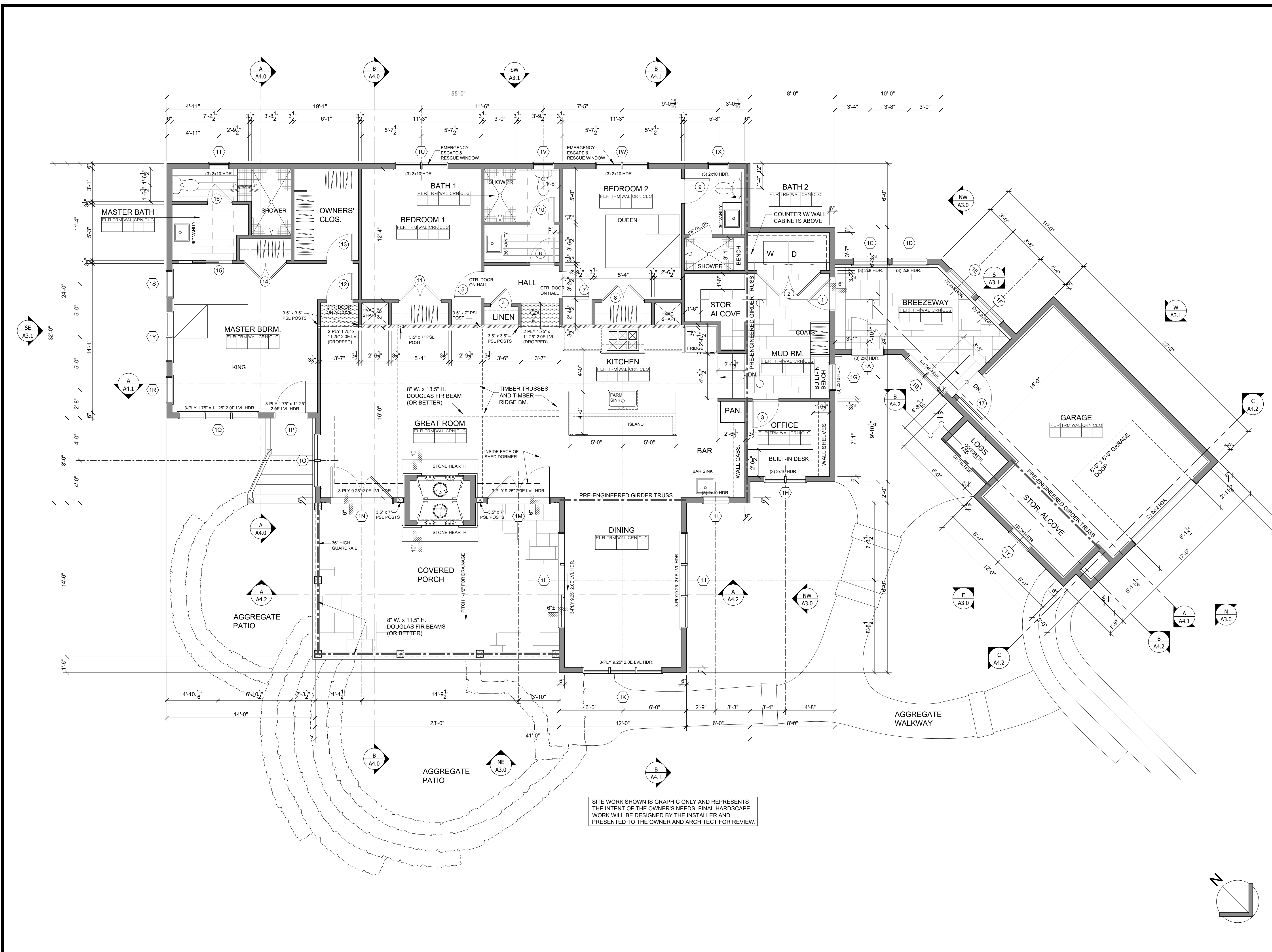
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PROJECT NO:	SCALE: 1/4" = 1'-0"

DRAWING TITLE:
**MAIN LEVEL
FLOOR PLAN**

DRAWING NO.:

A2.1



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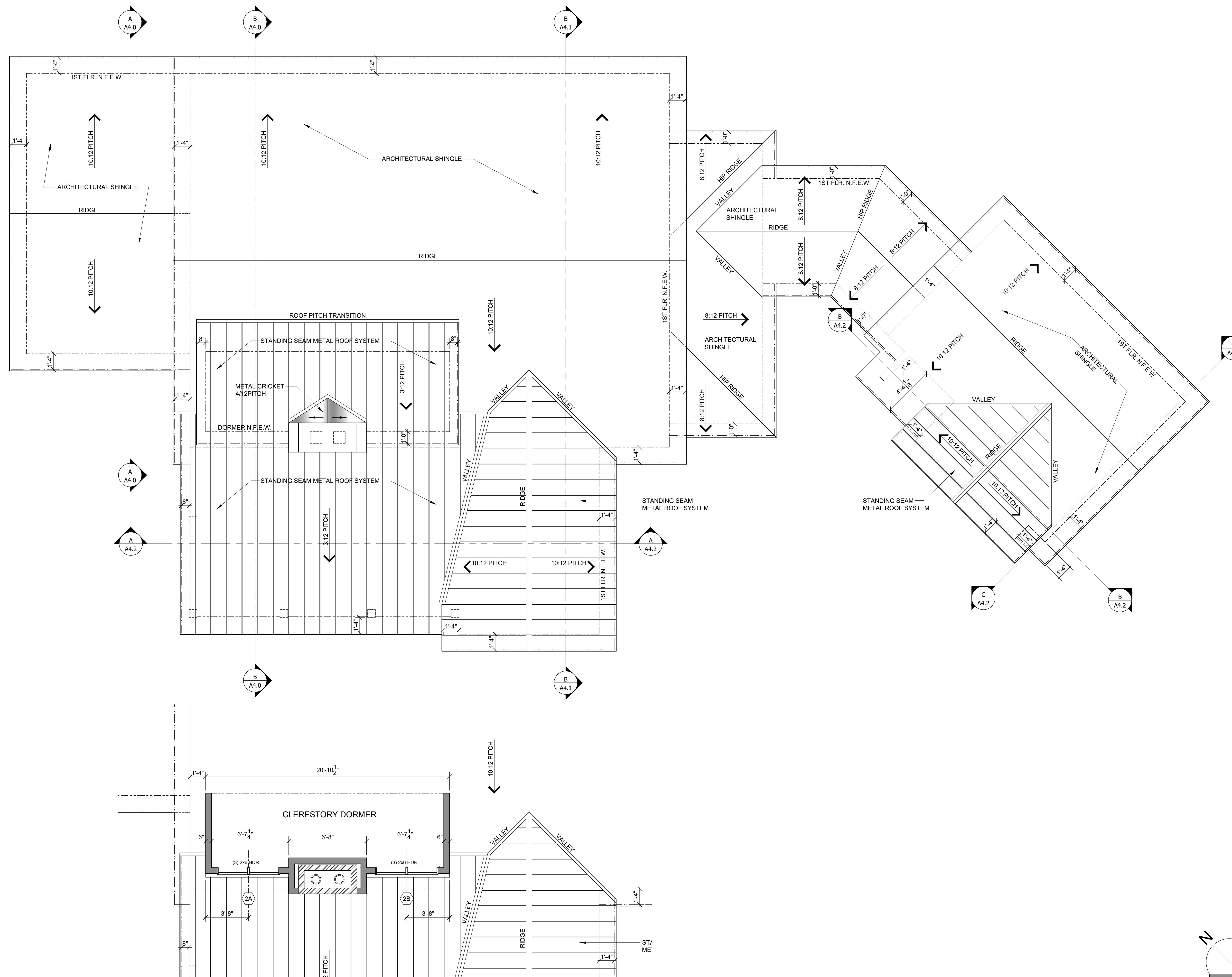
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PROJECT NO:	SCALE: 1/4" = 1'-0"

DRAWING TITLE:
**ROOF PLAN/
CLERESTORY
DORMER**

DRAWING NO.:

A2.2



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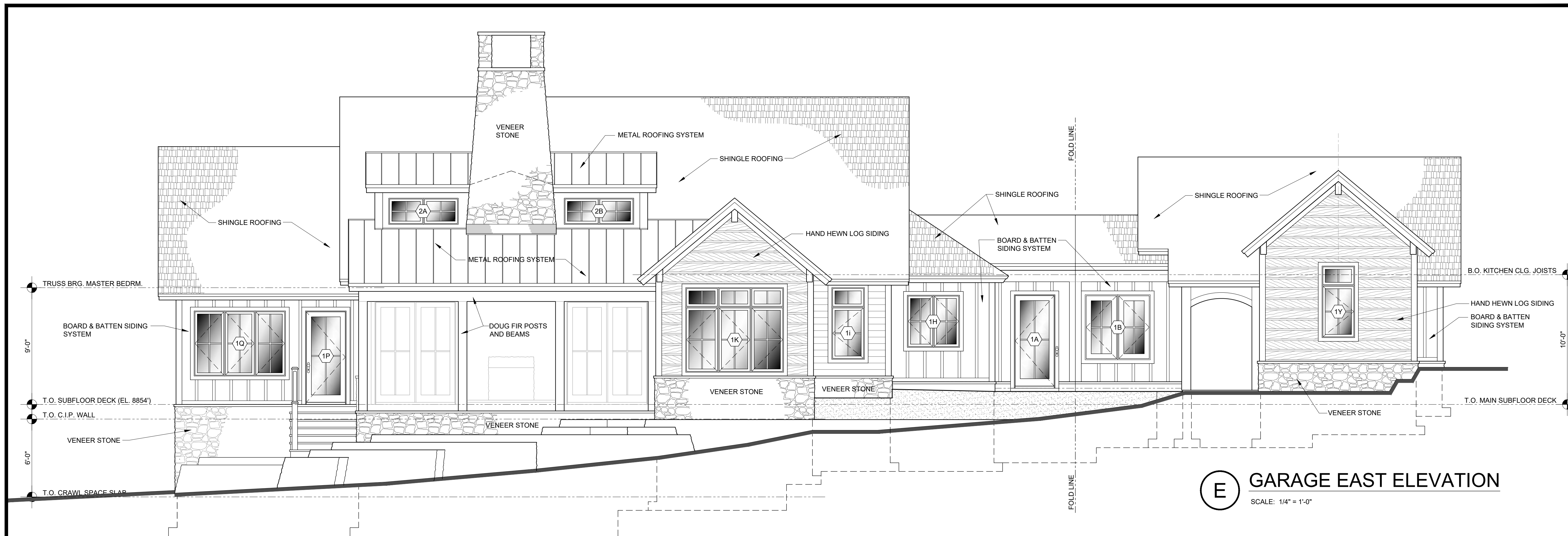
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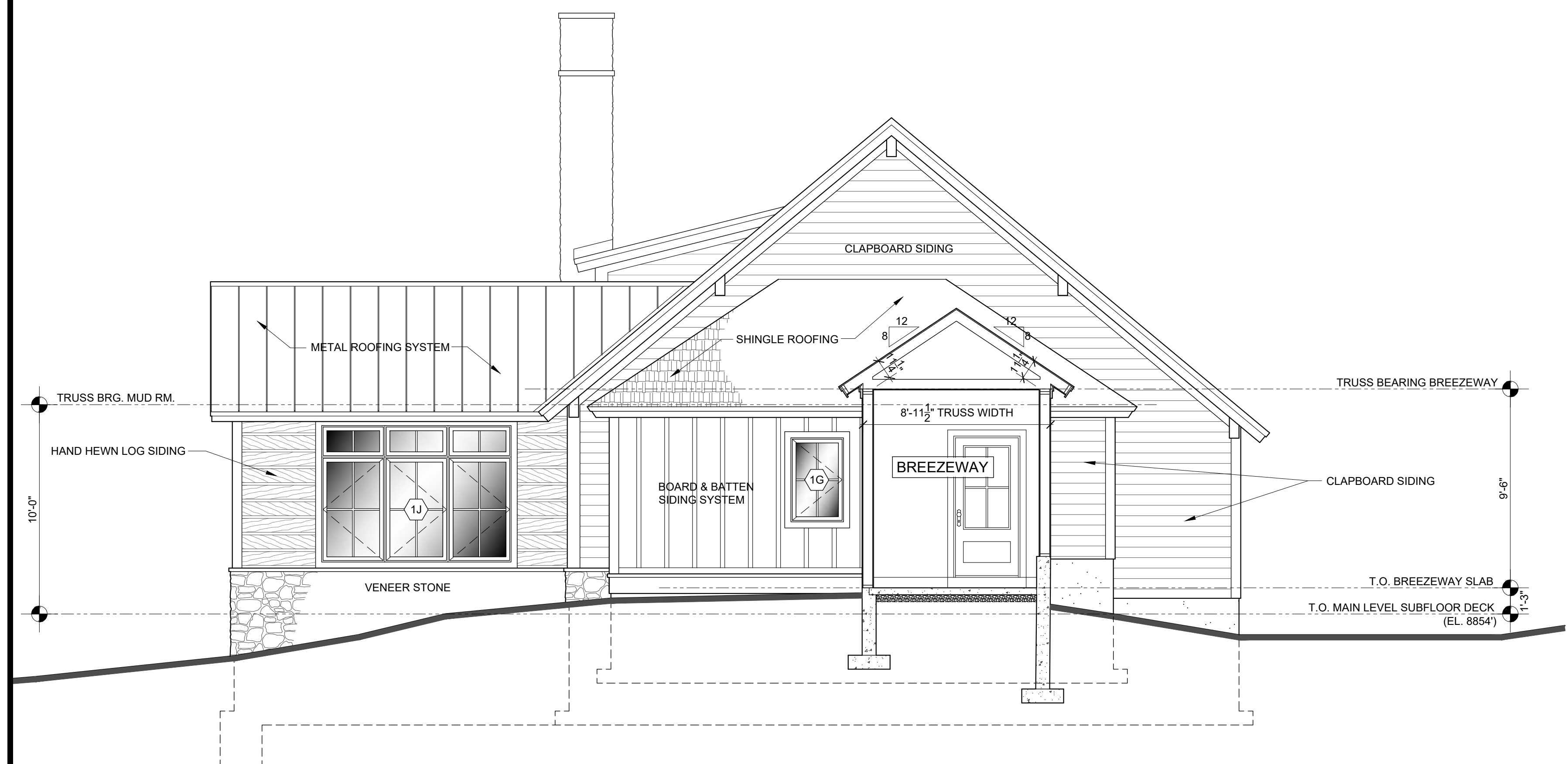
ELEVATIONS

DRAWING NO.:

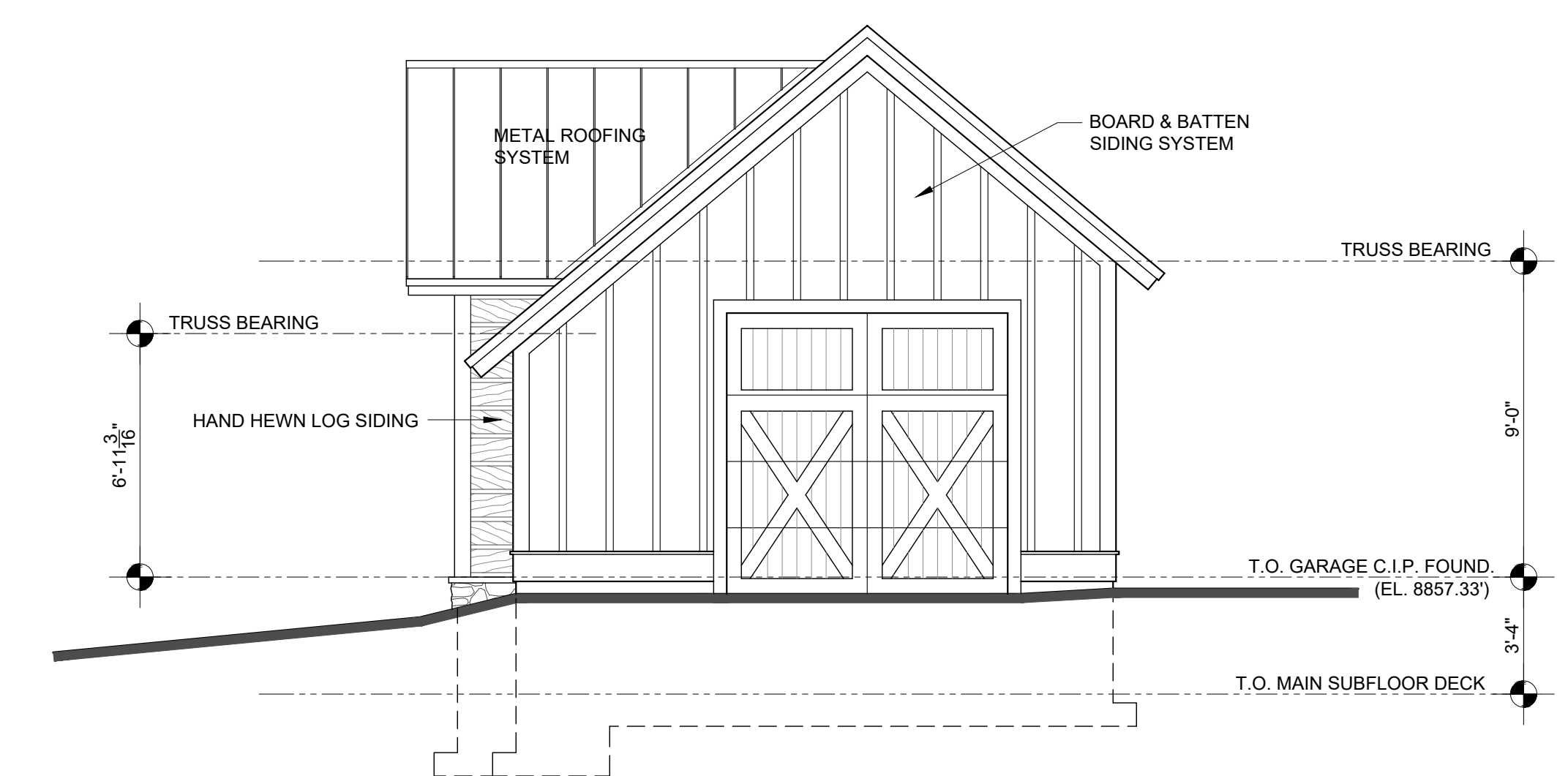
A3.0



NE NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



NW NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



N GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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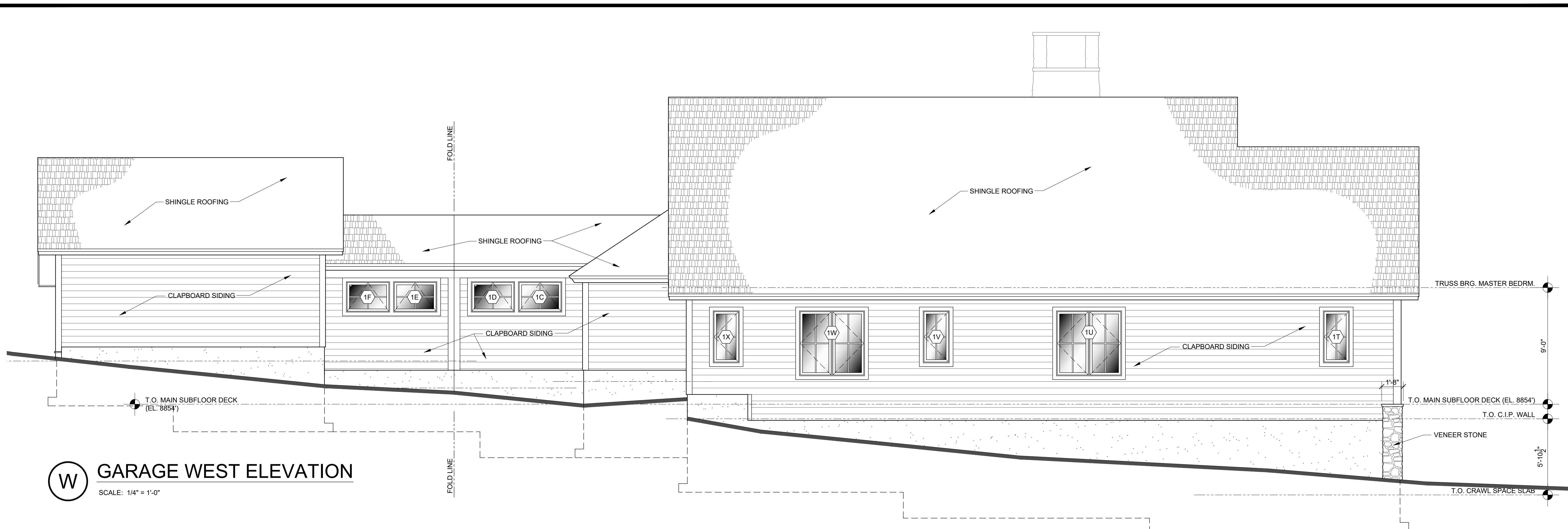
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ELEVATIONS

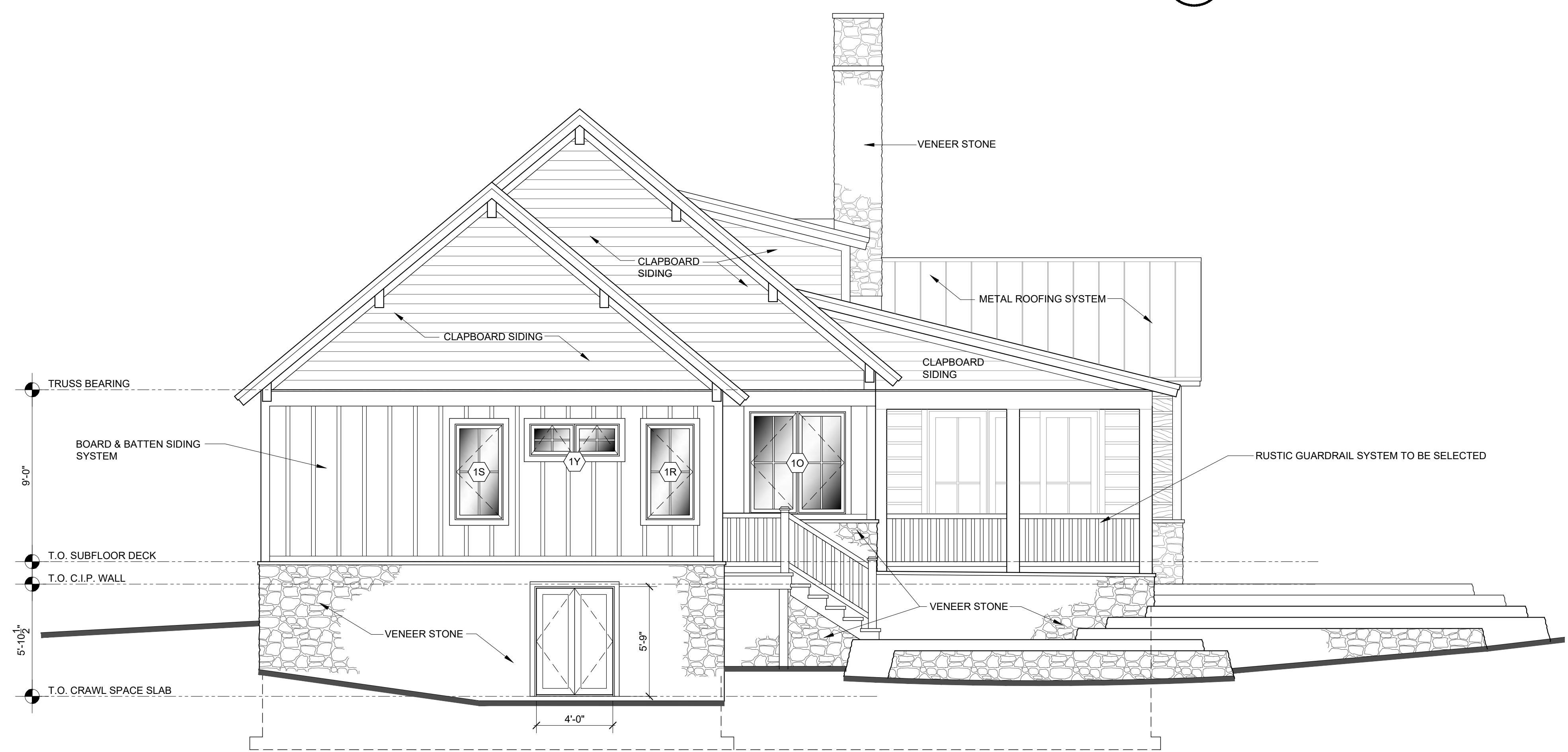
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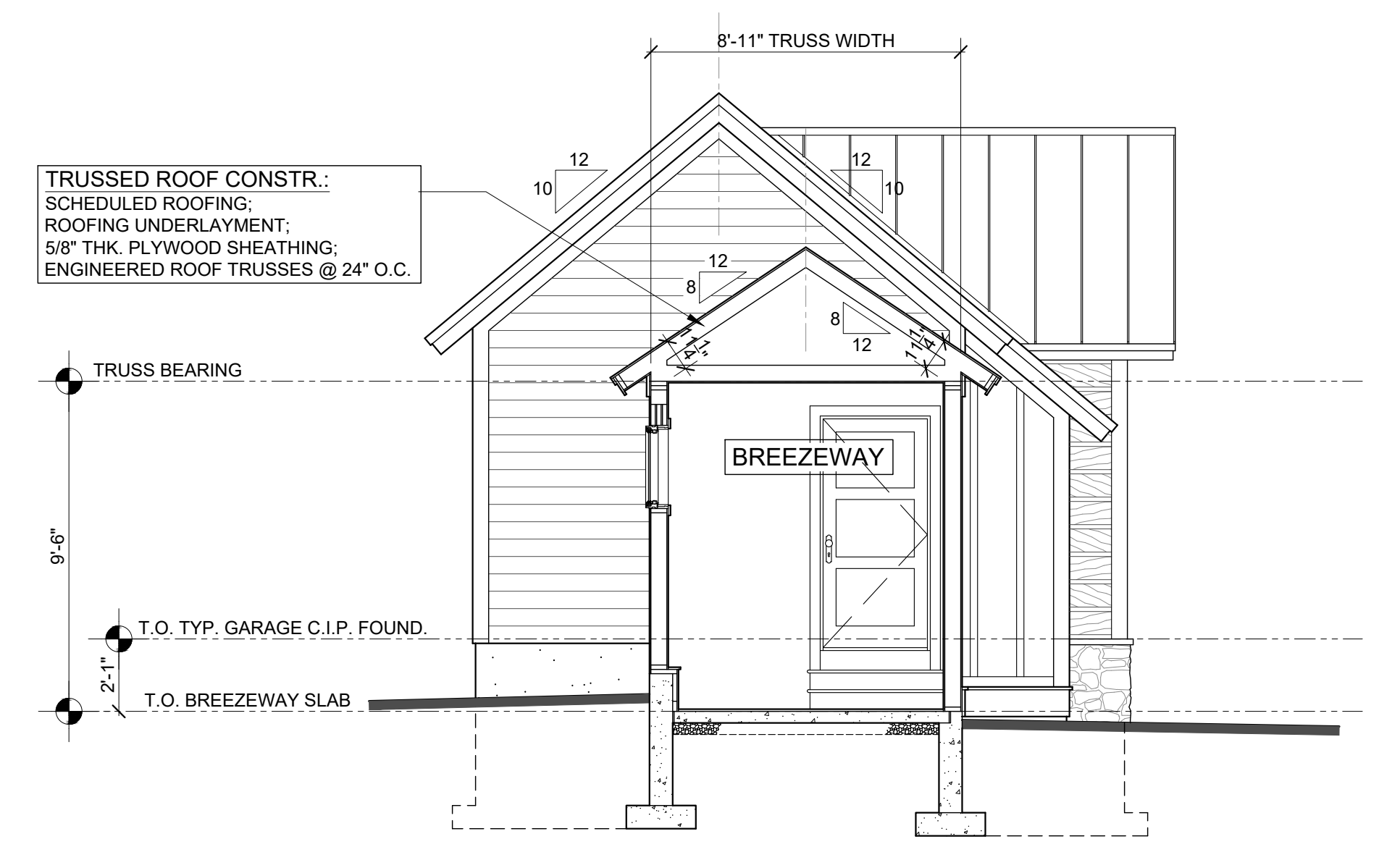


W GARAGE WEST ELEVATION
SCALE: 1/4" = 1'-0"

SW SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



SE SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



S GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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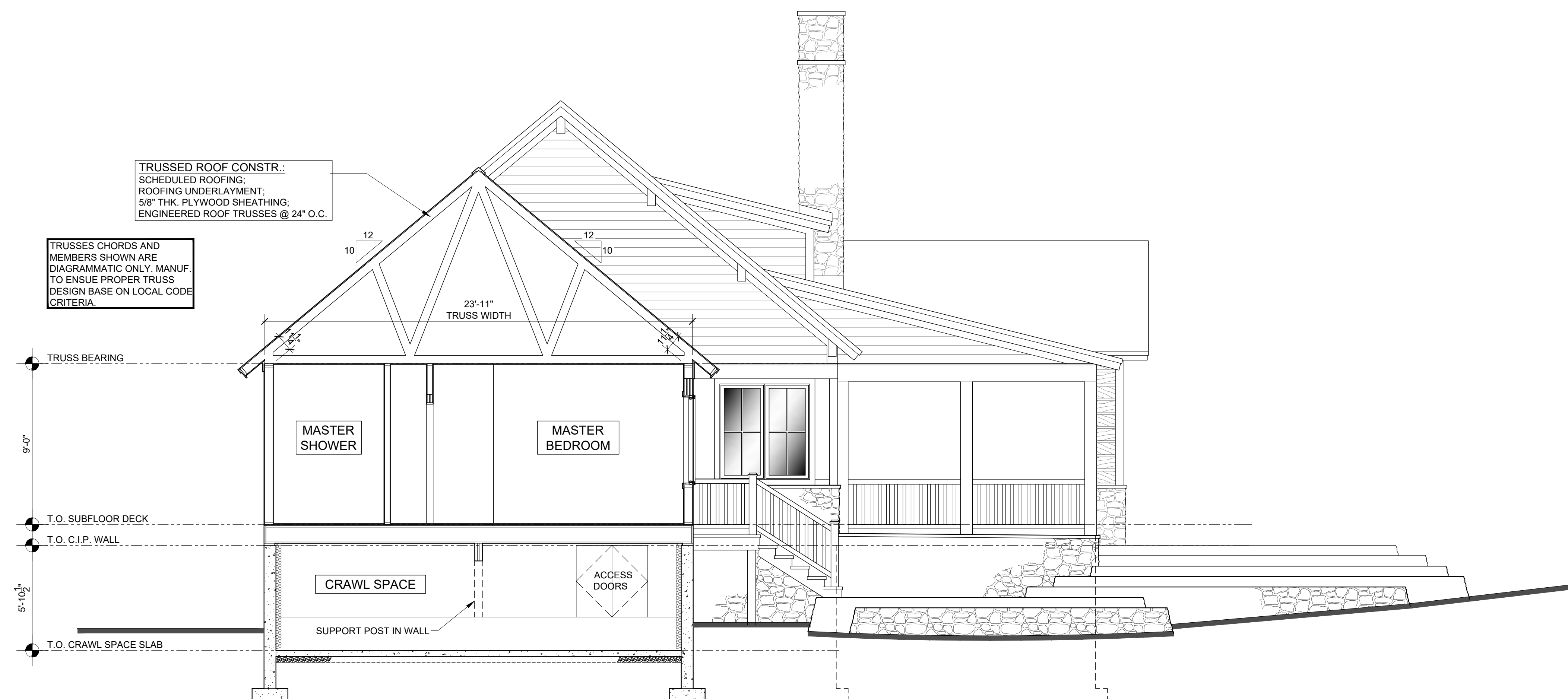
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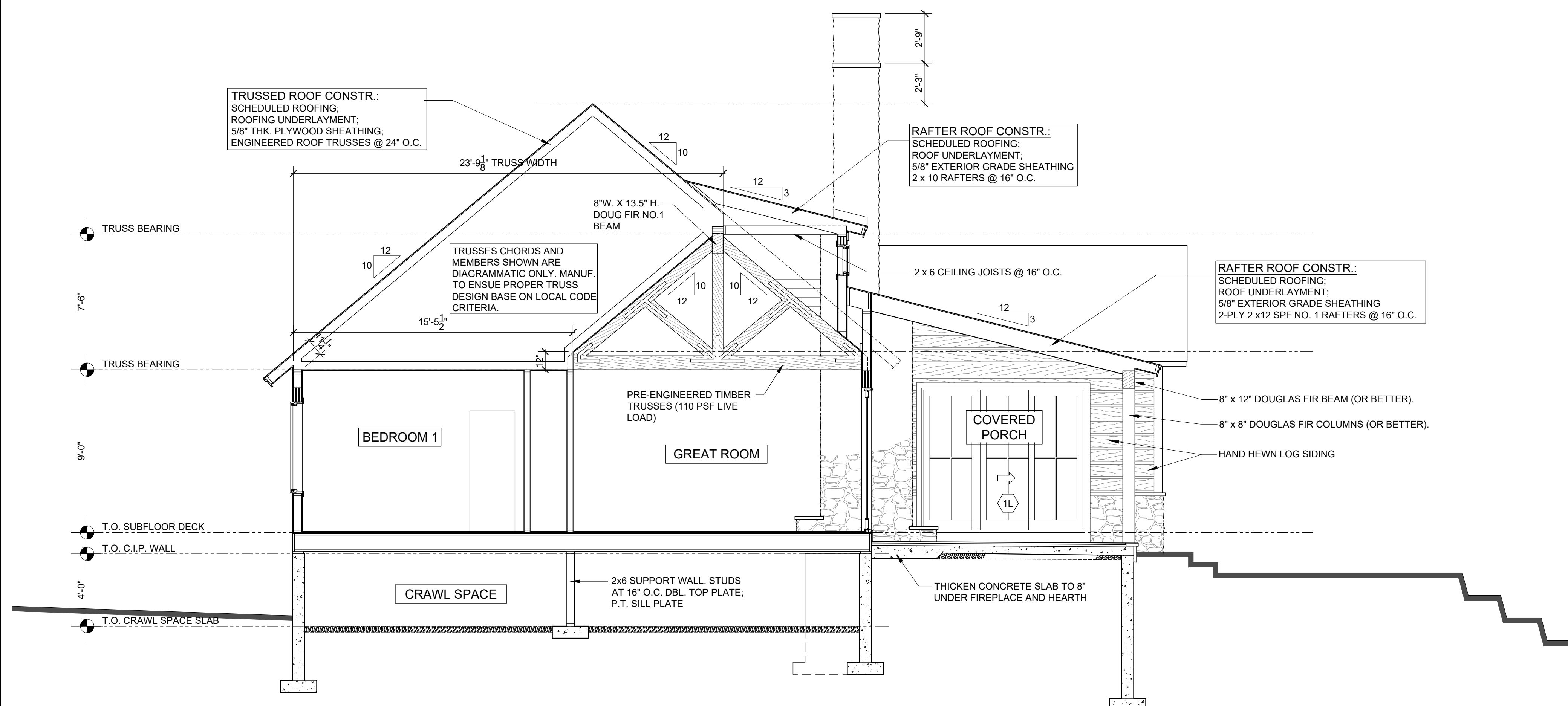
DRAWING TITLE:
CROSS-SECTIONS

DRAWING NO.:

A4.0



A CROSS-SECTION
SCALE: 1/4" = 1'-0"



B CROSS-SECTION
SCALE: 1/4" = 1'-0"

Product Specification Schedule

Masonry

- STONE PAVERS: NOM. 1" THICK RECTILINEAR CUT PA BLUESTONE MORTAR SET IN A VERSAILLES PATTERN.
- CUT STONE CAPS, TREADS AND BORDERS: NOM. 2" THICK RECTILINEAR CUT PA BLUESTONE. THERMAL FINISH ALL FACES.
- VENEER STONE: 2" NOMINAL THICKNESS. MANUFACTURED BY: PINNACLE STONE. REAL STONE, NATURAL STONE, OR LUCK STONE "MASTER CUTS".

Wood, Plastics & Composites

- EXTERIOR WOOD TRIM AND MOULDINGS: STAINED CEDAR (COLOR TO BE SELECTED).
- EXTERIOR TRIM PANELS: 1/2" THICK ROUGH SAWN CEDAR PLYWOOD (STAIN TO BE SELECTED).
- MAHOGANY CEILINGS: 1 x 6, T&G, V-GROOVED MAHOGANY (STAINED).
- SOFFITS: 1/2" THICK ROUGH HEWN CEDAR PLYWOOD (STAIN TO BE SELECTED).
- INTERIOR STAIRS, RAILS AND COMPONENTS: HARDWOOD TREADS, NOSINGS AND HANDRAILS AND NEWELS; PAINTED RISERS AND PICKETS. STYLE AND WOOD SPECIES TO BE DETERMINED.

Thermal & Moisture Protection

- SHINGLE ROOFING: 30 YR. TAMPCO (OR APPROVED EQUAL) ARCHITECTURAL, DIMENSIONAL ASPHALT SHINGLE.
- METAL ROOFING SYSTEM: 1" STANDING SEAM GALVALUME STEEL W/ KYMAR PAINTED FINISH (COLOR TO BE DETERMINED). PANELS TO BE 16" WIDE. INSTALLER TO PROVIDE ALL MATCHING FLASHINGS AND DRIP EDGES. METAL ROOFING TO BE INSTALLED OVER TITANIUM SLIP SHEET OR APPROVED EQUAL.
- CLAPBOARD SIDING: ROUGH HEWN CEDAR WITH 6" EXPOSED (STAIN COLOR TO BE SELECTED).
- BOARD & BATTEN SIDING SYSTEM.
- HAND HEWN LOG SIDING: 8" x 2" BOARDS AS MANUFACTURER BY "PIONEER LOG SIDING". INCLUDE HAND MATCHING HAND HEWN CORNER BOARDS. WOOD SPECIES TO BE DETERMINED. PROVIDE CHINKING BETWEEN LOGS USING "PERMA-CHINK".
- METAL FLASHINGS: EXPOSED METAL FLASHINGS TO BE PREFINISHED ALUMINUM. FLASHINGS FOR

METAL ROOF SYSTEMS TO MATCH ROOF FINISH; FLASHINGS FOR EXTERIOR WINDOW AND DOORS TO MATCH WINDOW FINISH; FLASHINGS FOR ROOF SHINGLES TO MATCH SHINGLE COLOR.

Doors & Windows

- SIERRA PACIFIC WINDOWS AND DOORS: SEE SIERRA WINDOW AND DOOR SCHEDULE, SHEET A5.1.
- GARAGE DOORS: TO BE SELECTED.
- INTERIOR DOORS: TO BE SELECTED.

Finishes

- PAINTS: BEST GRADE BENJAMIN-MOORE OR SHERWIN-WILLIAMS (INTERIOR AND EXTERIOR APPLICATIONS).
- HARDWOOD FLOORING: TO BE SELECTED.
- INTERIOR CUSTOM-BUILT SHOWERS: KERDI SYSTEM. TILE ALL WALLS TO CEILING. TILE CEILING IN MASTER BATH.

Allowances

- OWNER'S ALLOWANCE (MATERIAL ONLY) GC SHALL REVIEW EACH ALLOWANCE ITEM / DIVISION. PROVIDE INSTALLATIONS OF ALLOWANCE ITEMS, ROUGH INS AS REQ., ETC. UNDER BASE BID.
- BATHROOMS CABINETS & TOPS: OWNER'S ALLOWANCE.
 - GENERAL WOOD BUILT-INS & CABINETS: OWNER'S ALLOWANCE.
 - INTERIOR DOOR KNOBLEVER HARDWARE: OWNER'S ALLOWANCE.
 - CERAMIC AND STONE TILE: \$10.00 PER SQ. FT. (MATERIAL ONLY). (KERDI & DETRA SYSTEM IN GC BASE BID).
 - PLUMBING FIXTURES (sinks, toilets, tubs, faucets, etc.): OWNER'S ALLOWANCE.
 - DECORATIVE LIGHTING FIXTURES & FANS: OWNER'S ALLOWANCE.
 - FRAMELESS GLASS SHOWER DRS, MIRRORS AND ACCESSORIES: OWNER'S ALLOWANCE.
 - MASTER CLOSET WARDROBE BUILT-IN UNITS: OWNER'S ALLOWANCE.
 - HARDWOOD FLOORING: \$11.00 /SQ. FT. (3-1/2" WIDE, FINISH TO BE SELECTED).
 - FIREPLACE INSERTS (WOOD BURNING): OWNER'S ALLOWANCE.

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Village
50827 N. Hwy 550
Durango, CO. 81301

ISSUANCE

17 MAY 2021	PROGRESS REVIEW
20 MAY 2021	PERMIT SET

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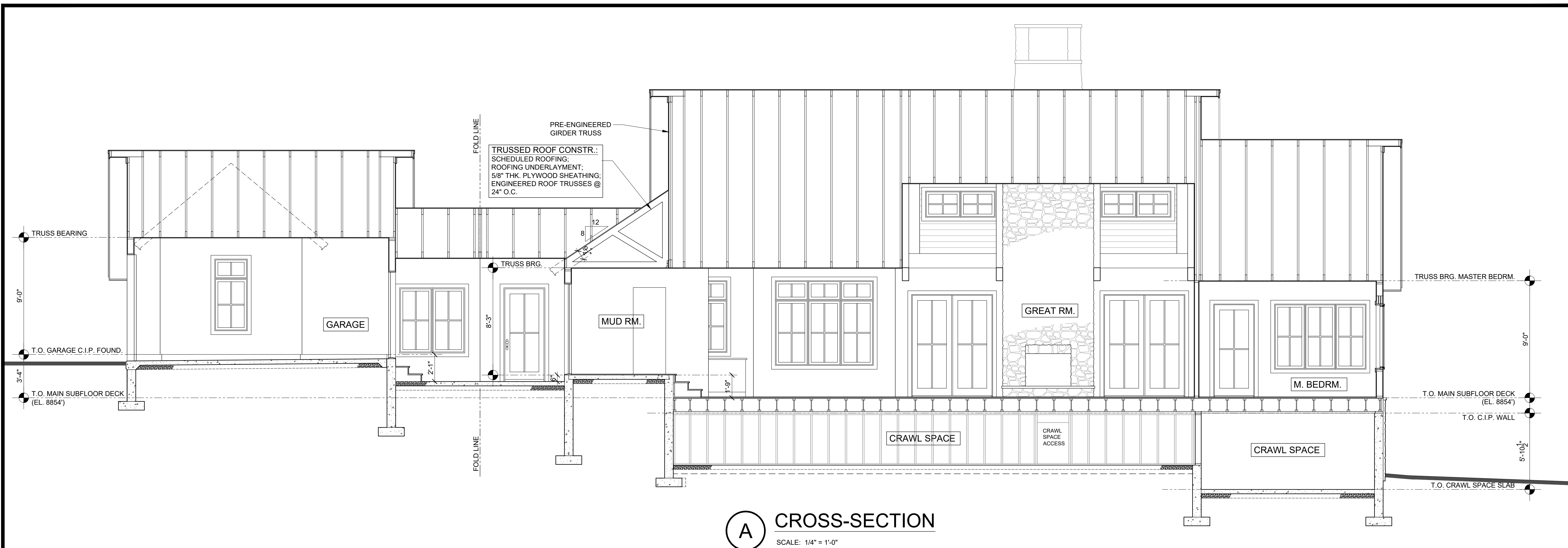
DRAWN BY: EVR	CHECKED BY: JAB
PROJECT NO:	SCALE: 1/4" = 1'-0"

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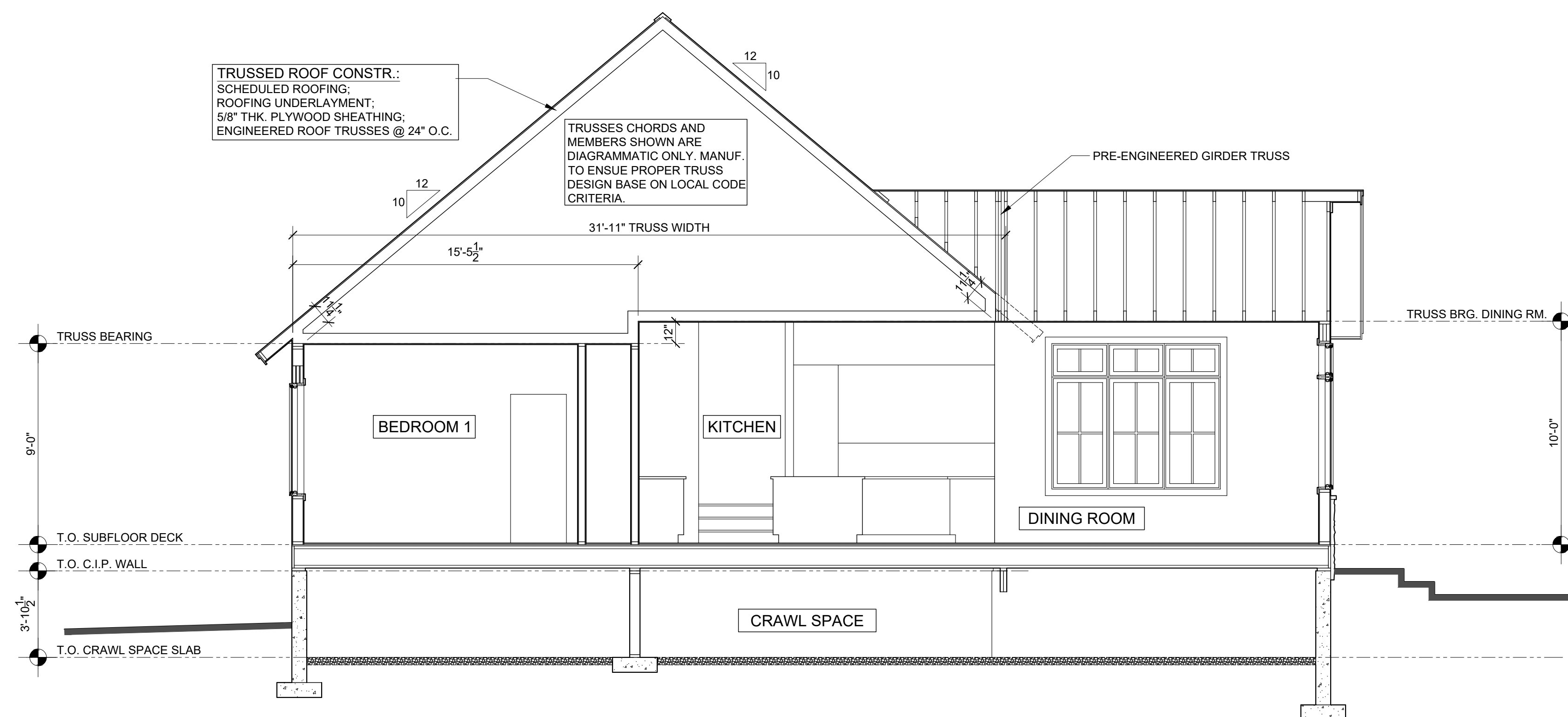
CROSS-SECTIONS

DRAWING NO.:

A4.1



A CROSS-SECTION
SCALE: 1/4" = 1'-0"



B CROSS-SECTION
SCALE: 1/4" = 1'-0"

DESIGN TEAM

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STRUCTURAL CONSULTANT:

CIVIL ENGINEER:

PROJECT

MERKERT
HOUSE

Lot 15, Twilight
Meadow at Cascade
Village
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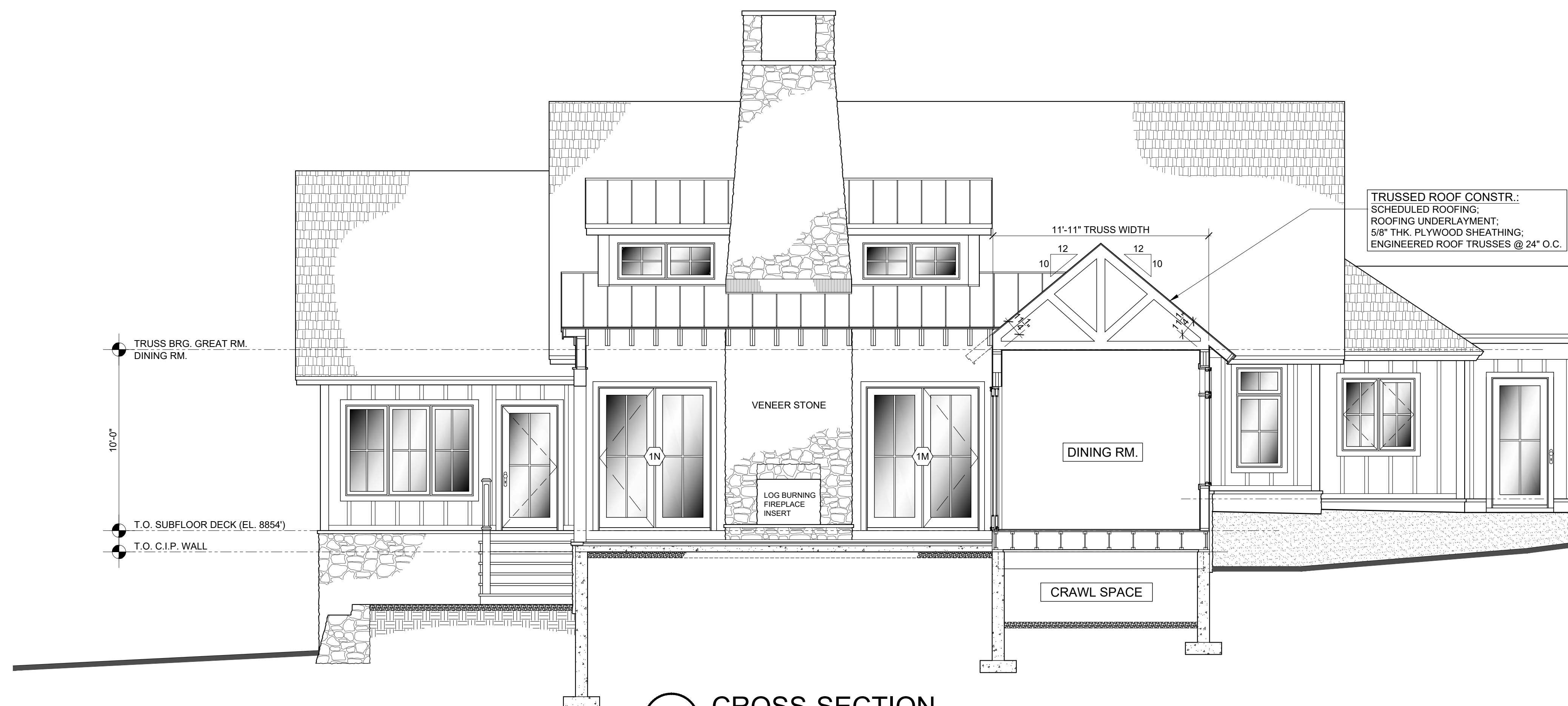
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PROJECT NO.:	SCALE: 1/4" = 1'-0"

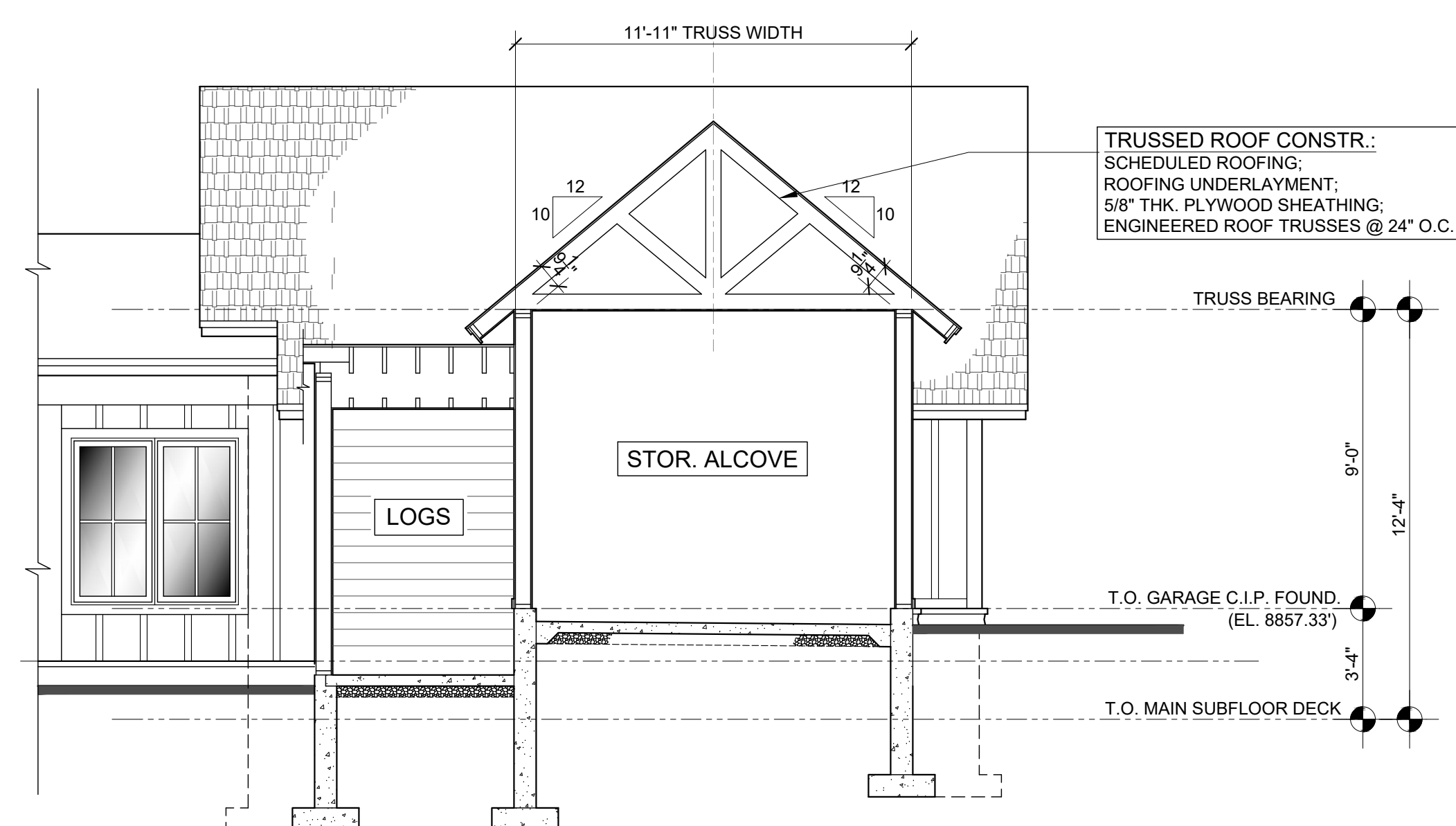
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CROSS-SECTIONS

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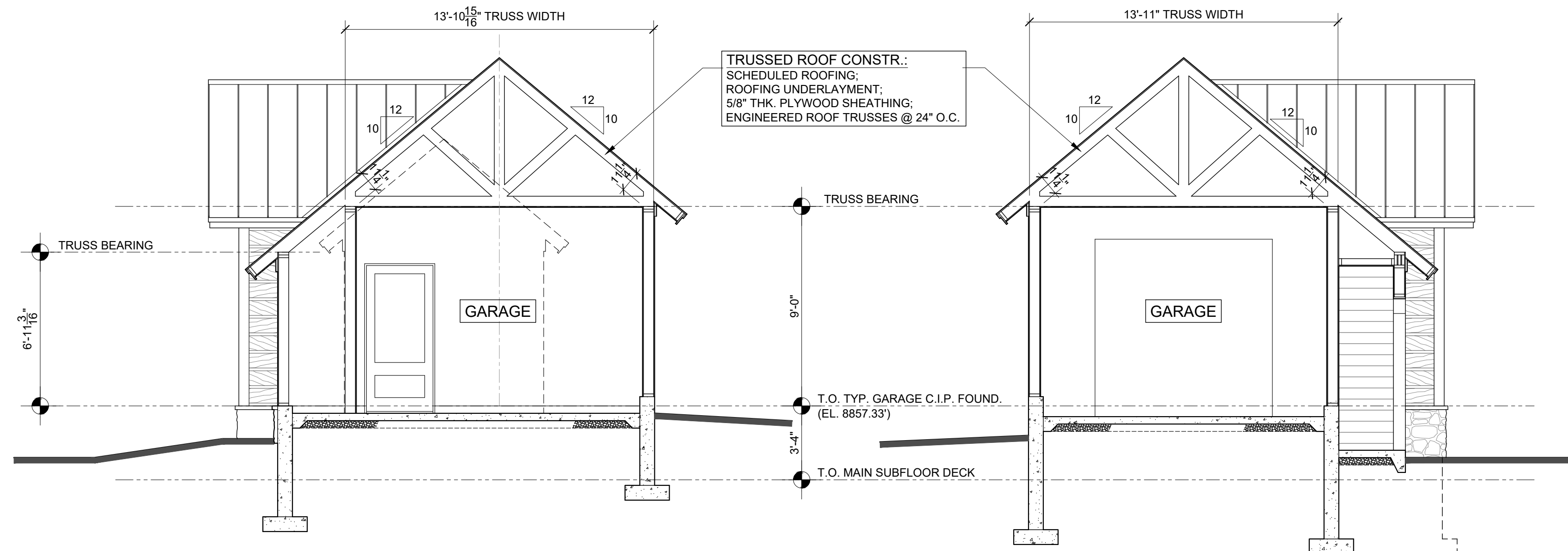
A4.2



A CROSS-SECTION
SCALE: 1/4" = 1'-0"



B CROSS-SECTION
SCALE: 1/4" = 1'-0"

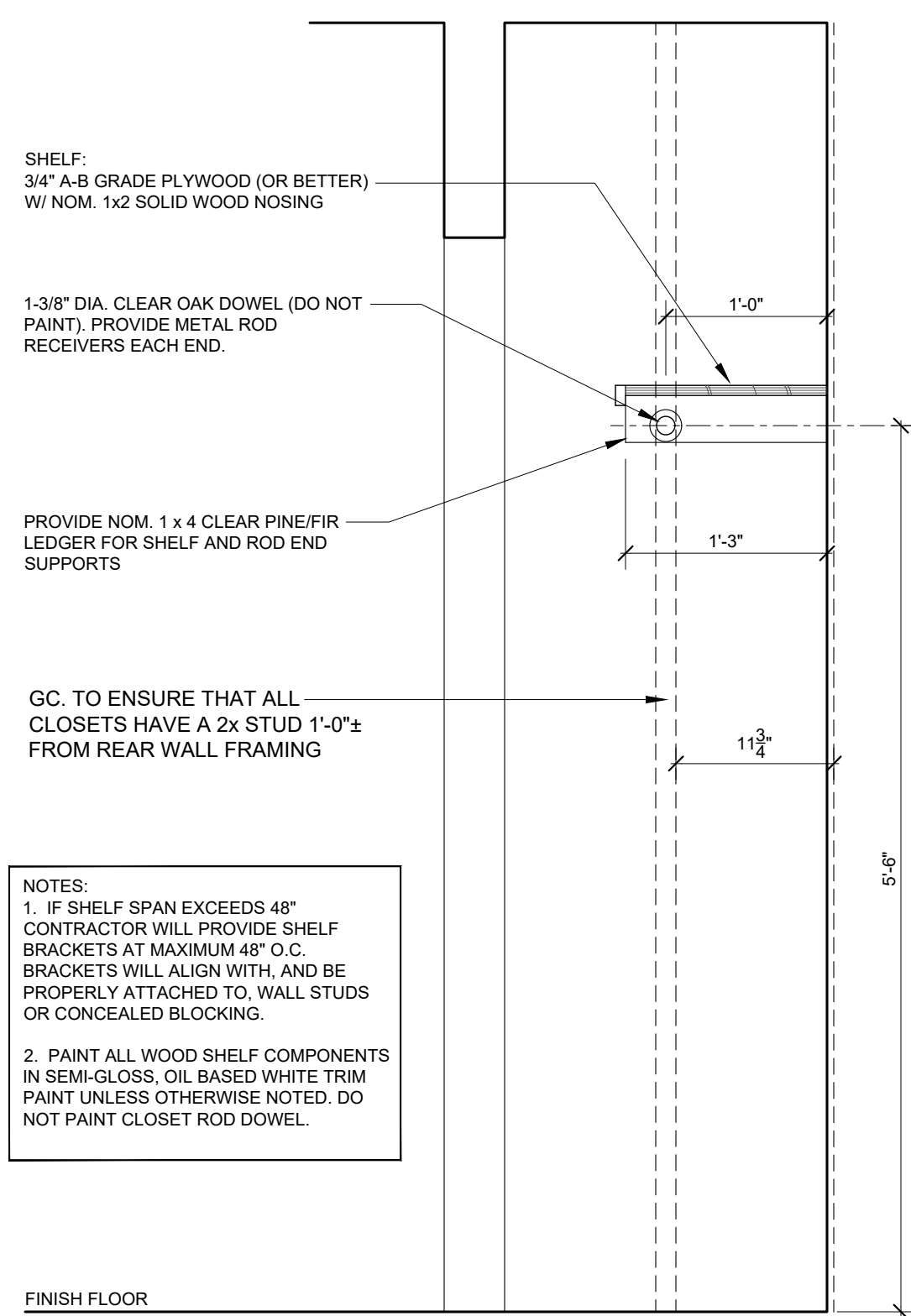


C CROSS-SECTION
SCALE: 1/4" = 1'-0"

D CROSS-SECTION
SCALE: 1/4" = 1'-0"

1 CLOSET ROD & SHELF

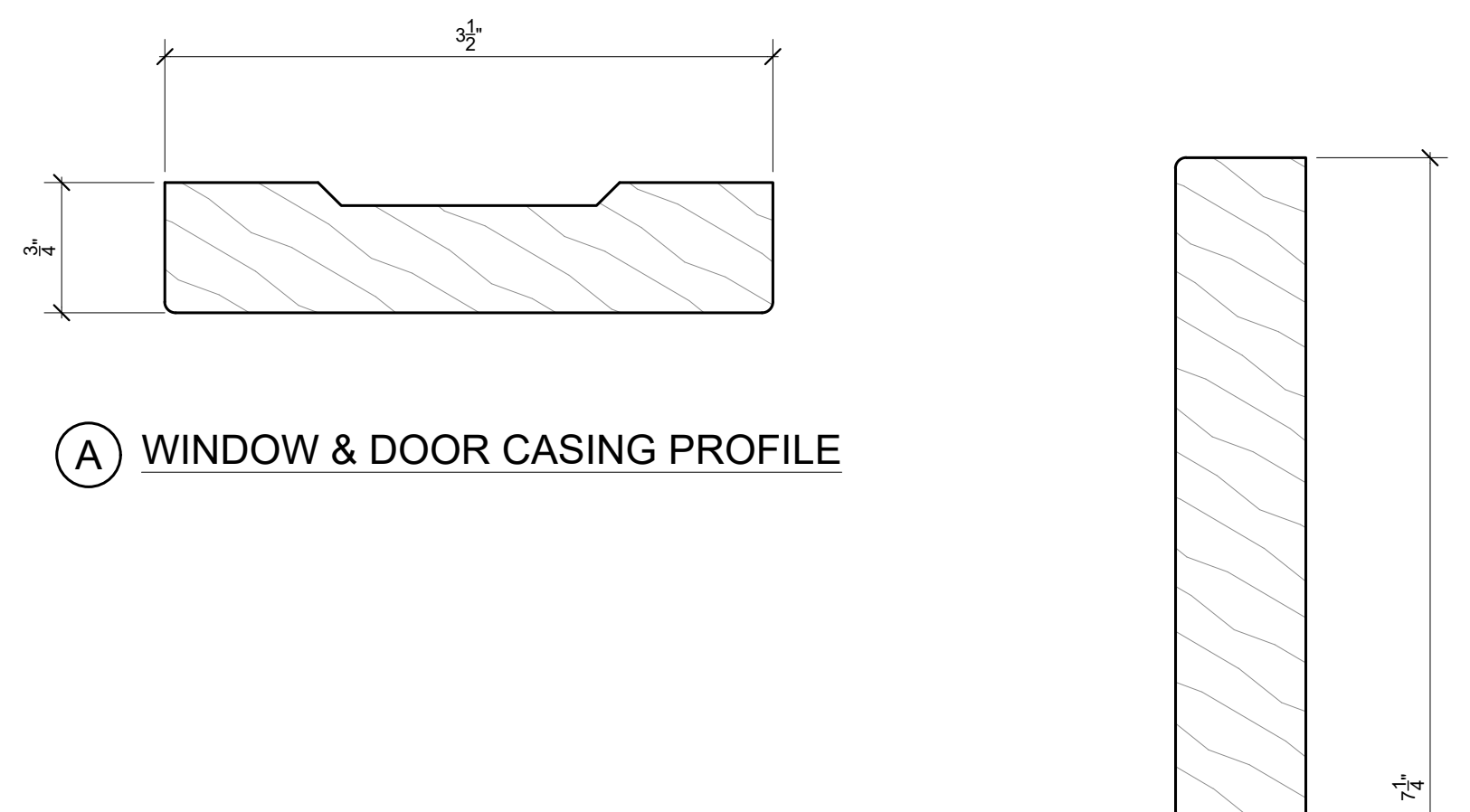
SCALE: 1" = 1'-0"



NOTES:
 1. IF SHELF SPAN EXCEEDS 48" CONTRACTOR WILL PROVIDE SHELF BRACKETS AT MAXIMUM 48" O.C. BRACKETS WILL ALIGN WITH, AND BE PROPERLY ATTACHED TO, WALL STUDS OR CONCEALED BLOCKING.
 2. PAINT ALL WOOD SHELF COMPONENTS IN SEMI-GLOSS, OIL BASED WHITE TRIM PAINT UNLESS OTHERWISE NOTED. DO NOT PAINT CLOSET ROD DOWEL.

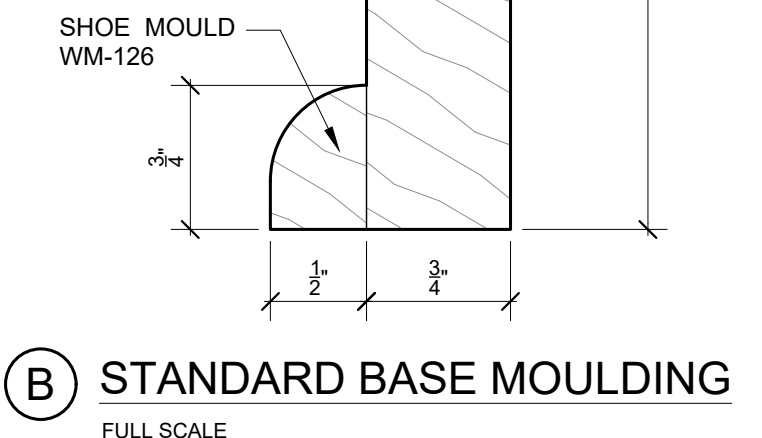
3 TYP. MOULDING PROFILES

SCALE: FULL



(A) WINDOW & DOOR CASING PROFILE

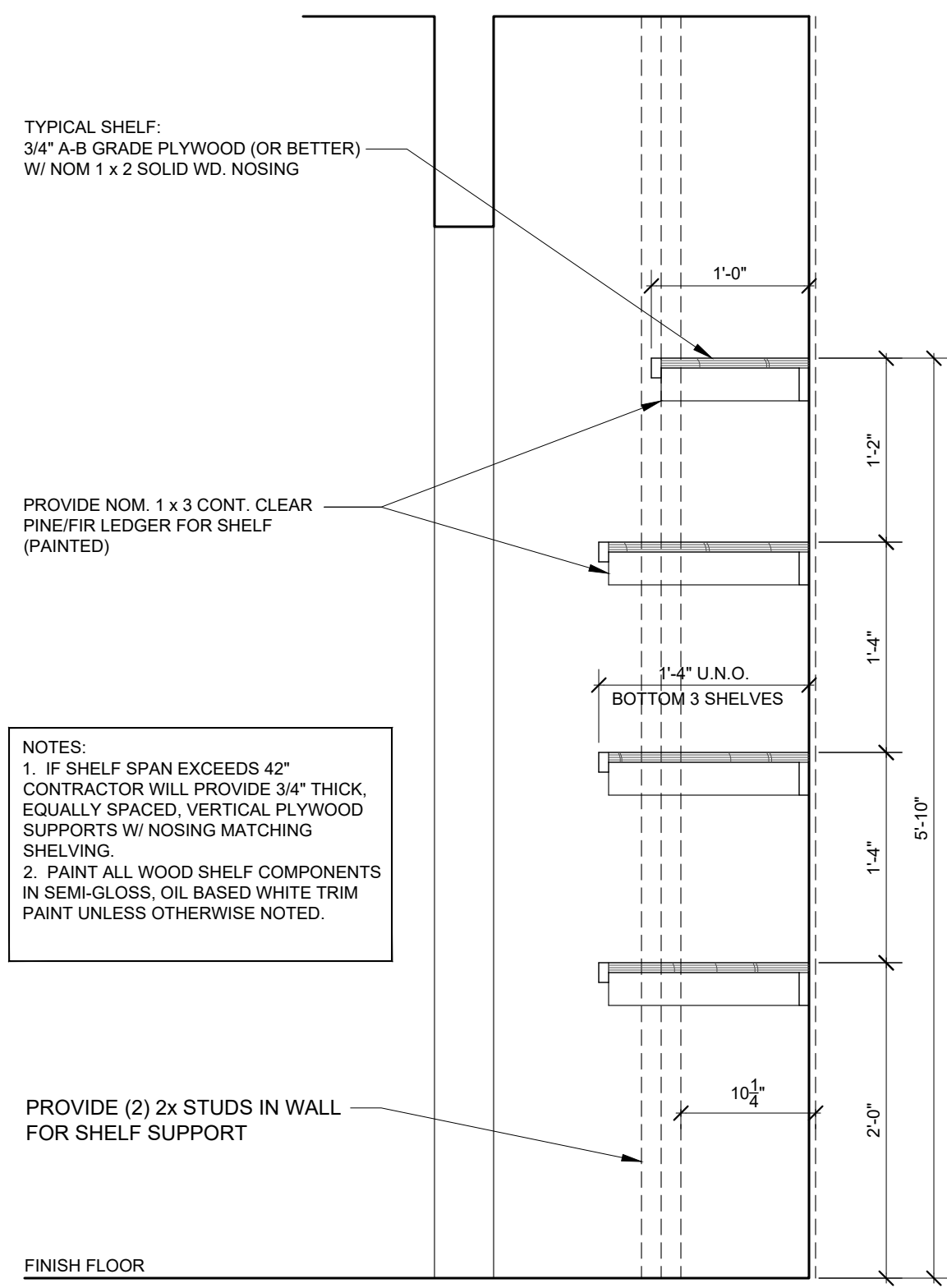
TRIM NOTES:
 1. ALL INTERIOR TRIM/ MOULDINGS TO BE STAINED PINE UNLESS SPECIFICALLY NOTED OTHERWISE



(B) STANDARD BASE MOULDING
 FULL SCALE

2 PANTRY/ TYPICAL SHELVES

SCALE: 1" = 1'-0"

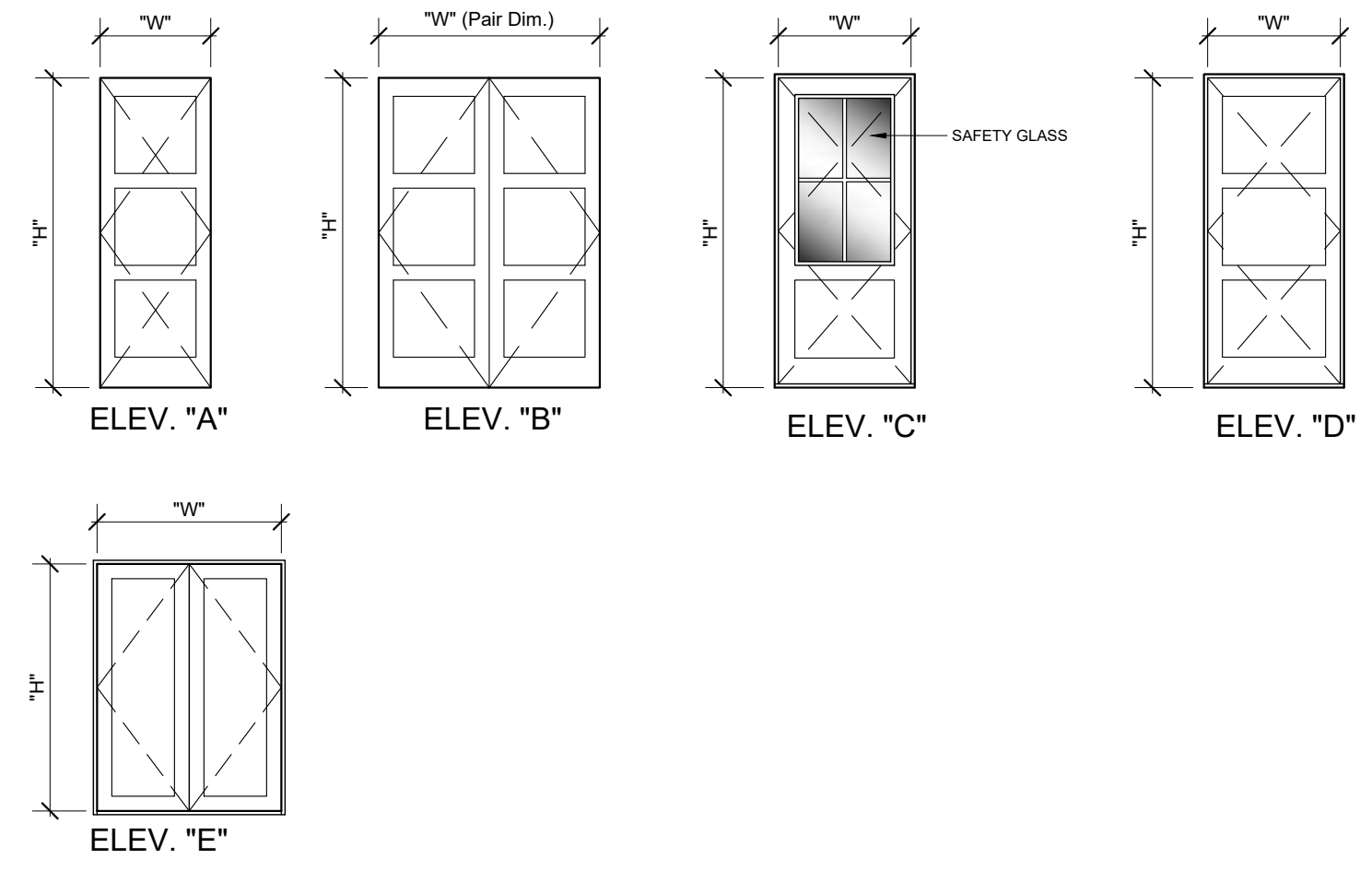


NOTES:
 1. IF SHELF SPAN EXCEEDS 42" CONTRACTOR WILL PROVIDE 3/4" THICK, EQUALLY SPACED, VERTICAL PLYWOOD SUPPORTS W/ NOSING MATCHING SHELVING.
 2. PAINT ALL WOOD SHELF COMPONENTS IN SEMI-GLOSS, OIL BASED WHITE TRIM PAINT UNLESS OTHERWISE NOTED.

INTERIOR & MISCELLANEOUS EXTERIOR DOOR SCHEDULE							
TAG	ELEV.	THK.	W	H	MANUF.	SPECIFICATION	HARDWARE/ NOTES
(01)	4E/A5.0	1-3/4"	4'-0"	5'-9"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Lockset Active Leaf, Slide Bolts Inactive Leaf
(1)	4A/A5.0	1-3/4"	3'-0"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Keyed Lockset/ Deadbolt
(2)	4B/A5.0	1-3/8"	6'-0"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Dummy Trim & Roller Catches each door
(3)	4C/A5.0	1-3/8"	2'-6"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Keyed Lockset/ Deadbolt
(4)	4A/A5.0	1-3/8"	2'-0"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Passage Latchset
(5)	4A/A5.0	1-3/8"	2'-6"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Privacy Lockset
(6)	4A/A5.0	1-3/8"	2'-4"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Passage Latchset
(7)	4A/A5.0	1-3/8"	2'-6"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Privacy Lockset
(8)	4B/A5.0	1-3/8"	4'-0"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Dummy Trim & Roller Catches each door
(9)	4A/A5.0	1-3/8"	2'-4"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Privacy Lockset
(10)	4A/A5.0	1-3/8"	2'-4"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Privacy Lockset
(11)	4B/A5.0	1-3/8"	4'-0"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Dummy Trim & Roller Catches each door
(12)	4A/A5.0	1-3/8"	2'-6"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Privacy Lockset
(13)	4A/A5.0	1-3/8"	2'-6"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Keyed Lockset
(14)	4B/A5.0	1-3/8"	2'-6"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Dummy Trim & Roller Catches each door
(15)	4A/A5.0	1-3/8"	2'-6"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Pocket Door Hardware Kit
(16)	4A/A5.0	1-3/8"	2'-6"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	Privacy Lockset
(17)	4D/A5.0	1-3/4"	3'-0"	7'-0"	TBD	Stain Stile & Rail Pine Door (Stain TBD)	20-Min. Rated, Keyed Lockset, Deadbolt, Self-Closing Hinges

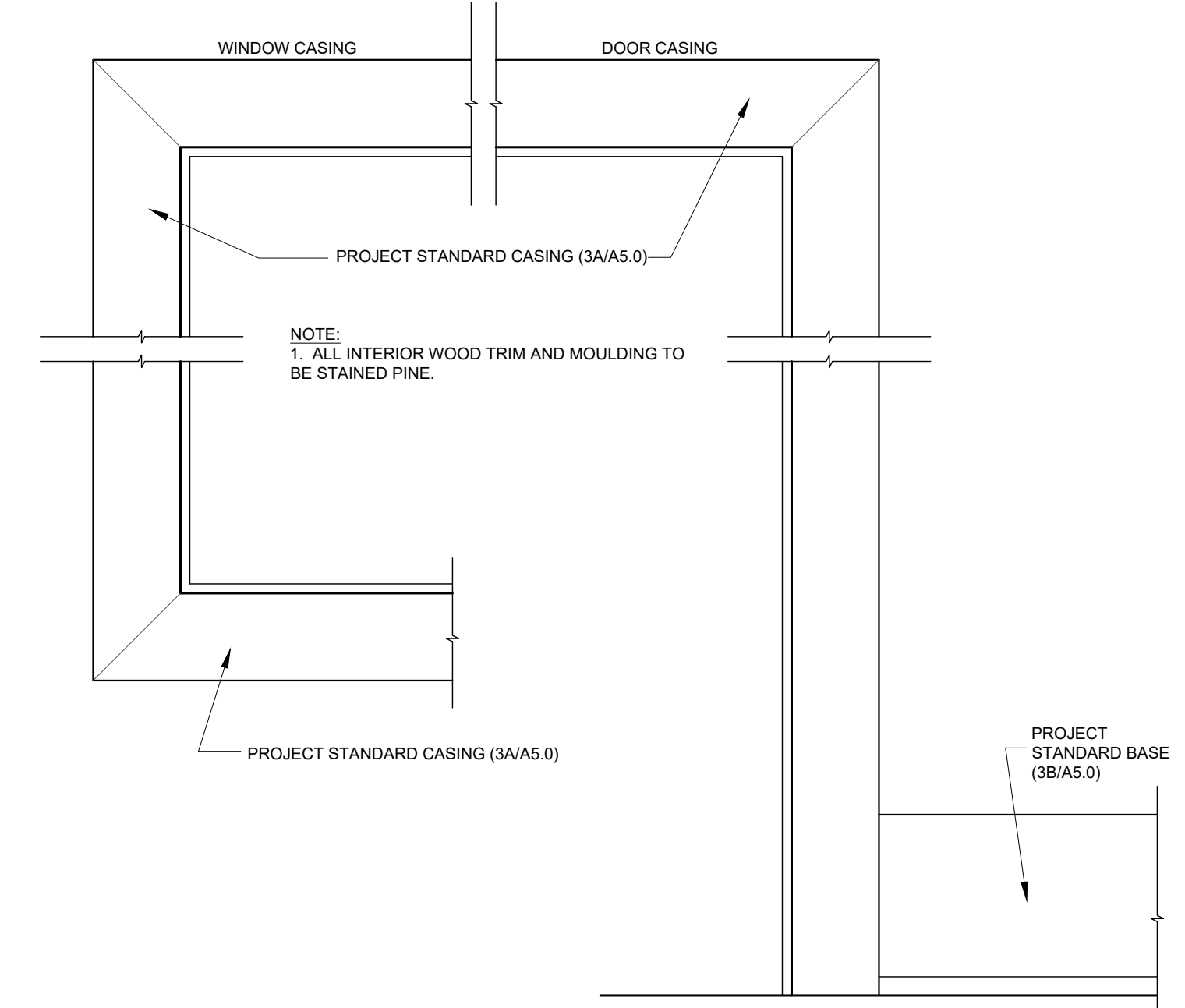
4 DOOR TYPE ELEVATIONS

SCALE: N.T.S.



5 INTERIOR WINDOW & DOOR TRIM

SCALE: N.T.S.



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STRUCTURAL CONSULTANT:
 CIVIL ENGINEER:

PROJECT

MERKERT HOUSE

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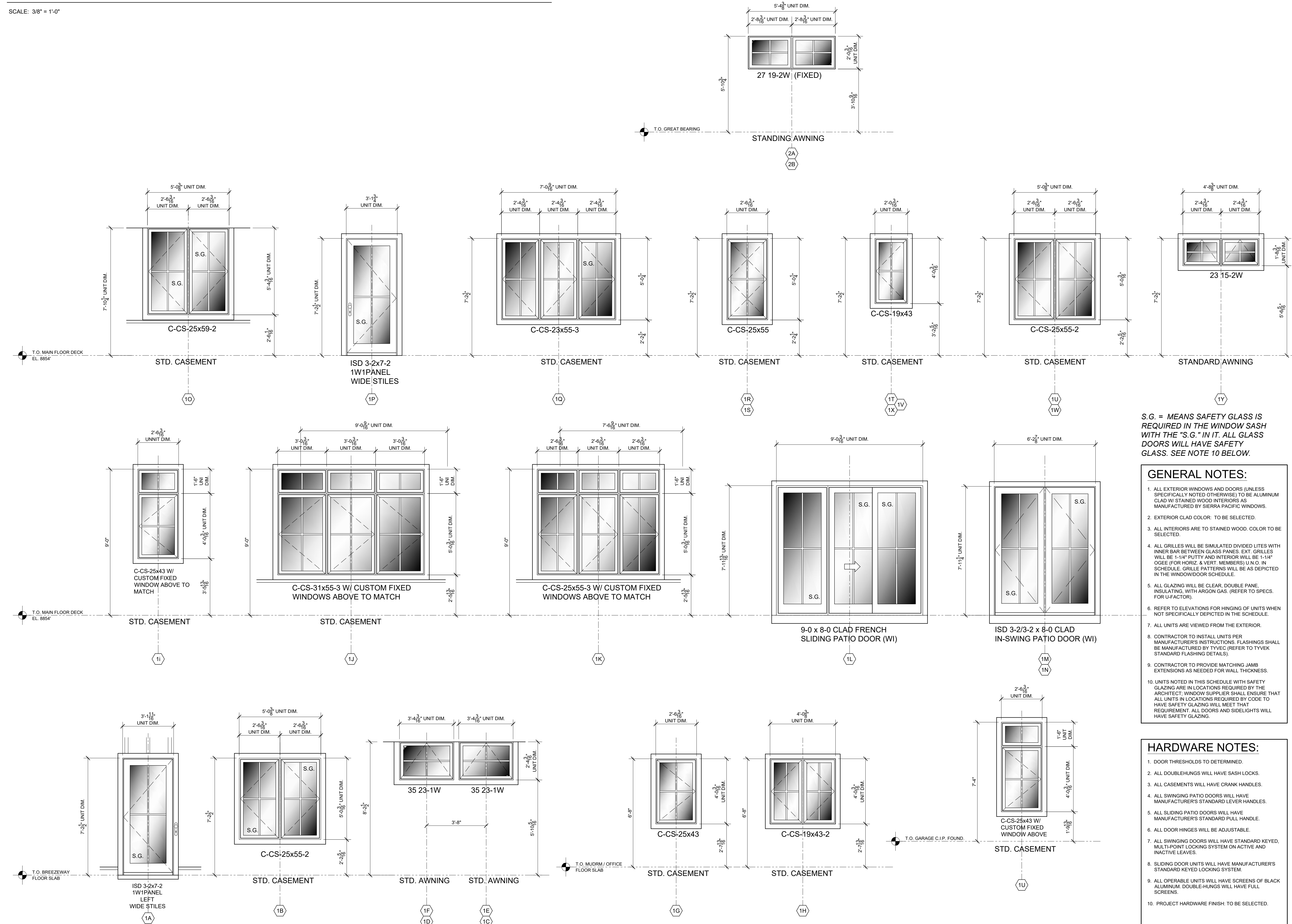
DRAWN BY: EVR	CHECKED BY: JAB
PROJECT NO:	SCALE: AS NOTED

DRAWING TITLE:
DOOR SCHEDULE/ TRIM DETAILS

DRAWING NO.:
A5.0

SIERRA PACIFIC WINDOWS - EXTERIOR WINDOW & DOOR SCHEDULE

SCALE: 3/8" = 1'-0"



S.G. = MEANS SAFETY GLASS IS REQUIRED IN THE WINDOW SASH WITH THE "S.G." IN IT. ALL GLASS DOORS WILL HAVE SAFETY GLASS. SEE NOTE 10 BELOW.

GENERAL NOTES:

- ALL EXTERIOR WINDOWS AND DOORS (UNLESS SPECIFICALLY NOTED OTHERWISE) TO BE ALUMINUM CLAD W/ STAINED WOOD INTERIORS AS MANUFACTURED BY SIERRA PACIFIC WINDOWS.
- EXTERIOR CLAD COLOR: TO BE SELECTED.
- ALL INTERIORS ARE TO STAINED WOOD. COLOR TO BE SELECTED.
- ALL GRILLES WILL BE SIMULATED DIVIDED LITES WITH INNER BAR BETWEEN GLASS PANE. EXT. GRILLES WILL BE 1-1/4" PUTTY AND INTERIOR WILL BE 1-1/4" OGEE (FOR HORIZ. & VERT. MEMBERS) U.N.O. IN SCHEDULE. GRILLE PATTERNS WILL BE AS DEPICTED IN THE WINDOW/DOOR SCHEDULE.
- ALL GLAZING WILL BE CLEAR, DOUBLE PANE, INSULATING, WITH ARGON GAS. (REFER TO SPECS. FOR U-FACTOR).
- REFER TO ELEVATIONS FOR HINGING OF UNITS WHEN NOT SPECIFICALLY DEPICTED IN THE SCHEDULE.
- ALL UNITS ARE VIEWED FROM THE EXTERIOR.
- CONTRACTOR TO INSTALL UNITS PER MANUFACTURER'S INSTRUCTIONS. FLASHINGS SHALL BE MANUFACTURED BY TYVEK (REFER TO TYVEK STANDARD FLASHING DETAILS).
- CONTRACTOR TO PROVIDE MATCHING JAMB EXTENSIONS AS NEEDED FOR WALL THICKNESS.
- UNITS NOTED IN THIS SCHEDULE WITH SAFETY GLAZING ARE IN LOCATIONS REQUIRED BY THE ARCHITECT; WINDOW SUPPLIER SHALL ENSURE THAT ALL UNITS IN LOCATIONS REQUIRED BY CODE TO HAVE SAFETY GLAZING WILL MEET THAT REQUIREMENT. ALL DOORS AND SIDELIGHTS WILL HAVE SAFETY GLAZING.

HARDWARE NOTES:

- DOOR THRESHOLDS TO DETERMINED.
- ALL DOUBLEHUNGS WILL HAVE SASH LOCKS.
- ALL CASEMENTS WILL HAVE CRANK HANDLES.
- ALL SWINGING PATIO DOORS WILL HAVE MANUFACTURER'S STANDARD LEVER HANDLES.
- ALL SLIDING PATIO DOORS WILL HAVE MANUFACTURER'S STANDARD PULL HANDLE.
- ALL DOOR HINGES WILL BE ADJUSTABLE.
- ALL SWINGING DOORS WILL HAVE STANDARD KEYS. MULTIPoint LOCKING SYSTEM ON ACTIVE AND INACTIVE LEAVES.
- SLIDING DOOR UNITS WILL HAVE MANUFACTURER'S STANDARD KEYS LOCKING SYSTEM.
- ALL OPERABLE UNITS WILL HAVE SCREENS OF BLACK ALUMINUM. DOUBLE-HUNGS WILL HAVE FULL SCREENS.
- PROJECT HARDWARE FINISH: TO BE SELECTED.

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PROJECT NO:	SCALE: AS NOTED

DRAWING TITLE:
SIERRA PACIFIC WINDOW & DOOR SCHEDULE

DRAWING NO.:

A5.1